

ADVERTISED PLANS

Planning Application Number: PLN18/0121  
Date: 17 September 2018  
Sheet 36 of 36

**8-10 Montgomery Street, DONCASTER EAST**

Job: 11759

Total Site Area: 1873 sqm

Town Planning  
5/07/2018

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TOTAL SITE AREA : 1873.0 sqm  
TOTAL SITE COVERAGE : 1116.0 sqm = 59.6% (Total Building Footprint / Total Site Area)  
TOTAL SITE PERMEABILITY: 423.0 sqm = 22.6%

AREAS SCHEDULE

TOWNHOUSE NO.	RESIDENTIAL GFA (excl. balcony & roof deck)						Carparking No.	PRIVATE OPEN SPACE		
	Bed	GF m2	Level 1 m2	Level 2 m2	Level 3 m2	TOTAL m2	Spaces	POS m2	Roof Deck m2	Balcony m2
1	4	55.6	55.6	55.6	6.1	172.9	2	27.5	23.5	3.2
2	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
3	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
4	4	60.4	60.4	60.4	6.1	187.3	2	32.5	23.5	7.4
5	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	7.4
6	4	60.4	60.4	60.4	6.1	187.3	2	31.5	23.5	7.4
7	4	55.6	55.6	55.6	6.1	172.9	2	30.0	23.5	3.2
8	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
9	4	55.6	55.6	55.6	6.1	172.9	2	28.0	23.5	3.2
10	4	55.6	55.6	55.6	6.1	172.9	2	66.8	23.5	3.2
11	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
12	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
13	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
14	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
15	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
16	4	55.6	55.6	55.6	6.1	172.9	2	29.0	23.5	3.2
17	2	39.5	36.5	-	-	76.0	-	30.3	-	-
18	2	39.5	36.5	-	-	76.0	-	21.1	-	-

2947.2

32

Total no. of Dwellings: 18

Total Building Footprint

1116.0 m2



**Elevations & Sections**

Artists Impression 1 - Montgomery Street View

ADVERTISED PLANS

Planning Application Number: PLN18/0121

Date: 17 September 2018

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Artist's Impression



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Project Name Montgomery Street  
Project Number 11759  
Date 18/07/2018  
Scale

Drawing Name Artists Impression 1 - Montgomery  
Drawing Number Street View  
Revision 1/300

# Elevations & Sections

Artists Impression 2- Internal View

## ADVERTISED PLANS

Planning Application Number: PLN18/0121  
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Project Name Montgomery Street  
Project Number 11759  
Date 18/07/2018  
Scale

Drawing Name Artists Impression 2- Internal View  
Drawing Number TP301  
Revision

# Elevations & Sections

Artists Impression 3- South Laneway

## ADVERTISED PLANS

Planning Application Number: PLN18/0121

Date: 17 September 2018

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Project Name Montgomery Street  
Project Number 11759  
Date 18/07/2018  
Scale

Drawing Name Artists Impression 3- South  
Drawing Number Laneway  
Revision 1/302

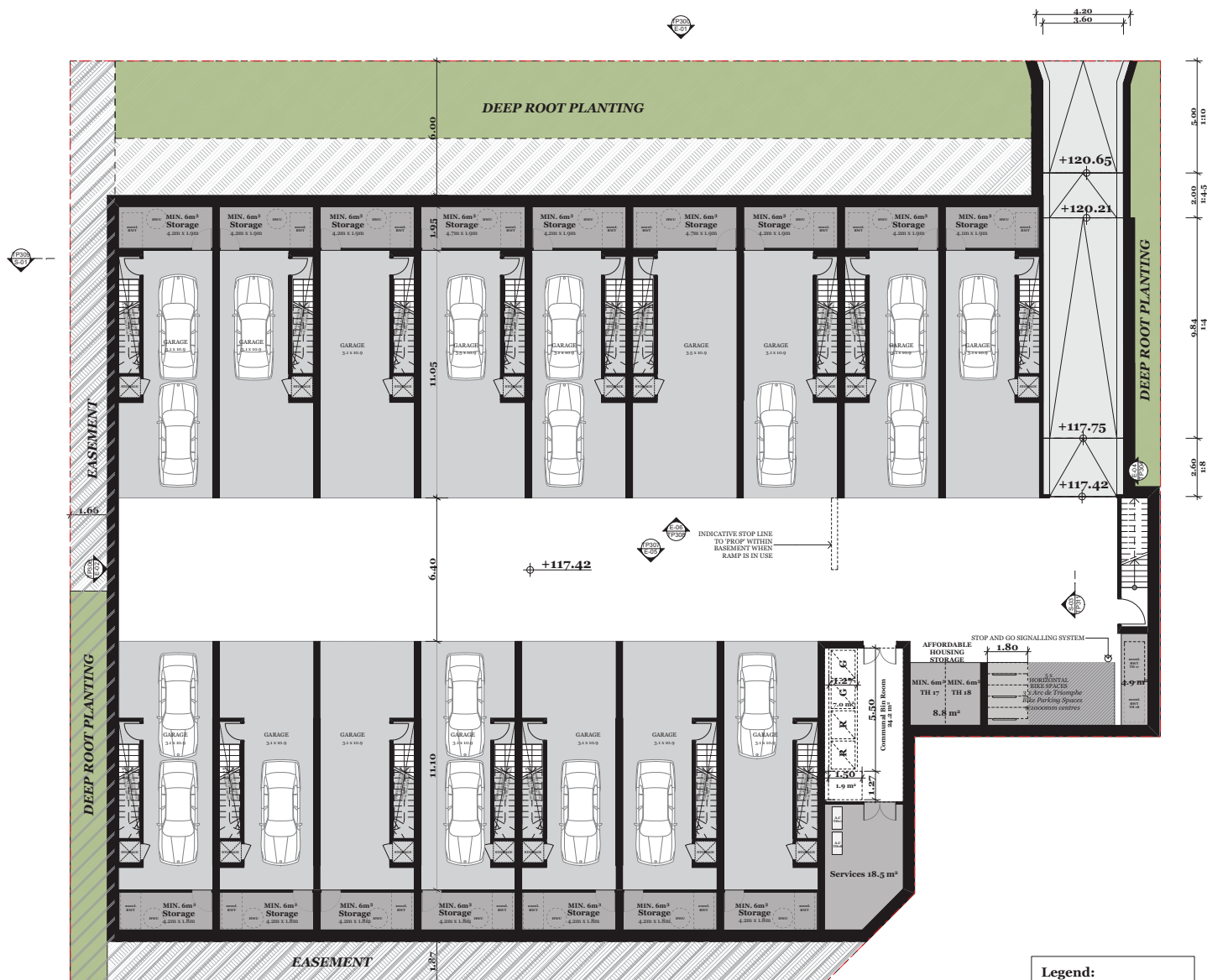
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## 10. GREEN SPACES

- GREEN SPACES INCLUDED WHERE POSSIBLE ON GROUND, AND INCLUDED IN PLANTER BOXES ON UPPER LEVELS.
- DEEP ROOT PLANTING UTILISED AS A FURTHER BUFFER ON THE SENSITIVE INTERFACE.

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**Legend:**

	FULL HEIGHT OBSCURED GLAZING
	FLUTED GLASS
	MAILBOX TO AUS STANDARDS

**Notes:**

PROVIDE OUTDOOR LIGHTING TO ALL COMMUNAL PATHWAY AND DRIVEWAYS. REFER LANDSCAPE DRAWINGS FOR FURTHER DETAILS

ALL MAILBOX INSTALLED TO AUS STANDARDS

MAILBOX TH 10-9: INTEGRATED MAILBOX & STREET LIGHT TO EACH TH FROM MONTGOMERY ST. SIDE ACCESS

MAILBOX TH 10-18: GROUP MAILBOX

REFER LANDSCAPE DRAWINGS FOR PERMEABLE PAVING EXTENT/DETAILS

ALL VEGETATIONS TO PLASTER BOX ARE MANAGED BY BODY CORPORATE

Rev.	Date	By	Ckd	Description

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Project Name: Montgomery Street  
Project Address: 4 Montgomery Street, Doncaster, VIC 3109  
Project Number: 11759  
Drawing Name: Basement Plan  
Scale: 1:100 @ A1  
Date: 12/09/19

Client: [Blank]  
Client Company: [Blank]  
Drawing Number: TP200  
Revision: [Blank]

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# MONTGOMERY STREET

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**Legend:**

- Full height obscured glazing - Fluted glass
- Mailbox to AIS standards

**Notes:**

- Provide outdoor lighting to all communal pathway and driveways. Refer landscape drawings for further details.
- All mailbox installed to AIS standards.
- Mailbox TH 1 - Integrated mailbox & street light to each TH from Montgomery St. side access.
- Mailbox TH 10 - 18: Group mailbox.
- Refer landscape drawings for permeable paving extent details.
- All verifications to planter box are managed by body corporate.

**Fence Legend/Note:**

- 1.5m high light scheme solid brick.
- 1.7m privacy fencing to TH 1-7th, solid black metal fence.
- 1.5m high solid black metal fence. Refer drawings for details.

Rev. Date By Ckd Description

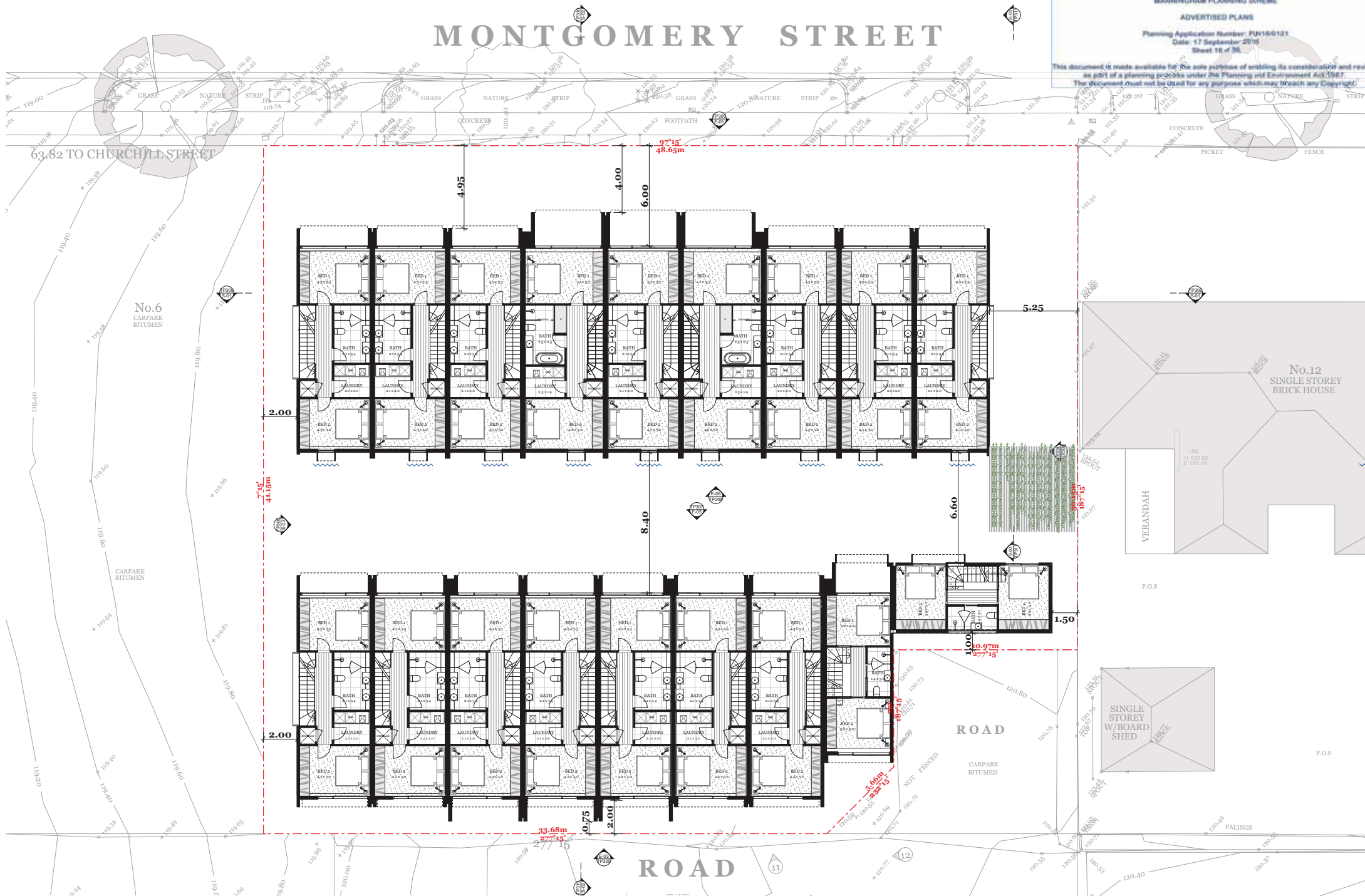
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Project Name: Montgomery Street  
Project Address: 4 Montgomery Street, Doncaster, VIC 3109  
Project Number: 11759  
Drawing Name: Ground Floor Plan  
Scale: 1:100 @ A1  
Date: 12/09/18 @ A2  
Client: Client Company  
Drawing Number: TP201  
Revision: Revision

# MONTGOMERY STREET

PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
**ADVERTISED PLANS**  
 Planning Application Number: PUN16/0121  
 Date: 17 September 2016  
 Sheet 16 of 36  
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**Legend:**

- Full height obscured glazing - Fluted glass
- Mailbox to A.S. standards

**Notes:**

- Provide outdoor lighting to all communal pathway and driveways. Refer landscape drawings for further details.
- All mailbox installed to A.S. standards.
- Mailbox TH 1+ - Integrated mailbox & street light to each TH from Montgomery St. side access.
- Mailbox TH 10+ - Group mailbox.
- Refer landscape drawings for permeable paving extent details.
- All verifications to planter box are managed by Body Corporate.

**Fence Legend/Note:**

- 1.5m High Light Scheme Solid Brick.
- 1.7m Privacy Fencing to TH 1 - THs Solid Black Metal Fence.
- 1.5m High Solid Black Metal Fence. Refer drawings for details.

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Client: Montgomery Street  
 4 Montgomery Street,  
 Doncaster, VIC 3109

Client Company: Montgomery Street  
 4 Montgomery Street,  
 Doncaster, VIC 3109

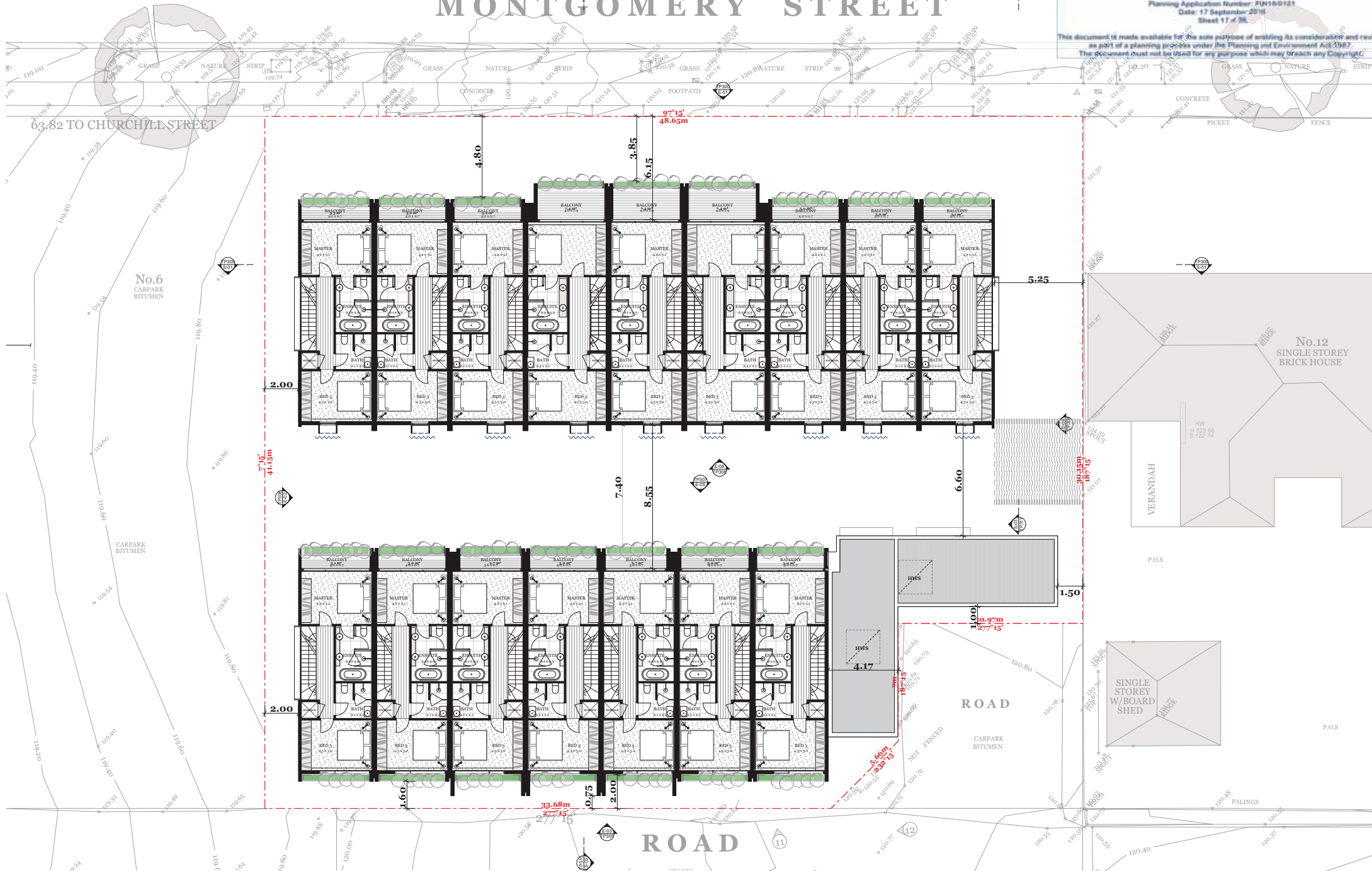
Project Number: 11759  
 Drawing Name: Level 1 Plan  
 Scale: 1:100 @ A1  
 Date: 12/09/16

Drawing Number: TP202  
 Revision:



# MONTGOMERY STREET

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**Legend:**

FULL HEIGHT OBTURED GLAZING - FLUTED GLASS  
 MAILBOX TO AIS STANDARDS

**Notes:**

PROVIDE OUTDOOR LIGHTING TO ALL COMMUNAL PATHWAY AND DRIVEWAYS. REFER LANDSCAPE DRAWINGS FOR FURTHER DETAILS.  
 ALL MAILBOX INSTALLED TO AIS STANDARDS.  
 MAILBOX TH 1+ - INTEGRATED MAILBOX & STREET LIGHT TO EACH TH-FROM MONTGOMERY ST. SIDE ACCESS.  
 MAILBOX TH 10 - GROUP MAILBOX.  
 REFER LANDSCAPE DRAWINGS FOR PERMEABLE PAVING EXTENT/DETAILS.  
 ALL VEGETATIONS TO PLANTER BOX ARE MANAGED BY BODY CORPORATE.

**Fence Legend/Note:**

1.5m HIGH LIGHT SCHEME SOLID BRICK.  
 1.7m PRIVACY FENCING TO TH 1 - THs SOLID BLACK METAL FENCE.  
 1.5m HIGH SOLID BLACK METAL FENCE. REFER DRAWINGS FOR DETAILS.

Rev. Date By Ckd Description

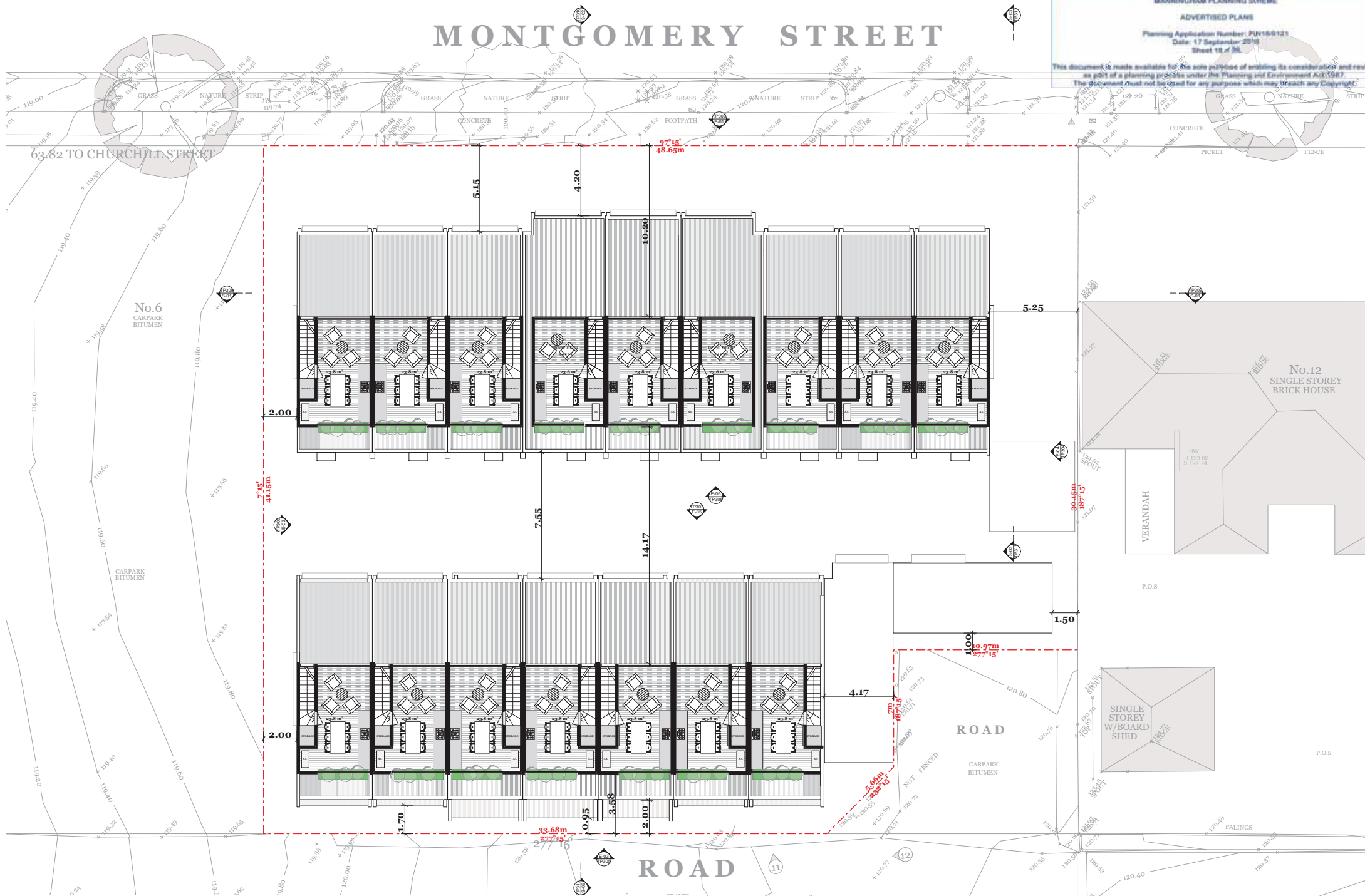
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Project Name: Montgomery Street  
 Project Address: 4 Montgomery Street, Doncaster, VIC 3109  
 Project Number: 11759  
 Drawing Name: Level 1 Plan  
 Scale: 1:100 @ A1  
 Date: 12/09/16 @ A3  
 Client: [Blank]  
 Client Company: [Blank]  
 Drawing Number: TP203  
 Revision: [Blank]

# MONTGOMERY STREET

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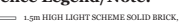


**Legend:**

 FULL HEIGHT OBSCURED GLAZING - FLUTED GLASS  
 MAILBOX TO AIS STANDARDS

**Notes:**

PROVIDE OUTDOOR LIGHTING TO ALL COMMUNAL PATHWAY AND DRIVEWAYS. REFER LANDSCAPE DRAWINGS FOR FURTHER DETAILS.  
 ALL MAILBOX INSTALLED TO AIS STANDARDS.  
 MAILBOX TH 1+P: INTEGRATED MAILBOX & STREET LIGHT TO EACH TH FROM MONTGOMERY ST. SIDE ACCESS.  
 MAILBOX TH 10+18: GROUP MAILBOX.  
 REFER LANDSCAPE DRAWINGS FOR PERMEABLE PAVING EXTENT/DETAILS.  
 ALL VEGETATIONS TO PLANTER BOX ARE MANAGED BY BODY CORPORATE.

**Fence Legend/Note:**

 1.5m HIGH LIGHT SCHEME SOLID BRICK.  
 1.7m PRIVACY FENCING TO TH 1-THs SOLID BLACK METAL FENCE  
 1.5m HIGH SOLID BLACK METAL FENCE. REFER DRAWINGS FOR DETAILS

Rev. Date By Ckd Description

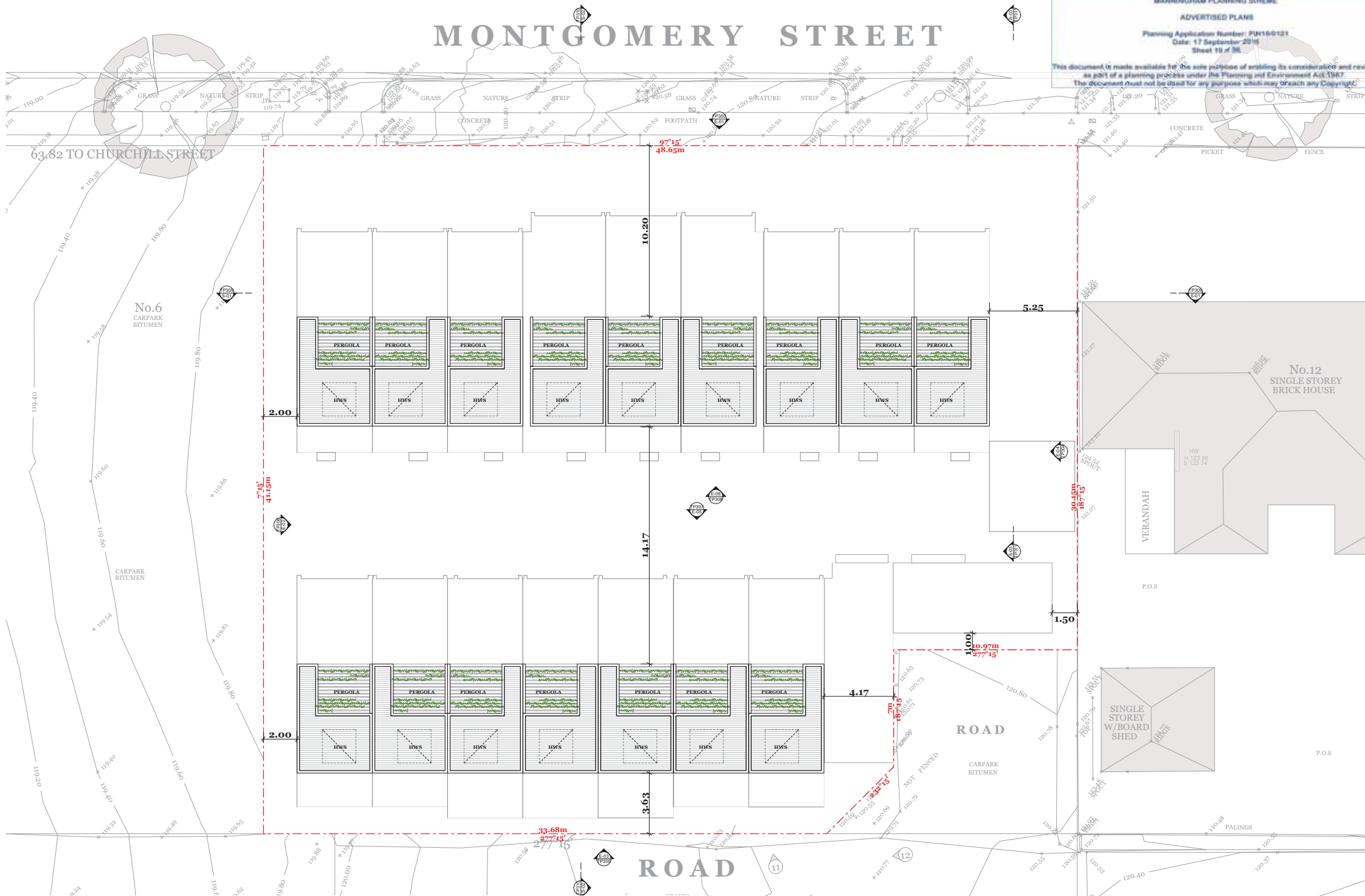
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 AIN: 6443275969

**DKO**

Project Name: Montgomery Street  
 Project Address: 4 Montgomery Street, Doncaster, VIC 3109  
 Project Number: 11759  
 Level: Plan  
 Scale: 1:100 @ A1  
 Date: 12/09/16 @ A3  
 Client: [Blank]  
 Client Company: [Blank]  
 Drawing Number: TP204  
 Revision: [Blank]

# MONTGOMERY STREET

PLANNING AND ENVIRONMENT ACT 1987  
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**ADVERTISED PLANS**  
 Planning Application Number: PUN180121  
 Date: 17 September 2018  
 Sheet 19 of 36  
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**Legend:**

FULL HEIGHT OBSCURED GLAZING - FLUTED GLASS  
 MAILBOX TO AIS STANDARDS

**Notes:**

PROVIDE OUTDOOR LIGHTING TO ALL COMMUNAL PATHWAY AND DRIVEWAYS. REFER LANDSCAPE DRAWINGS FOR FURTHER DETAILS.  
 ALL MAILBOX INSTALLED TO AIS STANDARDS.  
 MAILBOX TH 1+ - INTEGRATED MAILBOX & STREET LIGHT TO EACH TH-FROM MONTGOMERY ST. SIDE ACCESS.  
 MAILBOX TH 10 - 18: GROUP MAILBOX.  
 REFER LANDSCAPE DRAWINGS FOR PERMEABLE PAVING EXTENT/DETAILS.  
 ALL VEGETATIONS TO PLANTER BOX ARE MANAGED BY BODY CORPORATE.

**Fence Legend/Note:**

1.5m HIGH LIGHT SCHEME SOLID BRICK.  
 1.7m PRIVACY FENCING TO TH 1 - THs SOLID BLACK METAL FENCE.  
 1.5m HIGH SOLID BLACK METAL FENCE. REFER DRAWINGS FOR DETAILS.

Rev. Date By Ckd Description

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Project Name: Montgomery Street  
 Project Address: 4 Montgomery Street, Doncaster, VIC 3109  
 Project Number: 11759  
 Drawing Name: Level 4 Plan  
 Scale: 1:100 @ A1  
 Date: 12/09/18 @ A3  
 Client: [Blank]  
 Client Company: [Blank]  
 Drawing Number: TP205  
 Revision: [Blank]

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SCHEME 1

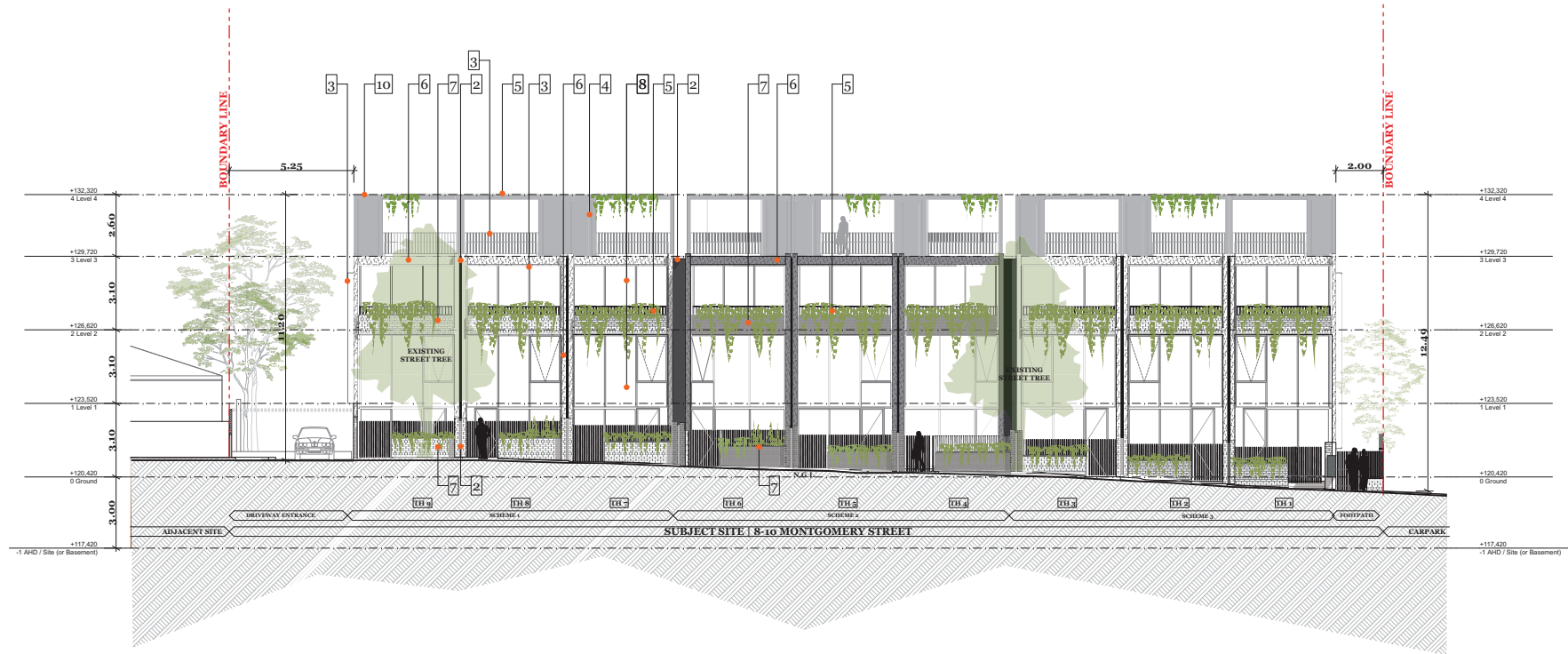


SCHEME 2



CLADDING NOTES:

1. ALL GLAZING TO LEVEL 3 ARE DARK GREY GLASS U.N.O
2. ALL GLAZING TO INTERNAL SOUTH ELEVATION, EAST & WEST ARE FLUTED GREY GLASS U.N.O



E-01

NORTH ELEVATION  
1:100

Rev. Date By Ckd Description

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Project Name Montgomery Street  
Project Address 8 Montgomery Street, Doncaster, VIC 3109  
Project Number 11759  
Drawing Name NORTH ELEVATION  
Scale 1:100 @ A1  
Date

Client Client Company  
Drawing Number TP303  
Revision

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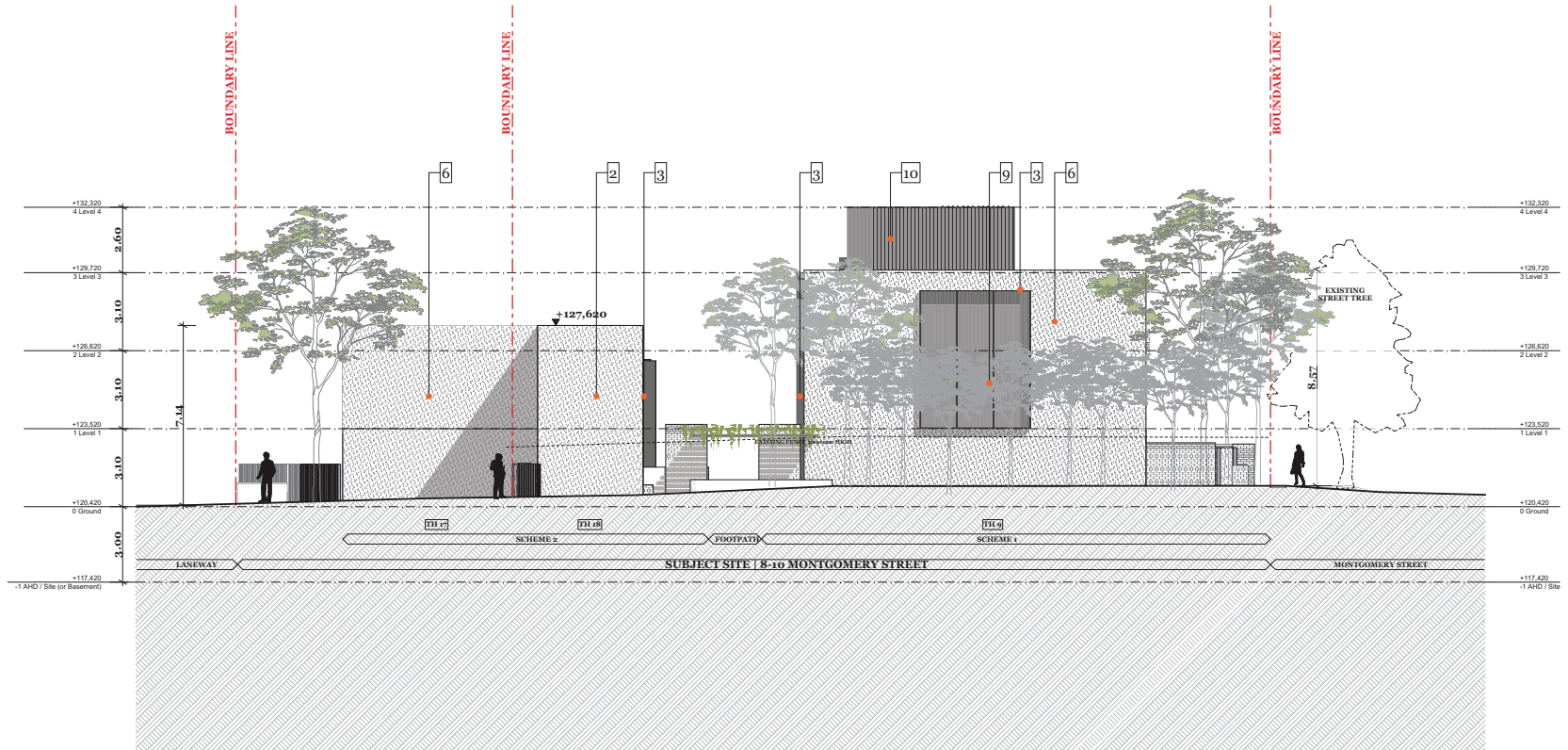
**SCHEME 1**



**SCHEME 2**



**CLADDING NOTES:**  
 1. ALL GLAZING TO LEVEL 3 ARE DARK GREY GLASS U.N.O  
 2. ALL GLAZING TO INTERNAL SOUTH ELEVATION, EAST & WEST ARE FLUTED GREY GLASS U.N.O



E-04

**EAST ELEVATION**  
 1:100

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Project Name Montgomery Street  
 Project Address 8 Montgomery Street, Doncaster, VIC 3109  
 Project Number 11759  
 Drawing Name EAST ELEVATION  
 Scale 1:100 @ A1  
 Date 12/09/18

Client Client Company  
 Drawing Number **TP304**  
 Revision

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**SCHEME 1**

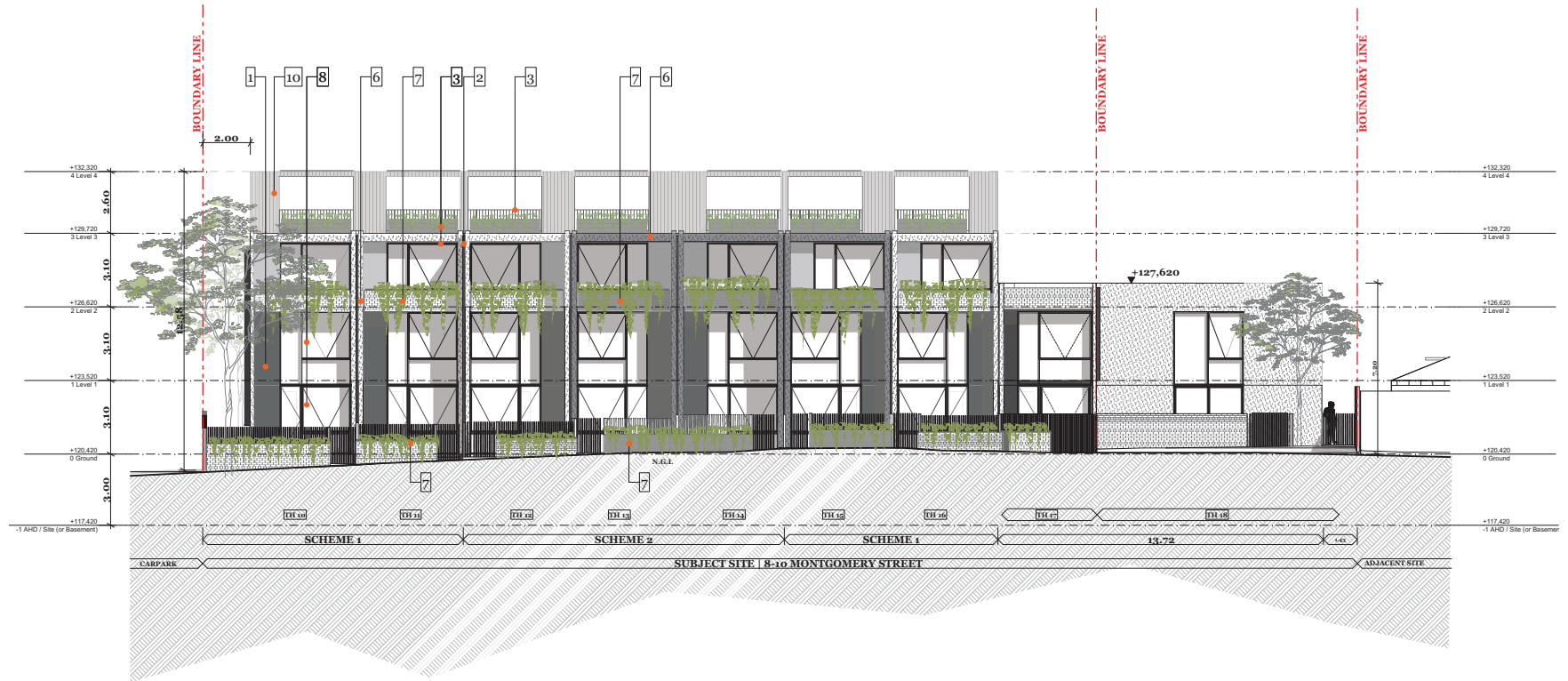


**SCHEME 2**



**CLADDING NOTES:**

- ALL GLAZING TO LEVEL 3 ARE DARK GREY GLASS U.N.O
- ALL GLAZING TO INTERNAL SOUTH ELEVATION, EAST & WEST ARE FLUTED GREY GLASS U.N.O



E-03

**SOUTH ELEVATION**  
1:100

Rev. Date By Ckd Description

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Project Name Montgomery Street  
 Project Address 8 Montgomery Street,  
 Doncaster, VIC 3109  
 Client Client Company

Project Number 11709  
 Drawing Name SOUTH ELEVATION  
 Scale 1:100 @ A1  
 Date 12/09/18

Drawing Number **TP305**  
 Revision

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SCHEME 1



1. Matte Charcoal Metal Cladding



2. Dark Natural Concrete



3. Dark Powder Coat (window/door frames)



4. Grey Glass



5. Timber Batten Balustrade



6. Natural Light Concrete 1



7. Light Textured Brick 1



8. Clear Glass



9. Dark Grey Fluted Glass



10. Black timber cladding

SCHEME 2



1. Matte Charcoal Metal Cladding



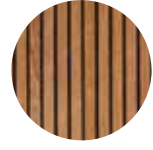
2. Dark Natural Concrete



3. Dark Powder Coat (window/door frames)



4. Grey Glass



5. Timber Batten Balustrade



6. Natural Dark Concrete 2



7. Dark Textured Brick 2



8. Clear Glass



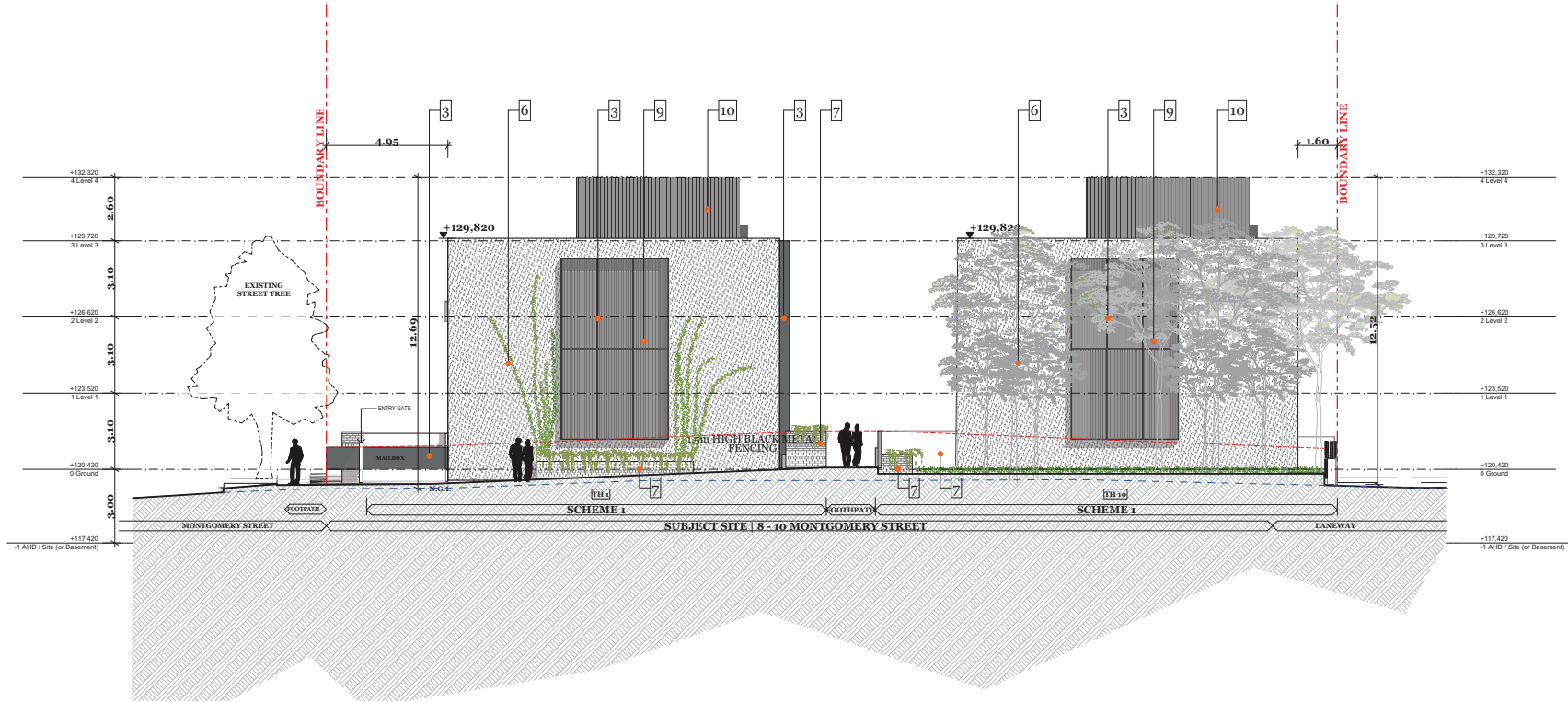
9. Dark Grey Fluted Glass



10. Black timber cladding

CLADDING NOTES:

- 1. ALL GLAZING TO LEVEL 3 ARE DARK GREY GLASS U.N.O
- 2. ALL GLAZING TO INTERNAL SOUTH ELEVATION, EAST & WEST ARE FLUTED GREY GLASS U.N.O



E-02

WEST ELEVATION  
1:100

Rev. Date By Ckd Description

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Project Name Montgomery Street  
Project Address 8 Montgomery Street, Doncaster, VIC 3109  
Project Number 11759  
Drawing Name WEST ELEVATION  
Scale 1:100 @ A1  
Date 12/09/18

Client Client Company  
Drawing Number TP306  
Revision

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**SCHEME 1**



**SCHEME 2**



**CLADDING NOTES:**  
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 2. ALL GLAZING TO INTERNAL SOUTH ELEVATION, EAST & WEST ARE FLUTED GREY GLASS U.N.O



E-05 INTERNAL ELEVATION (NORTH)  
 1:100

Rev.	Date	By	Ckd	Description

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Project Name	Montgomery Street	Project Number	11709
Project Address	4 Montgomery Street, Doncaster, VIC 3109	Drawing Name	INTERNAL ELEVATION (NORTH)
Client	Client Company	Scale	1:100 @ A1
		Date	12/09 @ A3
		Drawing Number	TP307
		Revision	



**SCHEME 1**

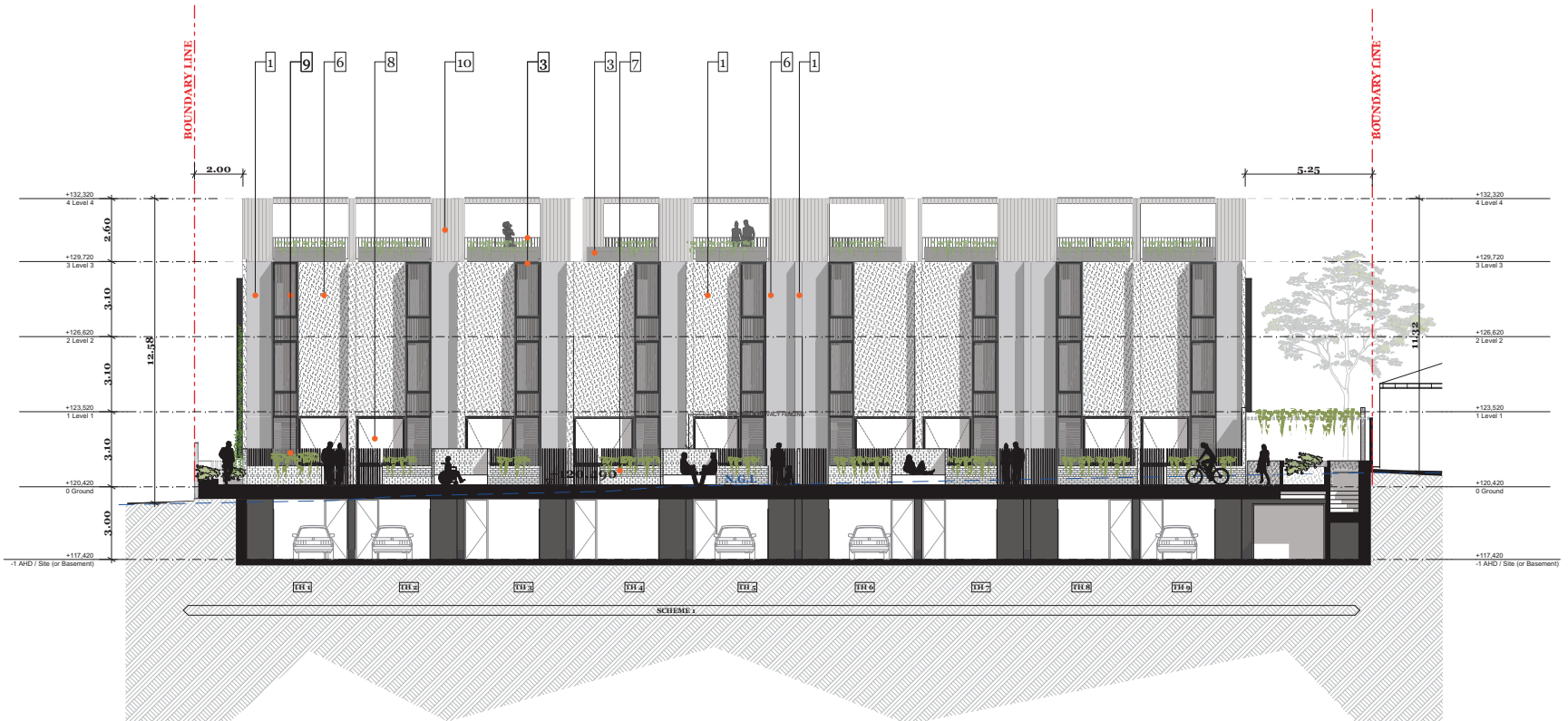


**SCHEME 2**



**CLADDING NOTES:**

1. ALL GLAZING TO LEVEL 3 ARE DARK GREY GLASS U.N.O
2. ALL GLAZING TO INTERNAL SOUTH ELEVATION, EAST & WEST ARE FLUTED GREY GLASS U.N.O



E-06 INTERNAL ELEVATION (SOUTH) 1:100

Rev. Date By Ckd Description

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Project Name  
 Project Address  
 Client

Montgomery Street  
 4 Montgomery Street,  
 Doncaster, VIC 3109

Project Number  
 Drawing Name  
 Scale  
 Date

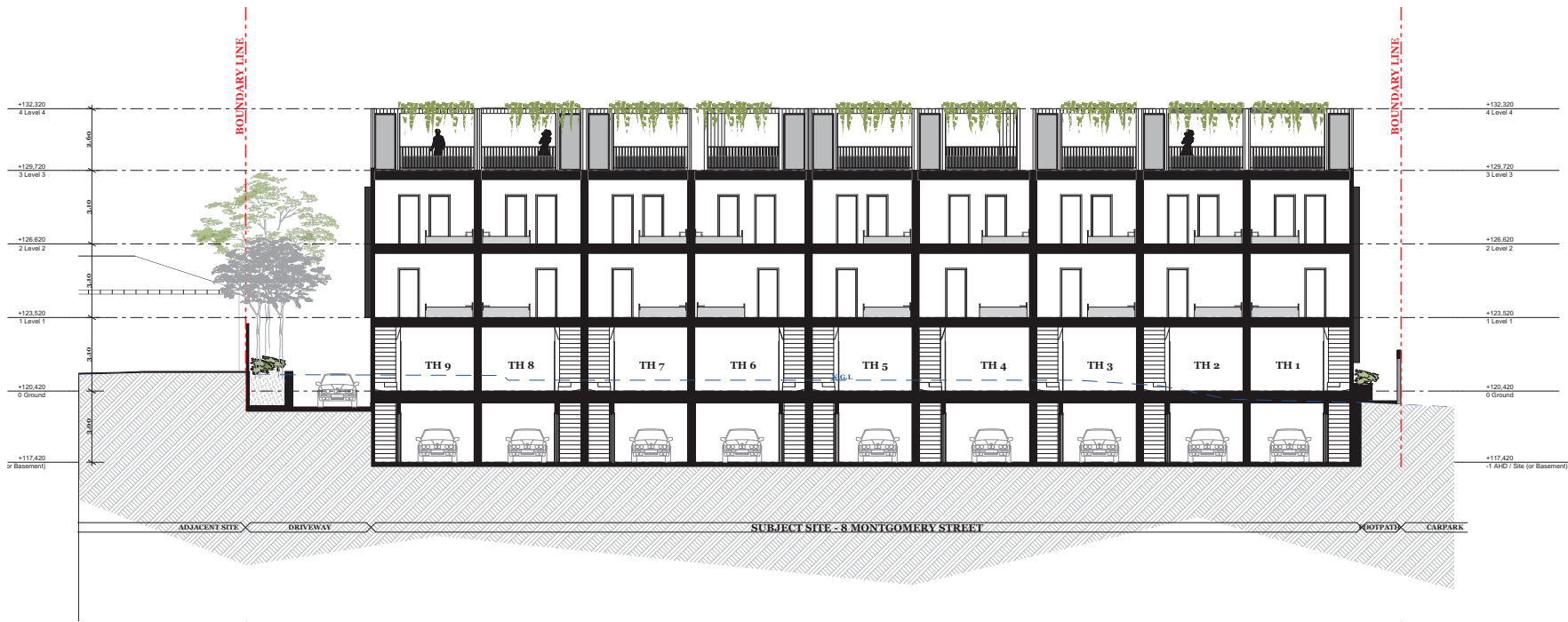
11709  
 INTERNAL ELEVATION  
 (SOUTH)  
 1:100 @ A1  
 1100 @ A3

Drawing Number  
 Revision

TP308

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S-01

SECTION A  
1:100

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Project Name  
Project Address

Montgomery Street  
8 Montgomery Street,  
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Project Number  
Drawing Name  
Scale  
Date

11709  
SECTION A  
1:100 @ A1  
11200 @ A3

Client  
Client Company

Drawing Number  
Revision

TP309  
P1

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S-02

SECTION B  
1:100

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Project Name  
Project Address  
Client  
Client Company

Montgomery Street  
8 Montgomery Street,  
Dunstable, VIC 3109

Project Number  
Drawing Name  
Scale  
Date  
Revision

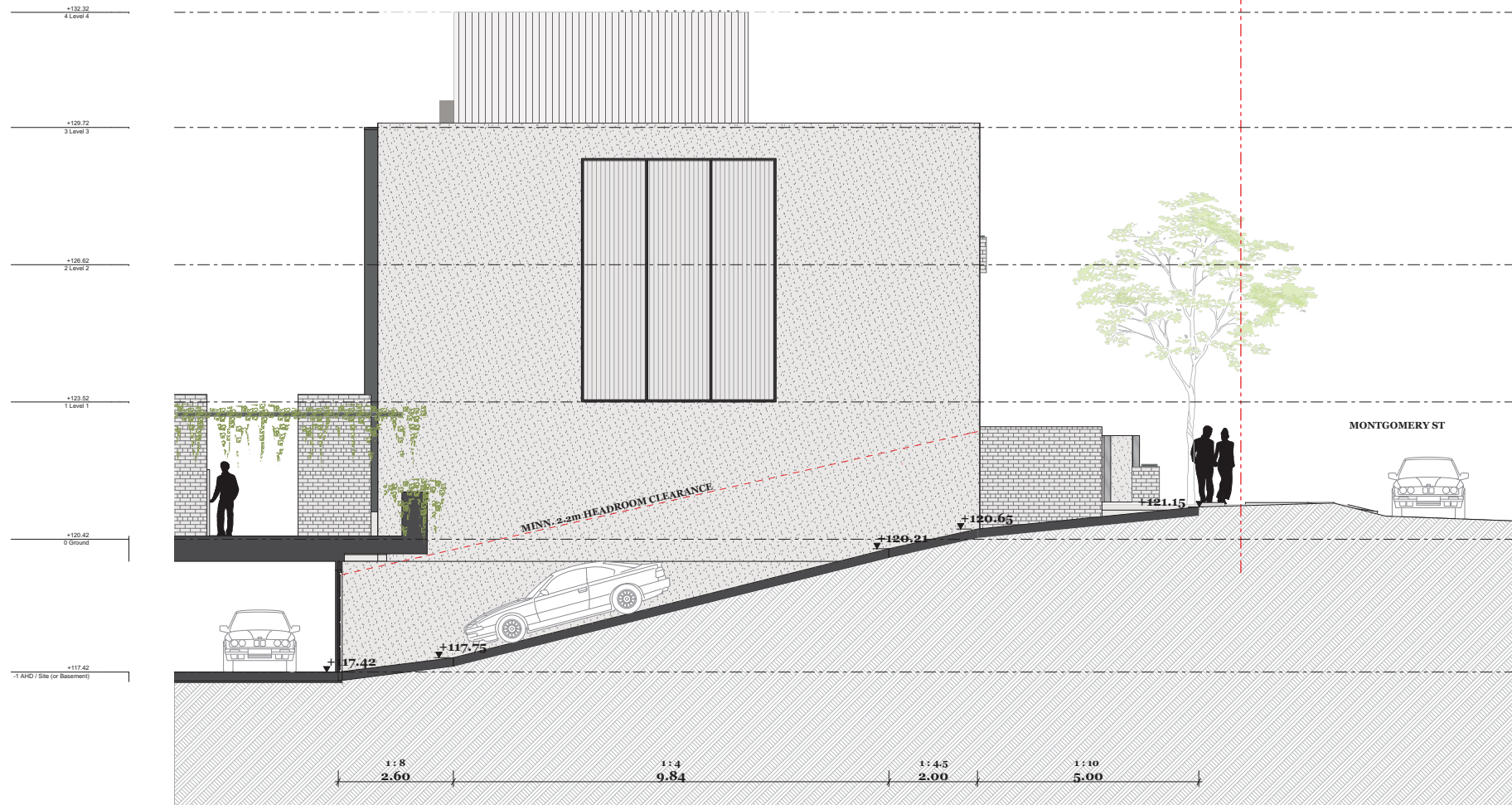
Drawing Number  
Revision

11759  
SECTION B

TP310

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S-03 SECTION C  
1:50

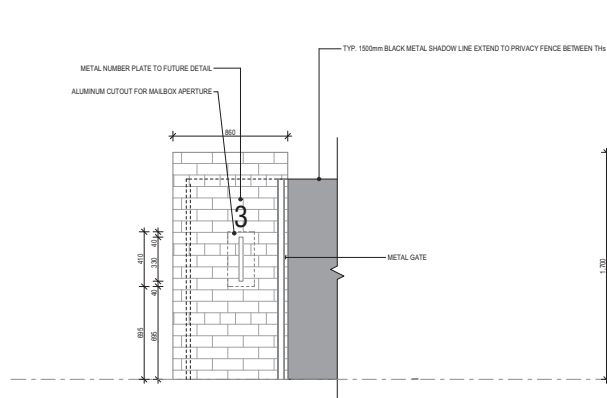
Rev.	Date	By	Ckd	Description

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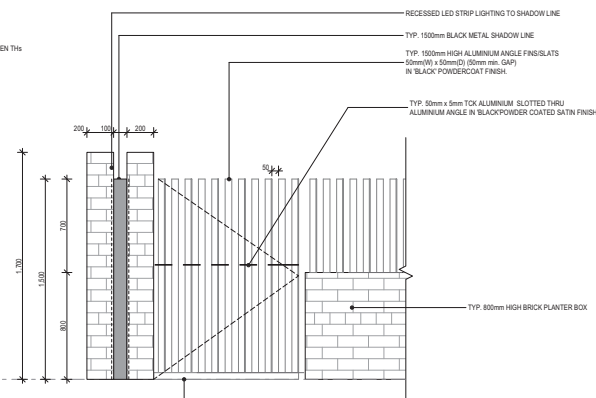


Project Name	Montgomery Street	Project Number	11709
Project Address	8 Montgomery Street, Doncaster, VIC 3109	Drawing Name	SECTION C
Client	Client Company	Date	1100 @ A1 11200 @ A3
Drawing Number		TP311	
Revision			

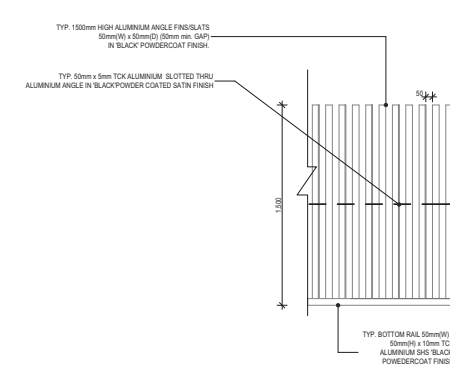
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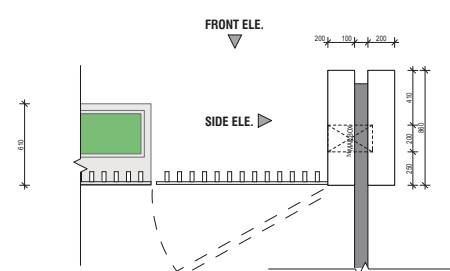
Typical Front Fence Detail - Side Elevation



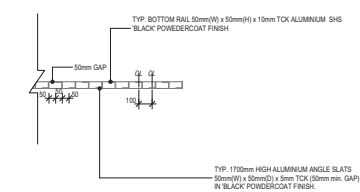
Typical Front Fence Detail - Front Elevation



Typical Metal Fence Detail - Elevation



Typical Front Fence & Mailbox Detail - Plan



Typical Metal Fence Detail - Plan

FENCE DETAILS  
1:20

Rev.	Date	By	Ckd	Description
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Project Name	Montgomery Street	Project Number	11759
Project Address	4 Montgomery Street, Doncaster, VIC 3109	Drawing Name	Fence Details
Client	Client Company	Scale	1:100 @ A1
		Date	11200 @ A3
		Drawing Number	TP312
		Revision	

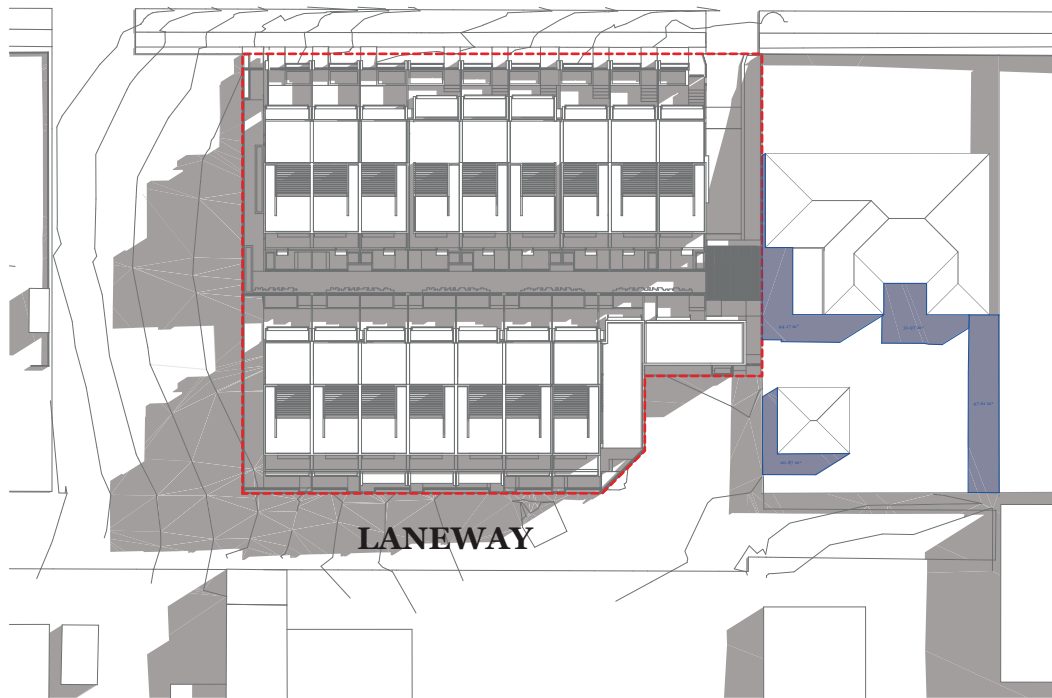
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ADVERTISED PLANS

Planning Application Number: PLN18/0121  
Date: 17 September 2013  
Sheet 33 of 36

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MONTGOMERY ST

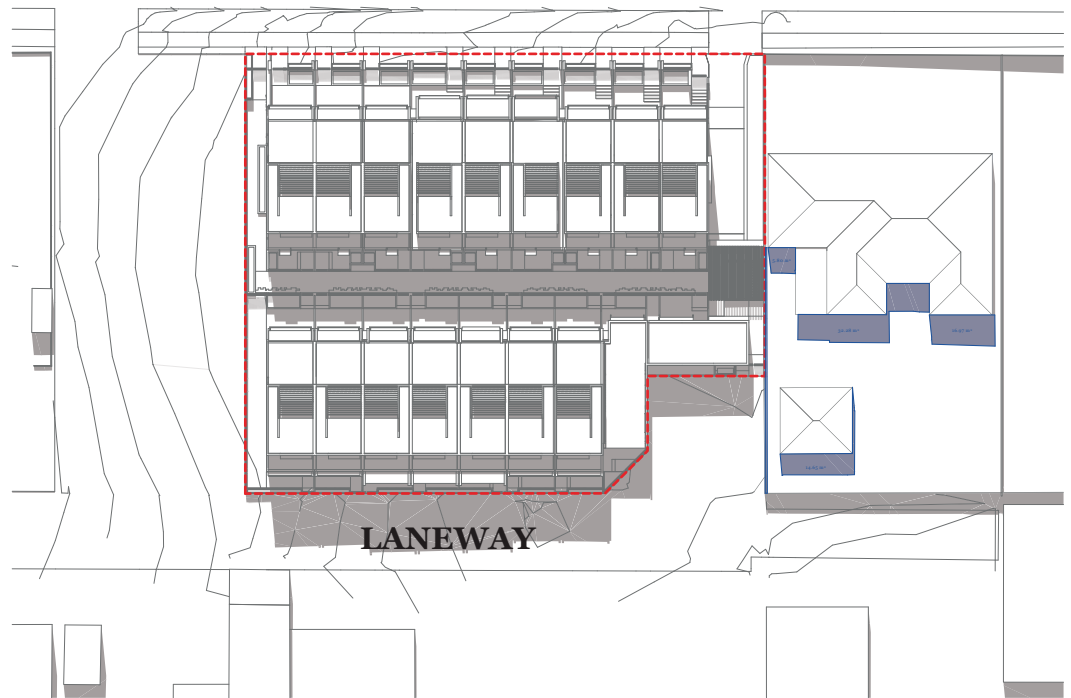


Shadow Diagram - 9am 1:500

Total POS: 414.39 m<sup>2</sup>  
Existing Shadow: 144.62 m<sup>2</sup>  
Additional Shadow: 0 m<sup>2</sup>

Total Shadow: 144.62 m<sup>2</sup>

MONTGOMERY ST



Shadow Diagram - 12pm 1:500

Total POS: 414.39 m<sup>2</sup>  
Existing Shadow: 69.70 m<sup>2</sup>  
Additional Shadow: 0 m<sup>2</sup>

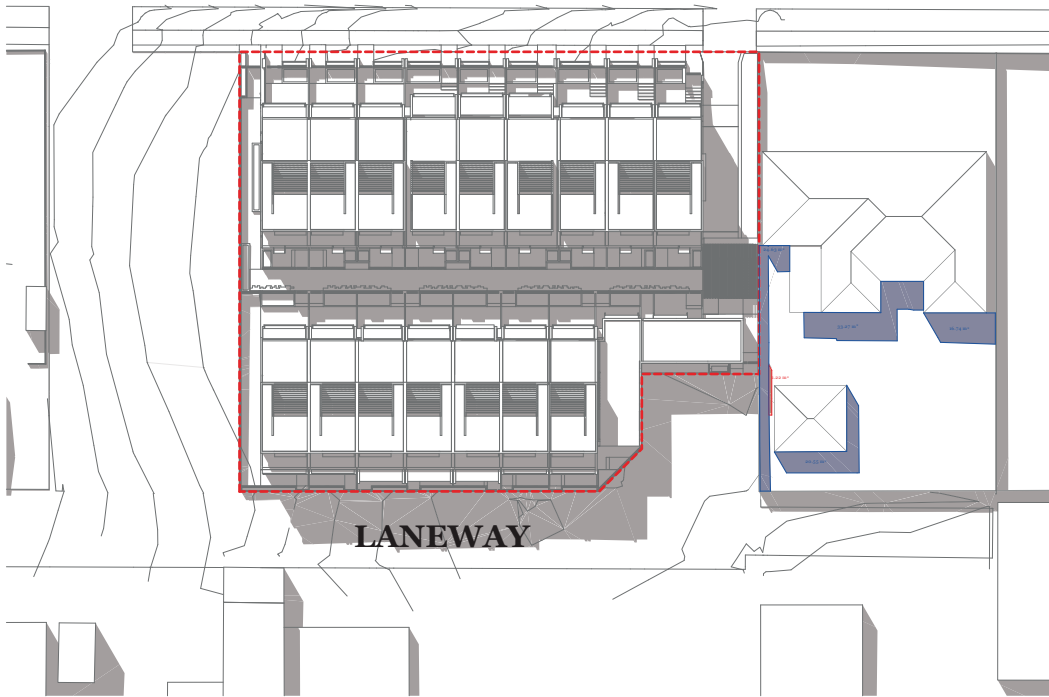
Total Shadow: 69.70 m<sup>2</sup>

ADVERTISED PLANS

Planning Application Number: PLN18/0121  
Date: 17 September 2018  
Sheet 34 of 36

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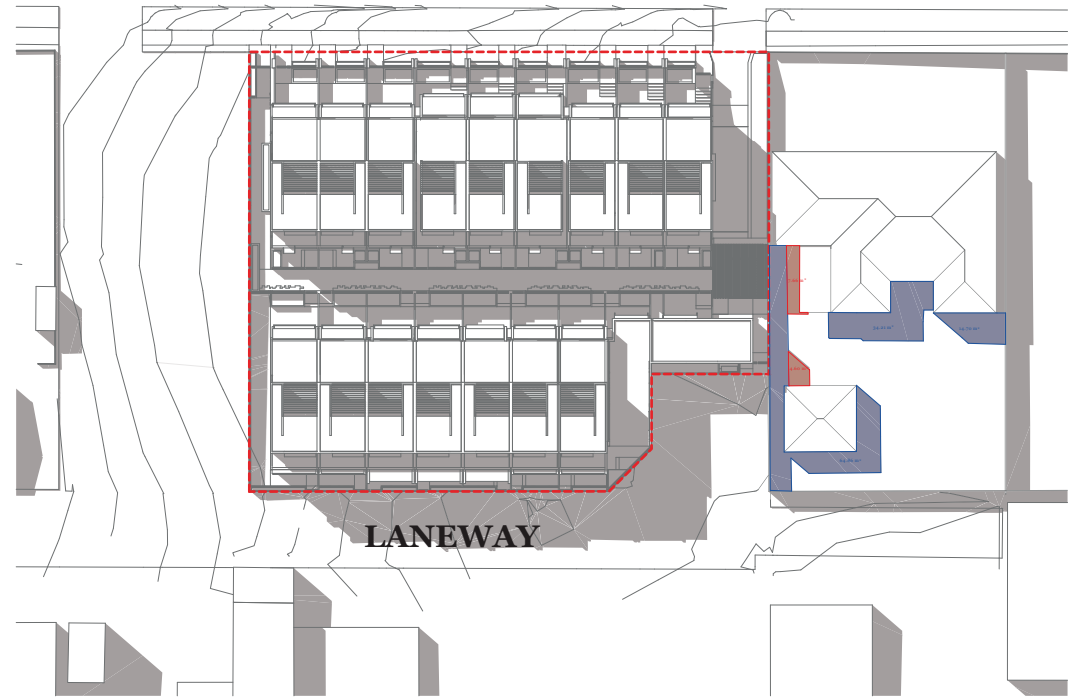
MONTGOMERY ST



Shadow Diagram - 1pm 1:500

**Total POS: 414.39 m<sup>2</sup>**  
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**Total Shadow: 96.41 m<sup>2</sup>**

MONTGOMERY ST



Shadow Diagram - 2pm 1:500

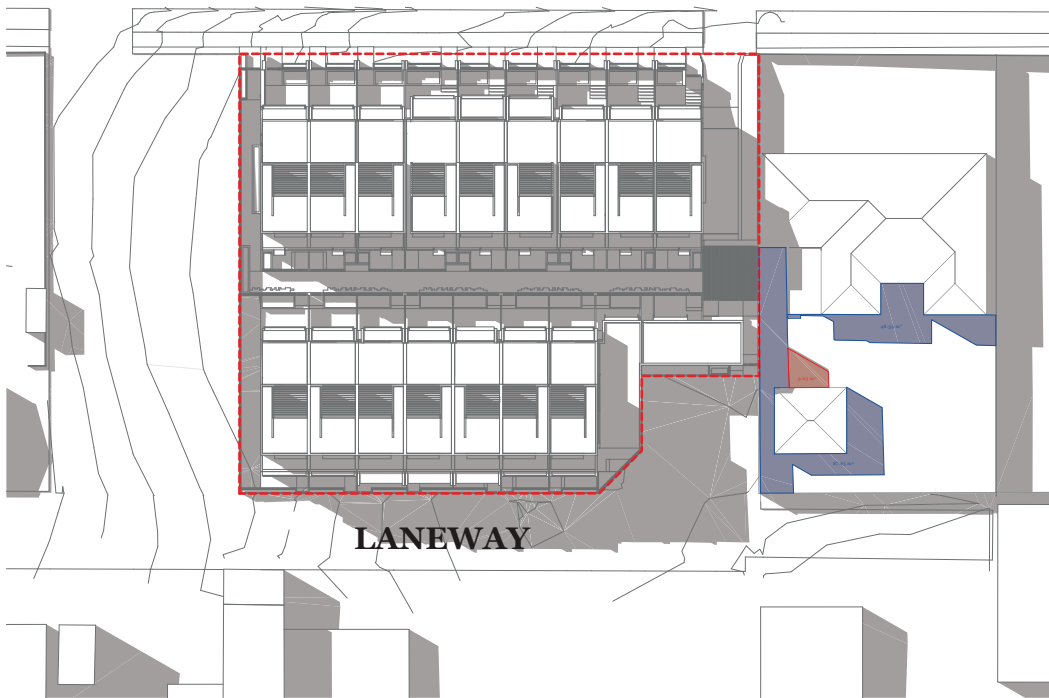
**Total POS: 414.39 m<sup>2</sup>**  
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**Additional Shadow: 12.26 m<sup>2</sup>**  
**Total Shadow: 126.03 m<sup>2</sup>**

ADVERTISED PLANS

Planning Application Number: PLN18/0121  
Date: 17 September 2018  
Sheet 35 of 36

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MONTGOMERY ST



Shadow Diagram - 3pm 1:500

**Total POS: 414.39 m<sup>2</sup>**  
**Existing Shadow: 136.04 m<sup>2</sup>**  
**Additional Shadow: 9.63 m<sup>2</sup>**

**Total Shadow: 145.67 m<sup>2</sup>**



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Project Name Montgomery Street  
Project Number 11759  
Date  
Scale

Drawing Name Shadow Diagram - 3pm  
Drawing Number TP402  
Revision



## 5. LEGISLATIVE REQUIREMENTS

### 5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received and which have not been withdrawn;*
- *Any decision and comments of a referral authority which it has received;*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development; and*
- *Any significant social effects and economic effects which the responsible authority considers the use or development may have.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### 5.2 MANNINGHAM PLANNING SCHEME

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.07 Residential Growth Zone, Schedule 3 (RGZ3)
- Clause 43.02 Design and Development Overlay, Schedule 13 (DDO13)
- Clause 52.06 Car Parking
- Clause 52.34 Bicycle Facilities
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

#### **Zone**

##### Clause 32.07 Residential Growth Zone, Schedule 3

The purpose of the Residential Growth Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.*
- *To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.*
- *To ensure residential development achieves design objectives specified in a schedule to this zone.*

- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

Schedule 3 specifically applies to residential areas surrounding prominent intersections and/or interfacing commercial areas. The design objectives of this schedule are:

- *To increase residential densities and provide a range of housing types around activity centres.*
- *To support four storey, 'apartment style' developments on larger lots where ResCode standards can be met and which are located at prominent intersections and/or which interface commercial areas.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive when viewed from the public realm.*
- *To provide built form and landscape outcomes that provide for an appropriate transition to surrounding development.*

A Planning Permit is required to construct two or more dwellings on a lot.

The Schedule to the Zone specifies that a building used as a dwelling or residential building must not exceed a height of 13.5 metres.

An assessment for buildings and works for two or more dwellings is required under the provisions of Clause 55 of the Manningham Planning Scheme.

The purpose of Clause 55 is generally to provide well designed dwellings with considered regard to internal amenity, while at the same time, maintaining the amenity and character of the locality, with particular emphasis on the amenity of adjoining residents.

## **Overlay**

### Clause 43.02 Schedule 13 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around The Pines Activity Centre.*
- *To increase residential densities and provide a range of housing types around activity centres.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support four storey, 'apartment style', developments on larger lots where ResCode standards can be met and which are located at prominent intersections and/or which interface commercial areas.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive when viewed from the public realm.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To provide built form and landscape outcomes that provide for an appropriate transition to surrounding development.*
- *To encourage landscaping around buildings to enhance separation between buildings and soften built form.*

- *To ensure development is designed and sited to maximise opportunities for public surveillance of the public realm and provide safe, accessible environments by integrating to adjoining or nearby commercial areas.*
- *To create a boulevard effect along Doncaster Road and Manningham Road by planting trees within the front setback that are consistent with the street trees.*
- *To ensure the design of basement and undercroft car parking complement the design of the building, minimises unsightly projections of basement walls above natural ground level and are sited to provide effective screen planting*
- *To ensure that on-site car parking is designed and located having regard to local traffic conditions.*

A Planning Permit is required to construct a building or construct or carry out works under this overlay. Buildings and works are required to achieve the following:

#### Building Height

The maximum height of a building and works must not exceed 13.5 metres. For the purpose of this Schedule, maximum building height does not include building services, lift over-runs and roof mounted equipment, including screening devices. A permit cannot be granted to vary this requirement.

#### Form

Development must:

- *Ensure that the site area covered by buildings does not exceed 60 percent.*
- *Preferably be on a lot with a minimum area of 1800sqm and comply with the setback requirements in ResCode Clause 55.04-1.*
- *Be set back 6m from the front boundary, unless a reduced setback provides transition to adjacent buildings or is located at the prominent intersection of two main roads. For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the front setback by a maximum of 2.0m, but must not extend along the width of the building.*
- *Provide visual interest through articulation, glazing and variation in materials and textures.*
- *Minimise buildings on side and rear boundaries to create spacing between developments.*
- *Where appropriate, ensure that buildings are stepped down to provide a transition to the scale of the adjacent residential development.*
- *Where appropriate, ensure that buildings are designed to step with the slope of the land.*
- *Be designed and sited to address slope constraints, including minimising views of basement projections and/or minimising the height of finished floor levels and providing appropriate retaining wall presentation.*
- *Avoid reliance on below ground light courts for any habitable rooms.*
- *Ensure that the upper level of a four storey building does not exceed 75% of the lower levels, unless it can be demonstrated that there is sufficient architectural interest to reduce the appearance of visual bulk and minimise continuous sheer wall presentation.*
- *Integrate porticos and other design features within the overall design of the building and not include imposing design features such as double storey porticos.*
- *Be designed to minimise overlooking and avoid the excessive application of screen devices.*
- *Ensure design solutions respect the principle of equitable access at the main entry of any building for people of all mobilities.*
- *Ensure basement, basement entries and/or undercroft car parks are not visually obtrusive when viewed from the public realm.*
- *Integrate car parking requirements into the design of buildings.*
- *Ensure the setback of the basement or undercroft car park is consistent with the front building setback and is setback a minimum of 4.0m from the rear boundary, where adjacent to a dwelling in a General Residential Zone 1, to enable effective landscaping to be established.*

- *Ensure that building walls, including basements, are sited a sufficient distance from site boundaries to enable the planting of effective screen planting, including canopy trees, in larger spaces.*
- *Ensure that service equipment, building services, lift over-runs and roof-mounted equipment, including screening devices is integrated into the built form or otherwise screened to minimise the aesthetic impacts on the streetscape and avoids unreasonable amenity impacts on surrounding properties and open spaces.*
- *Ensure that where development incorporates non-residential uses, that transparent glazed windows or doors are provided along ground floor frontages onto a street.*

### Car parking and access

Development must:

- *Include only one vehicular crossover, wherever possible, to maximise availability of on street parking and to minimise disruption to pedestrian movement. Where possible, retain existing crossovers to avoid the removal of street tree(s). Driveways must be setback a minimum of 1.5m from any street tree, except in cases where a larger tree requires an increased setback.*
- *Ensure that when the basement car park extends beyond the built form of the ground level of the building in the front and rear setback, any visible extension is utilised for paved open space or is appropriately screened, as is necessary.*
- *Ensure that where garages are located in the street elevation, they are set back a minimum of 1.0m from the front setback of the dwelling.*
- *Ensure that access gradients of basement carparks are designed appropriately to provide for safe and convenient access for vehicles and servicing requirements.*

### Landscaping

Development must:

- *Include canopy tree/s within the front setback, which have a spreading crown, and is capable of growing to a height of 8.0m or more at maturity.*
- *Provide opportunities for planting along-side and rear boundaries in areas that assist in breaking up the length of continuous built form and/or soften the appearance of the built form.*

### Fencing

- *A front fence must be at least 50 per cent transparent.*
- *On sites that front Doncaster, Tram, Elgar, Manningham, Thompsons, Blackburn and Mitcham Roads, a fence must:*
  - *not exceed a maximum height of 1.8m;*
  - *be set back a minimum of 1.0m from the front title boundary;**and a continuous landscaping treatment within the 1.0m setback must be provided.*

## **State Planning Policy Framework**

The relevant sections of the state planning policy framework are as follows:

Clause 11 (Settlement) seeks planning to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Clause 11.01-1 (Activity Centres) includes the objective to build up activity centres as a focus for high-quality development, activity and living for the whole community by developing a network of activity centres.

Clause 11.01-2 (Activity Centre Planning) includes the objective to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments

into activity centres which provide a variety of land uses and are highly accessible to the community.

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- *Promote good urban design to make the environment more liveable and attractive.*
- *Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.*
- *Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.*
- *Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.*
- *Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*

Clause 15.01-2 (Urban Design Principle) policy objective is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
- *The underlying natural landscape character.*
- *The heritage values and built form that reflect community identity.*
- *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*
- *Support low energy forms of transport such as walking and cycling.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*

The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Encourage housing that is both water efficient and energy efficient.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of housing in Metropolitan Melbourne to be developed within the established urban area, particularly at activity centres, employment corridors and at other strategic sites, and reduce the share of new dwellings in greenfield and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to activity centres, employment corridors and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within the established urban area to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-3 Strategic redevelopment sites

The policy objective is:

- *To identify strategic redevelopment sites for large residential development in Metropolitan Melbourne.*

Specific reference is made at clause 16.01-3 to “strategic redevelopment sites” which are described as:

- *in and around Central Activity Centres;*
- *in or within easy walking distance of Principal or Major Activity Centres;*
- *in or beside Neighbourhood Activity Centres that are well served by public transport;*

- *on or abutting tram, train, light rail and bus routes that are part of the Principal Public Transport Network and close to employment corridors, Central Activities Districts, Principal or Major Activity Centres;*
- *in or near major modal public transport interchanges that are not in Principal or Major Activity Centres;*
- *able to provide ten or more dwellings, close to activity centres and well served by public transport.*

#### Clause 16.01-4 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

#### Clause 18.01-1 Integrated Transport: Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

#### Clause 18.02-1 Movement networks: Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

#### Clause 18.02-2 Cycling

The policy objective is:

- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

The clause includes several strategies to achieve this objective including to:

Require the provision of adequate bicycle parking and related facilities to meet demand at education, recreation, shopping and community facilities and other major attractions when issuing planning approvals.

#### Clause 18.02-4 Management of the road system

The policy objective is:

- *To manage the road system to achieve integration, choice and balance by developing and efficient and safe network and making the most of existing infrastructure.*

#### Clause 18.02-5 Car parking

The policy objective is:

- *To ensure an adequate supply of car parking that is appropriately designed and located.*

The policy is relevant to the proposal because the application seeks a reduction in the standard car parking requirement of the Scheme. The objective is to ensure an adequate supply of car parking that is appropriately designed and located. It is also required to allocate or require land to be set aside for car parking subject to the existing and potential modes of access including public transport, the demand for off-street car parking, road capacity and the potential for demand management of car parking. Proposals are also encouraged to facilitate the use of public transport.

## **Local Planning Policy Framework (LPPF)**

### **Municipal Strategic Statement**

#### Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS

acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

#### Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

#### **The site is within “Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads”.**

A substantial level of change is anticipated in Precinct 2 with these areas being a focus for higher density developments.

The subject site and adjoining residential properties to the east are applied the Design and Development Overlay, Schedule 13 (shown on Manningham Planning Scheme maps as DDO13). This overlay applies to “Residential Areas Surrounding Prominent Intersections and/or Interfacing Commercial Areas” and is where increased residential densities, including up to four storey ‘apartment style’ developments (13.5 metres) on larger lots preferably with a maximum area of 1800sqm will be considered. All development should have a minimum site coverage of 60 per cent.

Development in Precinct 2 should:

- *Provide for contemporary architecture*
- *Achieve high design standards*
- *Provide visual interest and make a positive contribution to the streetscape*
- *Provide a graduated building line from side and rear boundaries*
- *Minimise adverse amenity impacts on adjoining properties*
- *Use varied and durable building materials*
- *Incorporate a landscape treatment that enhances the overall appearance of the development*
- *Integrate car parking requirements into the design of buildings and landform.*

Clause 21.05-2 Housing includes the following objectives:

- *To accommodate Manningham’s projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*



- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality's population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.*
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

The objective of Clause 21.05-4 *Built form and neighbourhood character* seeks to:

- *To ensure that residential development enhances the existing or preferred neighbourhood character of the residential character precincts as shown on Map 1 to this Clause.*

The strategies to achieve this objective include:

- *Require residential development to be designed and landscaped to make a positive contribution to the streetscape and the character of the local area.*
- *Ensure that where development is constructed on steeply sloping sites that any development is encouraged to adopt suitable architectural techniques that minimise earthworks and building bulk.*
- *Ensure that development is designed to provide a high level of internal amenity for residents.*
- *Require residential development to include stepped heights, articulation and sufficient setbacks to avoid detrimental impacts to the area's character and amenity.*

#### Clause 21.09 Activity Centres and Commercial Areas

This section applies to all activity centres and commercial areas identified in Framework Plan 5.

The Doncaster East Village Activity Centre is identified as a Neighbourhood Activity Centre.

The relevant key issues, objectives and strategies for Neighbourhood Activity centres are:

Key issues:

- The long-term viability of Neighbourhood Activity Centres and the impact of the Doncaster Shoppingtown and The Pines expansions.
- Pressure for commercial and retail development outside Neighbourhood Activity Centres.
- The appearance of buildings, car parking and signage.
- Impact of Neighbourhood Activity Centres on adjoining residential areas.
- Lack of suitable community facilities, social services, public spaces and infrastructure to meet future needs.
- Provision of appropriate car parking and traffic management arrangements

Objectives:

- *To maintain the role of Neighbourhood Activity Centres to meet local convenience needs.*
- *To achieve active street frontages in Neighbourhood Activity Centres.*
- *To discourage the location of new commercial and retail development outside Neighbourhood Activity Centres.*
- *To minimise the negative impact of Neighbourhood Activity Centres on the amenity of adjoining residential areas.*

- *To achieve high quality urban design which promotes a sense of place, community identity, social interaction and a safe environment.*
- *To provide landscaping to soften built form.*
- *To achieve building design which includes accessibility and reduces the need to modify or alter buildings, in response to future changing needs and uses.*
- *To ensure that public spaces provide a high standard of amenity, convenience, accessibility and safety.*
- *To provide quality community services and facilities in proximity to and within Neighbourhood Activity Centres.*
- *To ensure that adequate infrastructure is provided as part of any development.*
- *To improve pedestrian, bicycle and public transport access to Neighbourhood Activity Centres.*
- *To achieve effective and safe pedestrian movement within Neighbourhood Activity Centres.*
- *To ensure appropriate traffic management and adequate parking provision.*
- *To ensure that development provides the highest level of access for all people.*

Strategies to achieve these objectives:

- *Encourage a mix of uses including residential development to ensure the long term viability and competitiveness of the activity centres.*
- *Require the location of new commercial and retail uses to be within activity centres.*
- *Upgrade the appearance of Neighbourhood Activity Centres through the implementation of Urban Design Masterplans.*
- *Ensure that land use and development within Neighbourhood Activity Centres minimises the impact on residential amenity.*
- *Encourage high quality and contemporary built form.*
- *Encourage car parking areas at the rear, side or underneath buildings in a way that responds to landform and surrounding development.*
- *Encourage the use of landscaping to soften the visual appearance of development.*
- *Encourage signs which complement the character and amenity of the area, the site and surrounds, built form and streetscape, minimise clutter, are well designed and improve the site's attractiveness and function.*
- *Encourage the establishment of community based facilities in or adjacent to activity centres to encourage social interaction and to service resident needs.*
- *Design public spaces to provide a high standard of amenity, convenience, accessibility and safety.*
- *Require an economic assessment of the impacts of significant proposed developments/expansions on other activity centres.*
- *Require a traffic and car parking assessment to be prepared for development, where appropriate.*
- *Maximise opportunities for car parking including consolidation of land (e.g. at the rear of shops).*

#### Clause 21.10 Environmentally Sustainable Development

Council's Environmentally Sustainable Development Policy seeks to achieve best practice design, construction and operation for new development.

A number of considerations are to be made under the headings: key issues, objectives, and strategies relating to the following areas:

- Clause 21.10- 2 Energy Performance
- Clause 21.10-3 Water Sensitive design.
- Clause 21.10-4 External environmental amenity and internal healthy environment considerations

- Clause 21.10-5 Waste Management
- Clause 21.10- 6 Quality of Private and Public realm
- Clause 21.10-7 Transport
- Clause 21.10-8 Urban Ecology

## **Local Planning Policy**

### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

### Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

## **Particular Provisions**

### Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings

Due to the site's location within the Principal Public Transport Network Area, no visitor parking is required to be provided on site.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

### Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, the following number of bicycle spaces are required in development of four or more storeys:

- 1 space for every 5 dwellings for residents.
- 1 space for every 10 dwellings for visitors.

### Clause 55 Two more dwellings on a lot and residential buildings

The development of two or more dwellings on a lot must meet the requirements of this clause. The assessment section of the report identifies where there are non-compliances identified with the proposal.

## **General Provisions**

### Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- The State Planning Policy Framework and the Local Planning Policy *Framework*, including the *Municipal Strategic Statement* and *local planning policies*.
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*

**Other Documents**

Doncaster East Village Structure Plan

(Attached next page)

## Doncaster East Village Structure Plan



November 2011

Updated July 2012

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# 1 Introduction and Context

## 1.1 Purpose of the Doncaster East Village Structure Plan

The Doncaster East Village Structure Plan (the “Structure Plan”) provides a strategic framework for the integrated development of the Doncaster East / Devon Plaza area for the next 15-20 years. The Structure Plan reviews and builds on the 2005 *Manningham Activity Centre Strategy*. It describes the Centre as it is now and provides an analysis of the opportunities, and constraints and assesses future needs including feedback from traders and users.

The Structure Plan has been developed to create a holistic and coordinated plan to guide the continued improvement of the Doncaster East Village Activity Centre. The Structure Plan embraces the principles of environmental, social and economic sustainability and guides change to land use, built form, accessibility and connectivity, public spaces and community wellbeing to ensure the long term sustainability and improvement of the Centre.

The Structure Plan provides a vision and objectives for the Doncaster East Village Activity Centre. The Structure Plan sets direction and recommended strategies, and an action plan sets out the works and programs required to achieve the vision.

The purpose of the Doncaster East Village Activity Centre Structure Plan is to:

- Provide certainty to the local community and investors about the future form and use of the Doncaster East Village Activity Centre;
- Manage change to ensure that the Centre remains vibrant and an attractive place to visit and or live;
- Better connect and integrate the north and south side of the Centre.
- Develop an integrated set of strategies to achieve the vision in areas such as traffic management and parking, pedestrian and bicycle connectivity, streetscape improvements and signage;
- Guide decision-makers and other relevant key stakeholders at a local level regarding works and initiatives;
- Guide future use and development in a manner that is consistent with local planning policy; and
- Direct Council resources to best serve the local community.

## 1.2 Study Area

The Doncaster East Village Activity Centre is one of 9 Neighbourhood Activity Centres within Manningham. It is located on Doncaster Road (west of the Blackburn Road intersection), Doncaster East. The Activity Centre is relatively low-rise, with both commercial and residential areas comprising a mix of predominantly one and two storey buildings. The Centre occupies an area of approximately 23 hectares comprising 4 ha of business zoned land. The area is well serviced by public transport and is approximately 1.3 kilometres north of the Eastern Freeway.

The Doncaster East Village Activity Centre Study Area is generally bounded by a 400 metre radius from the core of the centre, which is located between two bus stops along Doncaster Road. This 400 metre radius represents a reasonable walking distance to the centre and includes:

- The shopping centre including Devon Plaza and office and retail areas along Doncaster Road.
- Those residential areas that have a strong functional inter-relationship with the Centre and which provide the primary opportunities for further residential development in walking distance to the business core.
- Several community facilities including a Police Station and veterinary clinic.
- Council owned land along Montgomery Street including a small reserve, pre-school and car parking areas.

The Structure Plan Boundary is shown in **Figure 1**.

The precinct and sub-precinct boundaries are shown in **Figure 2**

Figure 1: Doncaster East Village Activity Centre Structure Plan Boundary

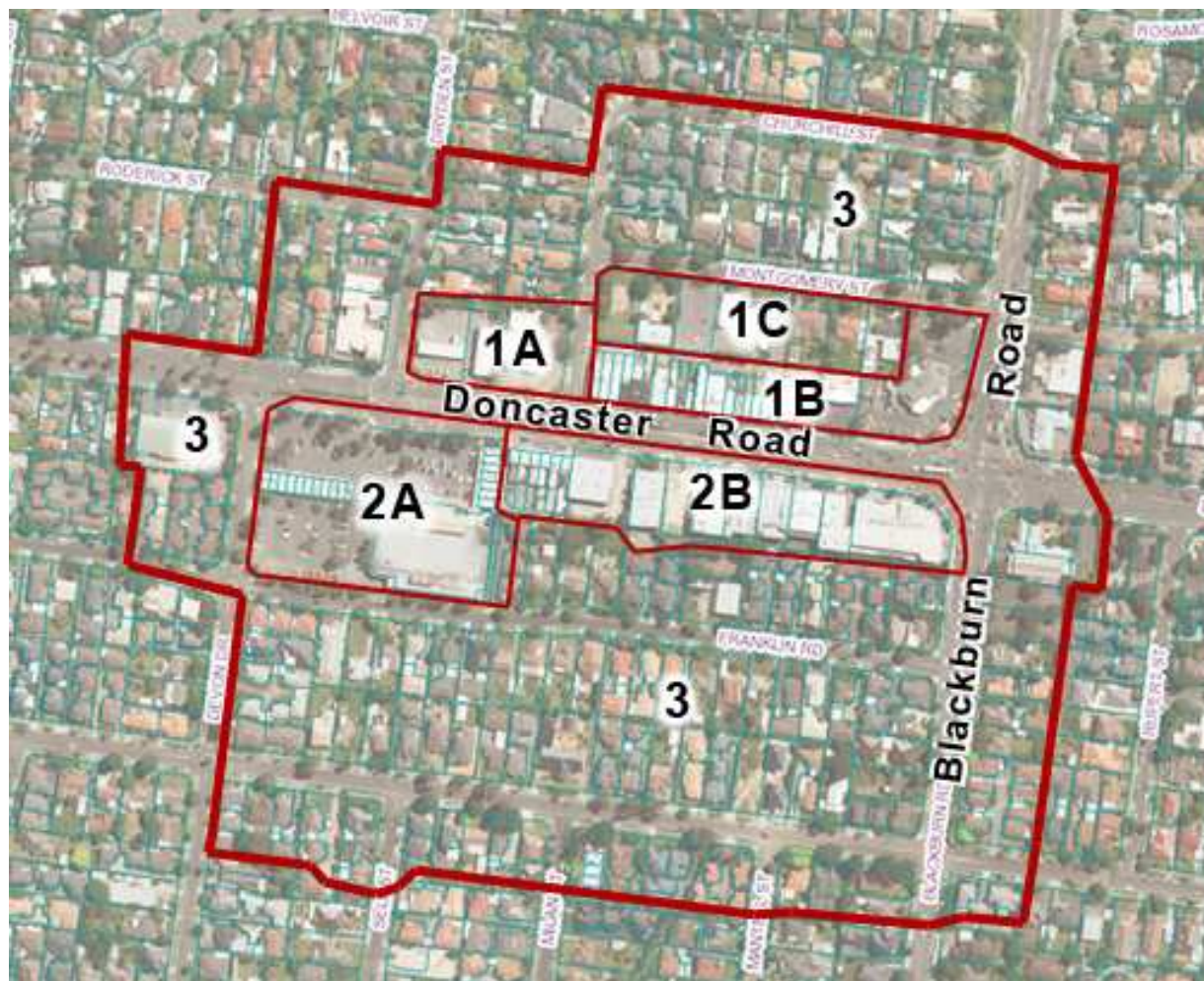
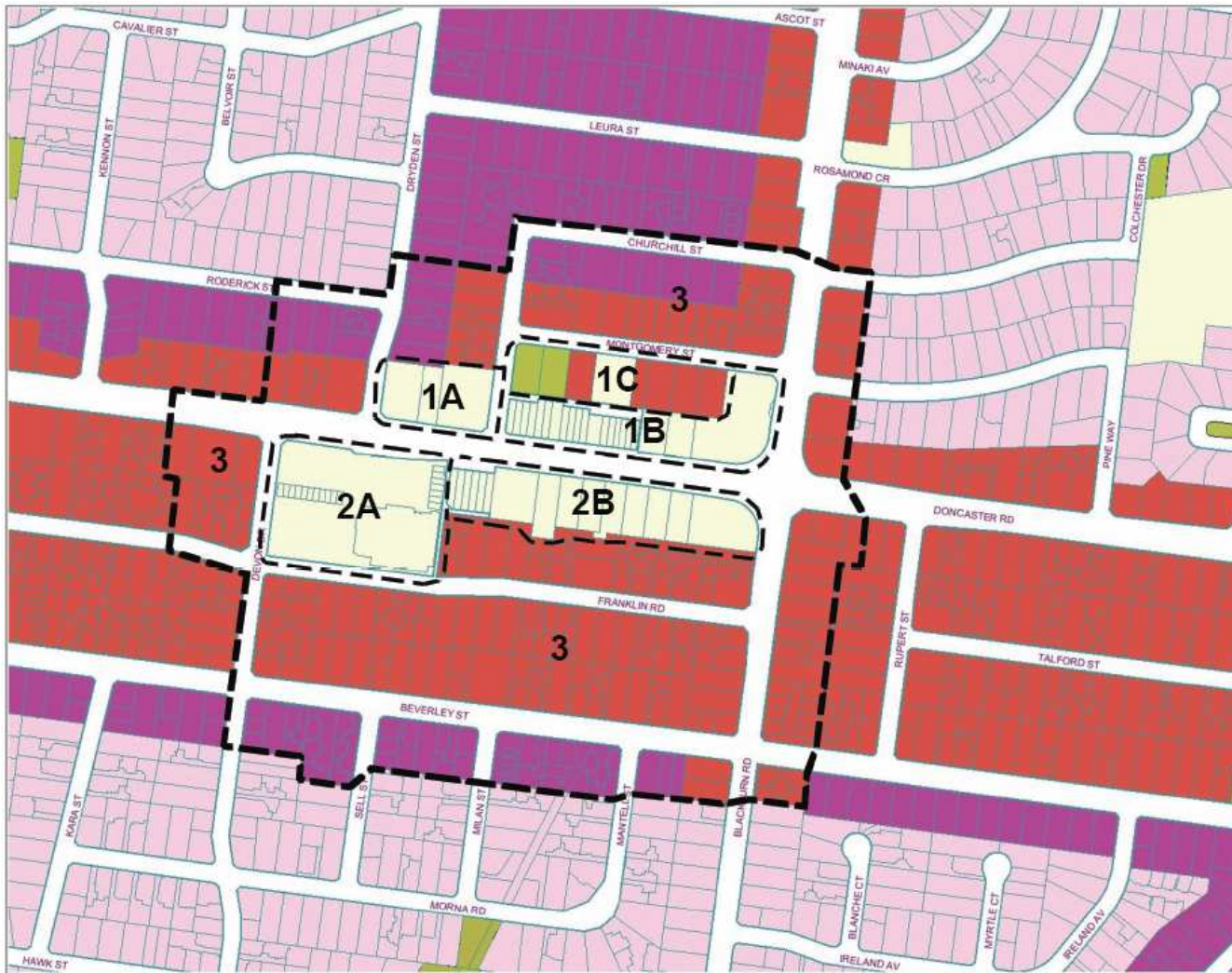




Figure 2: Doncaster East Village Activity Centre Precinct Boundaries



**LEGEND:**

**Precinct 1** - incorporates the commercial development on the north side of Doncaster Road. **Sub-precinct 1A** includes commercial development between Dryden and Churchill Streets. **Sub-precinct 1B** includes the commercial development between Churchill Street and Blackburn Road. **Sub-precinct 1C** includes land on the south side of Montgomery Street which contains a number of Council owned sites comprising a small reserve, the Doncaster East Pre-school, a public car park and a building currently used by Doncare, and several privately owned properties.

**Precinct 2** - incorporates the commercial development on the south side of Doncaster Road, commonly referred to as Devon Plaza and other retail and office uses to the east along Doncaster Road. **Sub-precinct 2A** includes a supermarket and other retail and grocery outlets. **Sub-precinct 2B** includes other retail and office uses to the east along Doncaster Road.

**Precinct 3** - incorporates residential areas within the Structure Plan boundary included within the Residential 1 Zone (R1Z) and also affected by the Design and Development Overlay Schedule 8 - Residential Areas Surrounding Activity Centres and Along Main Roads (DDO8). These areas provide the greatest opportunity to increase residential densities and housing types in proximity to the Centre. (Note: The area shown in red is referred to as Sub-precinct A. The area shown in purple is referred to as Sub-precinct B).

### **1.3 How was the Structure Plan developed?**

The following tasks informed the development of the draft Structure Plan:

- Identifying the principles for determining the boundaries of the Study Area;
- Policy context and demographic and economic analysis;
- Site analysis including pedestrian audit;
- Targeted consultation with traders and pedestrian survey;
- Public consultation for draft Structure Plan
- SWOT Analysis; and
- Traffic Analysis.

### **1.4 How is the Structure Plan organised?**

The Doncaster East Village Structure Plan is organised into 5 sections:

- Section 1 Introduction and Context – explains the purpose of the Plan and describes the study area and how the plan was developed.
- Section 2 Background – sets the context in terms of key policy documents, provides a description of the activity centre as it is now and the key strengths, weaknesses, opportunities and constraints affecting the activity centre.
- Section 3 Vision and Objectives – sets out the future vision and objectives for the Doncaster East Village Activity Centre.
- Section 4 Strategic Framework – includes strategies and actions to achieve the vision.
- Section 5 – monitoring and review of the Structure Plan

A number of appendices are provided:

1. Summary of responses from targeted consultation.
2. Residential survey results relating to housing demand.
3. Housing buyer profile for 25-34 year olds.
4. Physical audit of retail / business centre.
5. Montgomery Street SWOT Analysis.

## 2 What we know about the Centre

### 2.1 *Manningham Policy Context*

Activity centres are places where people can shop, work, meet, relax and live. Generally well serviced by public transport, they provide a focus for services, employment and social interaction. They range in size and intensity of use and include strip shopping centres and major education and employment hubs.

The **Municipal Strategic Statement (MSS)** forms part of the Manningham Planning Scheme and is a statement of the key strategic planning, land use and development objectives for the municipality.

The MSS recognises that activity centres are integral to the local economy and local employment generation and are an important focal point for community life and interaction.

The MSS identifies that key challenges for Manningham's network of activity centres are to ensure that commercial development is contained within the activity centres and that existing centres remain vibrant viable and sustainable into the future. The Principal, Major and identified Neighbourhood Activity Centres will be the focus of increased residential growth and development. Other key challenges facing activity centres include changes to industry and social trends (e.g. internet shopping, lifestyle shopping) as well as the impact of the Pines and Westfield Doncaster expansions on other local centres.

Manningham's Neighbourhood Activity centres provide a limited mix of uses to meet local convenience needs. A key issue for these centres is to ensure that these centres remain viable and can evolve to meet the future needs of the community. These centres will continue to be community hubs and meeting places for local residents, and opportunities for locating a range of social, community and recreational services within these centres will be encouraged.

Development in the activity centres should improve functionality, accessibility, safety, social interaction, promote sustainability, and address scale and identity through site responsive design.

The ***Manningham Activity Centre Strategy*** (2005) states that Neighbourhood Activity Centres must be connected through the Principal Public Transport Network (PPTN) to a Principal or Major Activity Centre. The encouragement of higher density housing and a mix of uses is a critical element to ensuring the vibrancy and success of Neighbourhood Activity Centres.

Doncaster East Village is identified as a Neighbourhood Activity Centre in the hierarchy of Melbourne's activity centres. Key features of Neighbourhood Activity Centres are:

- generally having a limited mix of uses meeting local convenience needs;
- generally less than 10,000 square metres of retail floor space;
- accessible to a viable user population by walking / cycling;
- accessibility by local bus services, and a public transport link to one or more Principal or Major Activity Centres; and
- their role as important community focal points, ideally close to schools, libraries, child care, health services, police stations and other facilities that benefit from good public transport.

The ***Manningham Residential Strategy*** (2012) provides a policy framework for meeting the existing and future housing needs of the municipality. The Residential Strategy encourages higher density residential development in areas adjoining Activity Centres whilst seeking to protect other residential areas from more intensive development.

The **Manningham Residential Character Guidelines** (2005) provides the framework to manage the level of change in urban residential areas. The Guidelines encourage higher density residential housing in proximity to Activity Centres and along main roads to make use of existing services and infrastructure. A Design and Development Overlay (DDO8) has been applied to residential zoned land around the Doncaster East Village Activity Centre to encourage higher residential densities in these areas.

The Doncaster East Village Activity Centre is a viable retail centre with low vacancy rates and has the potential for new housing development to accommodate an increase in population in proximity to the Centre. The basic structure of an activity centre is already in place.

There are opportunities to improve the Centre to become more attractive to business investment and growth and provide for new housing and employment opportunities.

## **2.2 Demographic Characteristics**

According to Forecast.id, the current estimate of people living in the suburb of Doncaster East is 28,769. While a significant number of new dwellings were added between 1996 and 2006, the decline in average household size has resulted in overall population stability, with negligible population change during this period. Population forecasts prepared by i.d. consulting suggest that population in the Doncaster East area will, however rise to 30,885 by 2031.

It is estimated that the residential area of the Structure Plan would support an increase of approximately 600 dwellings.

Analysis of the age structure of Doncaster East in 2006 compared to the Melbourne Statistical Division (MSD) shows that there was a smaller proportion of people in the younger age groups (0 to 17) but a larger proportion of people in the older age groups (60+). Overall, 21.6% of the population was aged between 0 and 17, and 21.5% were aged 60 years and over, compared with 22.8% and 17.4% respectively for the Melbourne Statistical Division. These figures are generally consistent with Manningham as a whole. In 2006, the most populous age group in Doncaster East was the

35 to 49 year olds (22.1%). Population projections indicate that the numbers of people aged 35 to 49 will continue to be the most populous age group. The number of people aged over 70 is expected to increase and will represent 15.3% of the population by 2031.

A relatively high proportion of residents in Doncaster East were born overseas and were from a non-English speaking background compared to Manningham as a whole. Overall, 39.6% of the population was born overseas, and 33.7% were from a non-English speaking background, compared with 34.1% and 28.0% respectively for City of Manningham. The top five birth countries of overseas-born residents within Doncaster East are China, Hong Kong, Malaysia, United Kingdom, Greece and Italy.

The average household size is declining but remains higher than the metropolitan average. Almost a third of households (32.9%) comprise 4 or more persons. In 2006 there was a larger proportion of couple families with children but a smaller proportion of one-parent families than the MSD. Overall, 53.3% of total families were couple families with children, and 12.3% were one-parent families, compared with 48.4% and 15.4% respectively for the Melbourne Statistical Division.

Based on the demographic analysis detailed above the following trends are expected to 2031:

- Continued decline of household size;
- More lone person households;
- More residents aged over 70 years.

In order to address and respond to these trends there is an identified need to:

- attract persons aged 25-34 years ;
- cater for smaller households; and
- cater for lone households.

## 2.3 Housing Characteristics

The residential component of the Structure Plan includes the area surrounding the retail / business hub, and is designated for increased residential density.

This area comprises predominantly low-density residential development of single detached dwellings on relatively large blocks of land. However, there are increasing levels of one and two storey medium density infill residential development occurring. According to the 2006 Census, 74.4% of private dwellings are separate dwellings compared to 81.6% in 2001. Medium and high density dwellings comprise 18.4% of private dwellings compared to 12.4% in 2001 being an increase of 6% over this 5 year period (an increase of 645 dwellings in total).

A comparison of the 2001 and 2006 Census data indicates that household size (number of persons usually resident) is decreasing which is generally consistent with the trend across Melbourne. Almost a third (31.9%) of households within Doncaster East, comprise 2 persons with a further 16.9% being lone person residences. One and two person households show a growth between 2001 and 2006. It is noted that just over a half of households have 3 or more persons with 21% of households comprising 4 persons.

The most common tenure in Doncaster East is households who own their dwelling, with 46.2% of the population owning their dwelling; compared with 33.1% across metropolitan Melbourne, which is typical for Manningham as a whole. A smaller proportion of residents were purchasing (31.1%) or renting (17.5%) their dwelling compared to the MSD with 34.6% purchasing and 24.5% renting respectively.

Findings from a survey undertaken as part of the *Resident and Apartment Market Research* (MacroPlan Australia April 2011) show that of those persons who had recently moved, a quarter of people had moved to Doncaster East and that future demand for housing in Doncaster East will remain high

The *Resident and Apartment Market Research* (MacroPlan Australia April 2011) also identifies that within the residential property market there are a number of market segments that the City of Manningham will need to cater for in future. As noted above a gap in the current demographic mix within Doncaster East is the 25-34 year old market.

According to the 2006 Census, public housing represents only 0.5% of the existing housing stock which is comparable to Manningham (0.4%), however is significantly lower than metropolitan Melbourne (2.7%).



## 2.4 Economic Profile / Trade Catchment Area

The Doncaster East Village Activity Centre is a neighbourhood shopping and service centre located towards the middle of Manningham on Doncaster Road, East Doncaster. The centre provides a range of goods and services for the local catchment through the provision of food, grocery and other retail shops, offices and community facilities.

Doncaster Road divides the retail/business area into two distinct sections. The northern part known as Doncaster East, is a traditional strip shopping facility comprising a mix of retail uses with a number of community facilities located at the rear (along Montgomery Street) including a small Council reserve, pre-school and some public car parking areas. There is limited parallel parking in front of the retail establishments fronting Doncaster Road.

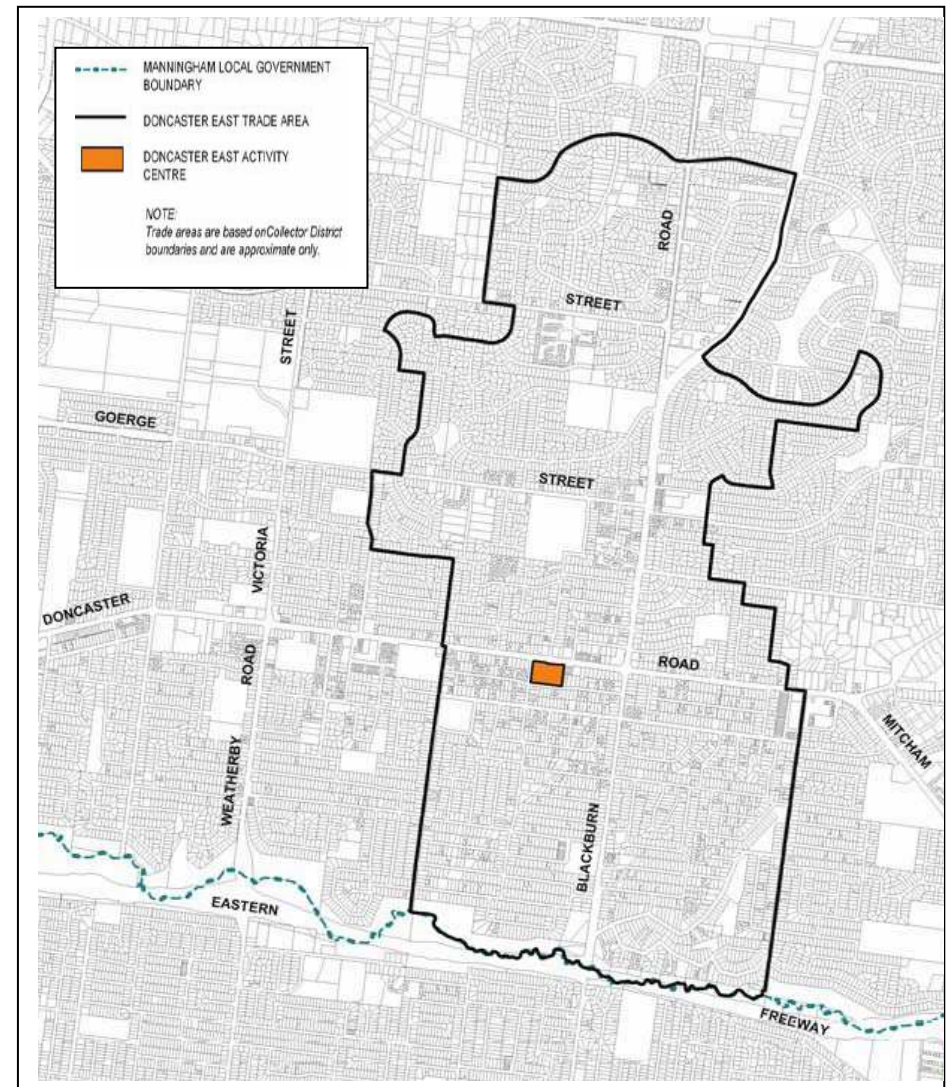
The south side is known as Devon Plaza and has two separate areas which include Safeway and other food and grocery outlets in the 'Plaza'. Other retail uses and offices are located further east along Doncaster Road.

Approximately 2.71 hectares of the activity centre is zoned Business 1 Zone (which seeks to encourage retailing and other complementary commercial, entertainment and community uses) and approximately .78 hectares zoned Business 2 (which seeks to encourage offices and associated commercial uses).

The *Manningham Activity Centre Strategy, 2005* has identified a trade area for Doncaster East / Devon Plaza Activity Centre as having a population of 10,707 comprising some 4,018 households (Refer to **Figure 3**). According to ABS Census data, the Doncaster East area has experienced a growth of 0.45% between 2001 and 2006. Based on this increase it is estimated that the trade area for the Activity Centre has increased to approximately 10,803 persons.

In general, the catchment area is characterised by people on average incomes and with a high proportion in the 55+ age groups. A relatively high proportion of the trade catchment population was born overseas.

Figure 3: Trade Catchment Area



The Doncaster East Village Activity Centre provides a very good range of food, grocery and services for the local catchment through the provision of food, grocery and other retail shops, offices and community facilities. An audit undertaken in January 2011 indicated that almost 20% of activities being food related businesses, 15% selected services (e.g. video, hair and beauty, travel) and 13.5% being financial related services. The shops at Doncaster East Village take the equivalent of around 42% of the spending by residents in the trade area.

Neighbourhood residents are also served by surrounding supermarket centres (especially nearby Tunstall Square) as well as larger comparison goods centres such as the Pines, Doncaster Hill and the big box outlets in surrounding municipalities.

The *Manningham Activity Centre Strategy, 2005* states that the Doncaster East / Devon Plaza Activity Centre has a total of 5,960m<sup>2</sup> of retail floorspace, with significant purpose built office facilities. The centre contains 4% of Manningham's retail floorspace, including 8% of the municipality's food shopping (Note: These figures were determined prior to the expansion of Westfield Doncaster and the removal of the supermarket at Jackson Court).

There have been a small number of planning permit applications approved in the last 5 years including building alterations and extensions, second storey additions and construction of a two storey office building with basement carparking.



## 2.5 Transport

The Centre is located approximately 1.3 kilometres north of the Eastern Freeway providing access to the City or to the eastern and southern suburbs of the metropolitan area via Eastlink. The Centre is approximately 3.8 kilometres from the nearest train station (Blackburn Station), with no rail network or tram network being located within Manningham.

The Centre is served by a number of SmartBus routes with peak hour bus priority lanes and clearways along Doncaster Road. Two bus routes forming part of the Doncaster Area Rapid Transport Network (DART) pass through or close to the Centre. The Yellow Orbital Route (901 - Frankston to Melbourne Airport) travels via Blackburn Road, whilst the Green Orbital Bus Route (902 - Chelsea to Airport West) travels via Doncaster Road through the Centre.

Other bus routes that traverse Doncaster and or Blackburn Road include routes: 907 – City to Mitcham via Doncaster Road (SMARTBUS); 906 City to Warrandyte Bridge (SMARTBUS); 286 Box Hill to The Pines Shopping Centre via Blackburn Road; and 961 NightRider – City to Doncaster via Eastern Freeway.

There are two bus stops at either end of the Centre located along Doncaster Road and a third bus stop located on Blackburn Road, south of Doncaster Road. Only a couple of the existing bus stops have shelters.



## 2.6 Doncaster East Village SWOT Analysis

### STRENGTHS

- **Position on main arterial road** - Doncaster Road and close to the intersection of Doncaster Road and Blackburn Road provides good exposure and access to a wide catchment.
- Located along the route of **two orbital bus routes and DART Services**.
- Good mix of service and retail businesses to meet local community needs.
- **Extensive office development** – local employment opportunities.
- **Some established trees** exist in the car park which provide shade and act as a visual clue along Doncaster Road.
- **Strong Supermarket.**
- Low vacancy rates
- **Generally safe and easily accessible by car and pedestrians that live close by.**
- **Good range of lunchtime services including take-away food / café outlets.**



### WEAKNESSES

- **Reduced catchment area** – no point of difference against competing shopping strips.
- **Unattractive urban design** and limited potential because of busy main road. Devon Plaza buildings are outdated.
- **Physical barriers** – Doncaster Road creates a lack of connectivity between the north and south side of the Centre.
- **Ad hoc poorly maintained landscaping and planting** - adds to visual confusion.
- **Poor layout and circulation of car parking** area in Devon Plaza impedes traffic flow
- **Existing pedestrian infrastructure** is in poor condition and is disconnected.
- **There is little protection from the negative aspects of weather (sun and wind).**
- **Limited opportunity for outdoor trading or dining on northern side of Doncaster Road (low amenity along Doncaster Road).**
- Rear of retail and commercial business adjacent to laneway on north side of Doncaster Road **poorly presented.**
- **Cars dominate the street frontage** with numerous separate driveways located along Doncaster Road making the streetscape unattractive to pedestrians.
- **Limited visible parking outside of Devon Plaza** for drivers using Doncaster Road who may wish to stop and shop.
- **Limited car parking** on north side of commercial centre.



## OPPORTUNITIES

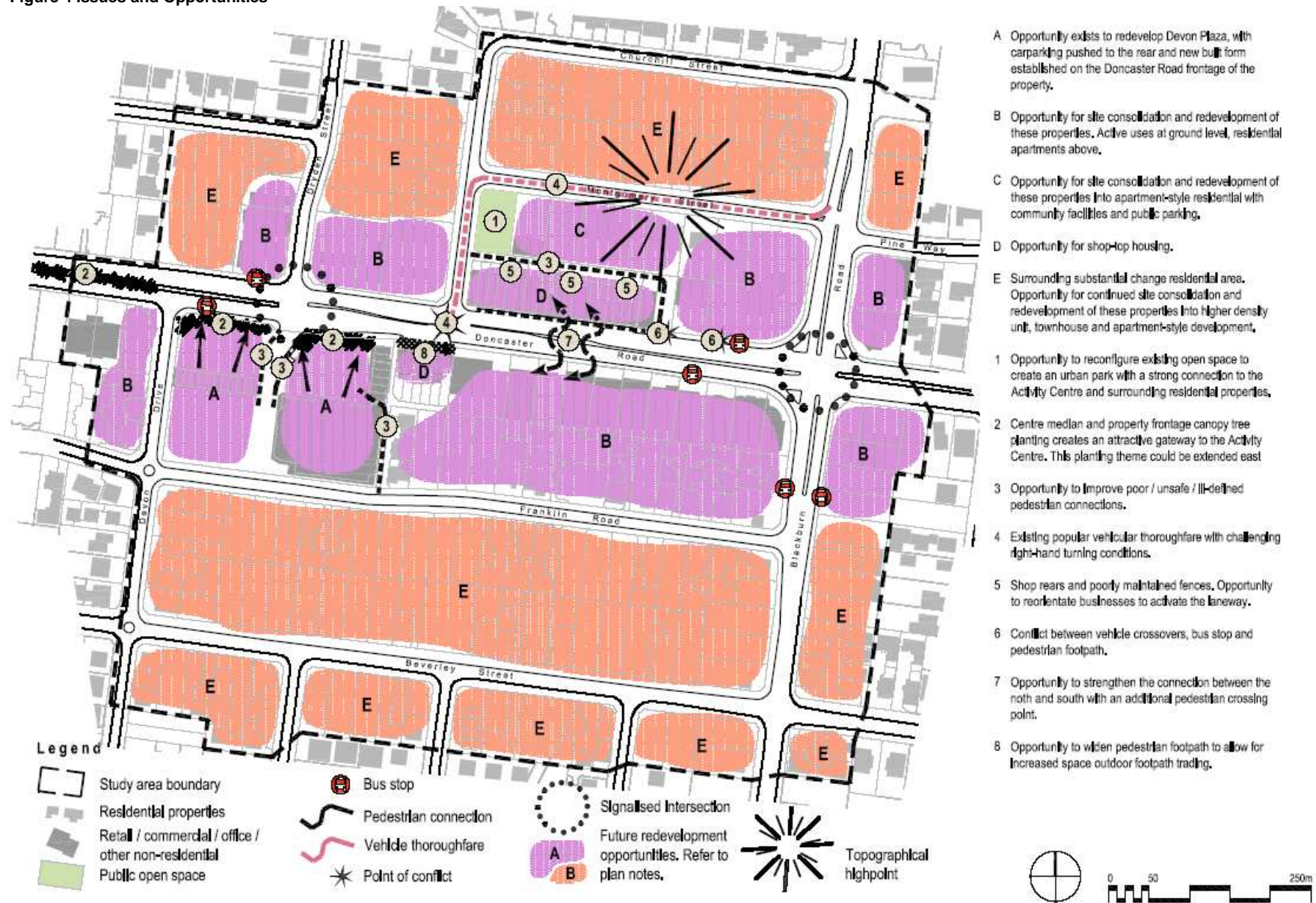
- **Facilitating appropriate redevelopment of vacant and underutilised sites.**
- **Reduce speed limits to improve amenity along Doncaster Road.**
- Development of **alternative housing choices** to meet ageing population and needs of smaller households especially on Council owned land.
- Encouraging **increased residential densities** in the activity centre and surrounds (where Design and Development Overlay applies).
- **Potential to market strongly as an employment centre**; potential to provide some sub-regional retail functions.
- Potential to **generate further growth of convenience shopping** e.g. upgrade of the supermarket.
- **Redevelopment opportunities** to capitalise on location and improved connectivity and exposure.
- **Safe pedestrian crossing** over Doncaster Road.
- **Potential for restaurant dining** to encourage greater use of the centre in the evening.
- Possibility of **widening the footpath in front of 980 – 990 Doncaster Road.**
- **Providing a central hub / urban plaza** as a community focus.
- **Relocate Doncare** to Manningham Civic Hub.

## THREATS

- **Competition from surrounding retail centres** - Location in close proximity to two larger shopping centres (Tunstall Square and Jackson Court) also Doncaster Hill Principal Activity Centre and the Pines major Activity Centre.
- **Growth in internet shopping.**
- **Loss of supermarket / anchor stores.**
- **Loss of community facilities** and impact on retail businesses.



Figure 4 Issues and Opportunities



## 3 Vision and Objectives

### 3.1 Vision

Although the vision for the Doncaster East Village Activity Centre contained in the 2005 Manningham Activity Centre Strategy still remains valid, it has been modified to include reference to the surrounding residential area which is an integral part of the Activity Centre:

**Doncaster East Village will continue to be a vibrant, well-connected local centre providing a range of shops and community facilities for people who live work or visit here. The centre will capitalise on its accessible location to provide for a diversity of housing options, an employment hub and successful specialist neighbourhood retailing. The centre will continue to develop as an attractive, unified and well-serviced activity centre providing office employment for Manningham and retail services for its local Neighbourhood.**

The following section details the primary objectives to be met to support key aspects of the vision:

To strengthen the **economic role** of the Activity Centre to ensure a robust, diverse and competitive economy that supports local community needs.

To encourage innovative and high quality **built form** that incorporates Ecologically Sustainable Development (ESD) and to provide a variety of **housing opportunities** to meet the needs of current and emerging demographic trends.

To provide residential, community uses and public open space opportunities through site consolidation of **Council owned land** in Montgomery Street.

To provide **public places** and streets that are accessible, safe and well-maintained.

To ensure that the Activity Centre has well-integrated movement networks that prioritise **sustainable modes of transport**.

To promote a safe and attractive network of **pedestrian / bicycle routes** through the Activity Centre that connects with surrounding residential areas and nearby open space links.

## 4 Strategic Framework

This chapter outlines the strategies and actions required to achieve the objectives for the centre. These strategies and actions are organised around five themes:

The five themes are:

- Business Development
- Housing Opportunities and Built Form
- Public Environment / Public Realm
- Public Transport, Traffic and Car Parking
- Pedestrian and Cycling

The strategies and actions have been developed for each theme to ensure that there are appropriate planning, economic and capital works initiatives to implement the vision for the Activity Centre. It should be noted that in terms of timing, Short term is within the first 5 years, Medium term is within 5 – 10 years and Long term within 10 – 20 years. The redevelopment of Council-owned land in Sub-precinct 1C Montgomery Street, provides short term opportunities. While the Action tables indicate priority timing, many of the actions will be in response to private development initiatives. Figure 5 outlines the key land use and development actions.

# Doncaster East Village & Devon Plaza Structure Plan



## Legend

Study area boundary	Corner architectural feature	New urban park	Non-residential uses at ground level and residential apartments above	Suggested location for a public plaza / meeting point	Provision of public and trader carparking to be considered as part of new development
Existing property lines and building footprints	Existing pedestrian crossing	Substantial change residential area (DDO8)	Activated edge	New or upgraded pedestrian connection	
Existing canopy trees	New pedestrian crossing	Increased residential density (13.5m)	Non-residential uses at ground level on Doncaster Road, with residential apartments above and behind, Vehicle access via Franklin Road.	Upgraded passenger waiting conditions at bus stop	
New street trees	Reduced traffic speed	'Shop-top' residential and office		Council owned redevelopment site	0 10 50 100m

### Business Development

- Encourage a mixed-use environment where economic vibrancy is driven by high levels of patronage across a range of land use activities, including working, shopping and living in the centre.
- Build the capacity of Doncaster East Village traders and businesses to initiate positive change.
- Support the retention of existing and attraction of new employment uses, including home-based businesses in the centre.
- Support the ongoing presence of the existing supermarket
- Encourage mixed-use development with retail, office and commercial uses at ground floor and where appropriate residential uses at upper levels along Doncaster Road.

### Housing Opportunities and Built Form

- Promote a diversity of housing types to meet the current and emerging demographic trends, whilst maintaining a high level of architectural quality and design.
- Encourage apartment style development to maximise the use of the commercial and social facilities and to provide alternative housing options.
- Encourage residential uses above commercial, retail and office development, particularly along Doncaster Road.
- Promote and encourage opportunities for social, affordable and accessible housing.
- Maximise residential, community use and development opportunities on Council owned land.

### Public Environment / Public Realm

- Improve pedestrian links between the shops, the proposed open space plaza on Montgomery Street and adjacent residential properties to promote accessibility and community connectedness.
- Provide a well-connected and highly visible open space plaza on the Council owned land as part of any redevelopment of private land.
- Ensure that new buildings, other structures and car parks minimise encroachment on and encourage access to public open space, maximise interaction and passive surveillance and are responsive to the site context.

### Public Transport, Traffic and Car Parking

- Improve access to, from and within the Centre for all modes of transport, with a focus on alternatives to private cars.
- Ensure the Centre is serviced by frequent, well-connected and accessible public transport that goes to a wide range of destinations.
- Provide and enhance bus stops that are well-located, safe and accessible.
- Reduce the demand for car parking through improvements to public transport and pedestrian/bicycle paths.

### Pedestrian and Cycling

- Provide high quality pedestrian footpaths, seating, shade, signage, shelter and lighting within the Activity Centre, particularly within Devon Plaza.
- Maintain a mix of land uses so that the Activity Centre serves a range of needs within walking and cycling distance, minimises the need for car trips, and encourages the combining of trips.

## 4.1 Business Development

### STRATEGIES

- Build on the retail and commercial strengths of the Doncaster East Village by improving the range and variety of retail opportunities within the centre.
- Encourage a mixed-use environment where economic vibrancy is driven by high levels of patronage across a range of land use activities, including working, shopping and living in the centre.
- Build the capacity of Doncaster East Village traders and businesses to initiate positive change.
- Support the retention of existing and attraction of new employment uses, including home-based businesses in the Centre.
- Create a centre that is visually pleasing, is a pleasant place to visit, is well maintained and provides for personal safety.
- Consolidate and reinforce the role of the Doncaster East Village Activity Centre as a neighbourhood convenience centre and improve the ongoing viability of the centre.
- Support the ongoing presence of the existing supermarket, and work with the owner to either redevelop the site in the long term or in the short term improve visual presentation of buildings and upgrade car parking, traffic flow and pedestrian circulation.
- Encourage mixed-use development with retail, office and commercial uses at ground floor and where appropriate residential uses at upper levels along Doncaster Road.

Key	Action	Stakeholder	Priority
4.1.1	Establish a trader association and calendar of marketing and events.	MCC / Tenants	Short term
4.1.2	Investigate opportunities for the implementation of sustainable business initiatives including sustainable programs and funding opportunities relating to physical / built form works and business practices.	MCC / Tenants / Users of the Centre	Short term
4.1.3	Encourage visual merchandising to activate the streetscape.	MCC / Tenants	Ongoing
4.1.4	Encourage electronic commerce within the Centre.	MCC / Tenants	Medium term
4.1.5	Develop new signage standards for all private commercial and public signs within the retail / business core (Precincts 1 and 2).	MCC / Tenants	Medium term
4.1.6	Council to continue to liaise with existing supermarket owner to undertake improvements to the existing supermarket building and associated traffic and pedestrian movement, and trolley storage in Sub-precinct 2A.	Property owner / Tenants / MCC	Short term

4.1.7	Encourage businesses adjacent to the laneway in Sub-Precinct 1B/1C to demolish existing rear outbuildings and to provide attractive retail displays and pedestrian access to encourage greater connection between shops and adjacent areas.	MCC / Property owners / Tenants	Medium term
4.1.8	Provide design assistance to redevelop businesses within Sub-Precinct 2A to provide more active street frontage to Doncaster Road.	MCC / Property owners / Tenants	Long term
4.1.9	Investigate provision of multi-deck parking to rear of retail premises in Sub-Precinct 2A (also refer to Action 4.1.8 above).	MCC / Property owners / Tenants	Long term
4.1.10	Encourage shop-top housing along Doncaster Road (including investigating the potential for shop-top housing as part of any future redevelopment of Devon Plaza – Sub-precinct 2A), with provision of basement car parking where possible and identifying other parking options.	MCC / Property owners / Tenants	Medium / long term
4.1.11	Encourage consolidation of retail lots to provide opportunities for future redevelopment incorporating a diversity of retail and other uses.	MCC / Property owners / Tenants	Long term
4.1.12	Investigate a new Special Rates and Charge Scheme for capital works improvements and engagement of a shopping centre coordinator.	MCC / Property owners / Tenants	Short term
4.1.13	Review the boundary of the retail / commercial core having regard to the recommendations of the Economic Development Strategy.	MCC / Property owners	Short term

## **4.2 Housing Opportunities and Built Form**

### **RESIDENTIAL**

#### **STRATEGIES**

##### **Housing Opportunities**

- Promote a diversity of housing types to meet the current and emerging demographic trends, whilst maintaining a high level of architectural quality and design.
- Encourage apartment style development to maximise the use of the commercial and social facilities and to provide alternative housing options.
- Encourage residential uses above commercial, retail and office development, particularly along Doncaster Road.
- Promote and encourage opportunities for social, affordable and accessible housing. Increase housing stock for a range of income levels in the Activity Centre.

##### **Built Form**

- Encourage innovative, high-quality developments that incorporate ecologically sustainable development (ESD), safer design principles and access for all.
- Ensure that new development is of an appropriate scale and density for the site and its context.
- Ensure that new development is well articulated and upper storey elements are not unduly bulky or visually intrusive.
- Encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade.
- Buildings should address main road frontage, provide for an integrated development of a high standard of building design and visual amenity. Car parking to be provided out of sight, preferably basement level.
- Encourage consolidation of lots where there are opportunities for more efficient and integrated urban renewal.
- Encourage use of passive solar design, energy and water efficiency through building design, materials and fittings.



Key	Action	Stakeholder	Priority
4.2.1	Review Schedule 8 to the Design and Development Overlay (DDO8) to improve the clarity of the provisions.	MCC	Short term
4.2.2	Review the existing boundaries of the DDO8 having regard to the recommendations of the Residential Strategy Review.	MCC	Short term
4.2.3	Investigate tools that can be used to increase housing diversity and adaptability.	MCC	Medium term
4.2.4	Ensure that residential and mixed-use developments include noise attenuation measures to ensure a high level of residential amenity without compromising non-residential uses within the Centre.	MCC / Property owners / Developers	Short term
4.2.5	Investigate sites at prominent intersections and sites which have an interface to the commercial area and report back to Council on those that would be suitable to increase building heights (from 11m to 13.5m).	MCC / Property owners / Developers	Short term
4.2.6	Investigate opportunities to improve visual presentation of Police Station and / or redevelopment of site to incorporate a diversity of housing opportunities.	MCC / Property owners	Long term
4.2.7	Ensure that a suitable transition of the scale of future building form is achieved at the interface of commercial and other non-residential uses with adjoining residential areas and that any future development is respectful of the scale and privacy of adjoining residences.	MCC / Developers	Ongoing
4.2.8	Proactively encourage high quality development outcomes that implement innovative design solutions and best practice design.	MCC / Developers	Ongoing
4.2.9	Promote use of Medium Density Ecologically Sustainable Guidelines.	MCC	Ongoing

## KEY STRATEGIC REDEVELOPMENT SITES

There are a number of sites within the Structure Plan boundary that have been identified as key strategic redevelopment sites. The largest of these, Precinct 1C commonly referred to as the Montgomery Street Sub-precinct provides the greatest short term opportunity for the redevelopment of currently underutilised land. A SWOT analysis has been undertaken as part of the preliminary work that has been developed to guide the future use and development of this Precinct and is included in **Appendix 1**. Whilst the redevelopment of the Montgomery Street sub-precinct is likely to be realised in the short term, other sites within and in proximity to the commercial/retail centre also have the potential to be redeveloped in future and include the Police Station, veterinary clinic and Uniting Church sites.

### STRATEGIES

- Maximise opportunities for residential development on Council owned land in the Activity Centre that includes affordable, accessible housing.
- Provide an open space plaza with an area at least equal to that, which currently exists, that assists to integrate uses across the Centre.
- Investigate the provision of community services/facilities as part of any future redevelopment.
- Identify appropriate partnerships for the development of Council owned land in Montgomery Street.
- Encourage shops to overlook the proposed open space plaza to create a sense of vitality and promote linkages between the shops and the surrounding residential areas.
- Improve the car parking and access arrangements within Sub-precinct 1C, having particular regard to the lane behind the existing shops.
- Maximise the Sub-precinct's proximity to public transport networks.

Key	Action	Stakeholder	Priority
4.2.10	Finalise a Masterplan for Council owned land at 2-10 Montgomery Street, Doncaster East, in the context of the adjacent laneway and other private property, that maximises the identified opportunities for Sub-precinct 1C (Refer to Appendix 1).	MCC	Short term
4.2.11	Investigate a partnership with Places Victoria to develop Council owned land to provide for a diversity of housing opportunities including affordable housing, a pre-school replacement, provision of car parking spaces for traders and an open space plaza of approximately 900m <sup>2</sup> (investigation of car parking below urban plaza).	MCC / Places Victoria	Short term
4.2.12	Prepare a planning scheme amendment to rezone land at 2, 4 and 8 Montgomery Street, Doncaster East from a Public Use Zone (PUZ) to a Residential 1 Zone (R1Z) in conjunction with a Design and Development Overlay 8 (DDO8).	MCC	Short term

4.2.13	Encourage site consolidation and redevelopment of remaining privately owned lots on south side of Montgomery Street in sub-precinct 1C into residential apartments and town houses.	MCC / Property owners / Developers	Medium term
4.2.14	Encourage the retention of existing and provision of new community facilities within the redevelopment of key strategic redevelopment sites within the Activity Centre as appropriate.	Property owners / Developers / Service providers	Medium – long term

## 4.3 Public Environment / Public Realm

### Strategies

- Provide a well-connected and highly visible open space plaza on the Council owned land as part of any redevelopment of private land.
- Improve pedestrian links between the shops, the proposed open space plaza on Montgomery Street and adjacent residential properties to promote accessibility and community connectedness.
- Foster community safety by locating pedestrian linkages and public spaces in prominent locations which are subject to passive surveillance.
- Ensure that new buildings, other structures and car parks minimise encroachment on and encourage access to public open space, avoids overshadowing of the open space plaza, maximise interaction and passive surveillance and are responsive to the site context.
- Undertake tree planting and other landscape treatments to improve the visual presentation of the Centre.
- Provide new signage to assist pedestrians and cyclists within and around the Centre.
- Provide opportunities for footpath trading.
- Encourage high-quality design that incorporates environmentally sustainable design requirements and safer design principles for public realm enhancements.

Key	Action	Stakeholder	Priority
4.3.1	Design an open space plaza which includes the provision of high-quality feature landscaping, seating areas, imaginative play elements, security lighting and canopy trees.	MCC	Short term
4.3.2	Investigate opportunities to continue landscape treatment in centre median strip and along edge of Doncaster Road using the guidelines set out in the Streetscape Character Study, 2009.	MCC	Short term
4.3.3	Investigate installation of a map-based sign that illustrates and identifies the variety of retail shops, offices and community facilities.	MCC / Tenants	Medium term
4.3.4	Provide way-finding signage to direct pedestrians and cyclists from the surrounding residential area to the retail / commercial centre.	MCC	Short term
4.3.5	Widen the footpath and move car parking spaces in Precinct 2B on the south side of Doncaster Road to provide opportunities for footpath trading.	MCC	Medium term
4.3.6	Provide guidelines illustrating the principles of Ecologically Sustainable Development and safer design principles in building and landscape design.	MCC	Ongoing

## 4.4 Public Transport, Traffic and Car Parking

### Strategies

- Improve access to, from and within the Centre for all modes of transport, with a focus on alternatives to private cars.
- Ensure the Centre is serviced by frequent, well-connected and accessible public transport that goes to a wide range of destinations.
- Provide and enhance bus stops that are well-located, safe and accessible.
- Reduce the demand for car parking through improvements to public transport and pedestrian/bicycle paths.
- Improve car parking and access arrangements within the precinct having particular regard to the demands for residential and retail uses in Precinct 1C (Montgomery Street).
- Investigate options to improve traffic circulation within the Centre.

Key	Action	Stakeholder	Priority
4.4.1	Provide better promotion of public transport services.	MCC / DOT	Ongoing
4.4.2	Investigate development of a 'Transport Access Guide' for the Centre.	MCC	Short term
4.4.3	Improve access to and around bus stops and passenger waiting conditions.	MCC / DOT	Short term
4.4.4	Advocate to VicRoads for a reduction in traffic speeds along Doncaster Road within the Doncaster East Village commercial centre to improve pedestrian safety while maintaining efficient operation of buses.	MCC / VicRoads / DoT	Medium term
4.4.5	Council advocate to VicRoads to develop a policy to effectively manage speed limits within activity centres straddling arterial roads, to facilitate staged speed limit reductions over a period of time.	MCC / VicRoads	Short term
4.4.6	Any future works or redevelopment of internal road and car park areas within Precinct 2A should provide greater pedestrian safety; particularly in the vicinity of loading areas.	Property owner(s)	Medium term
4.4.7	Provide improved car parking provision in Precinct 1C for trader use, including opportunities as part of Action 4.2.10 (Finalise a Masterplan for Montgomery Street) with preference for basement car parking.	MCC	Short term
4.4.8	Finalise a traffic assessment for the Centre with an emphasis on the strategic redevelopment sites and parking provision.	MCC	Completed

4.4.9	Consider traffic management opportunities that reduce the number of driveways along Doncaster Road.	MCC	Long term
4.4.10	Improve parking restriction signage of car parking spaces in the western part of Devon Plaza.	Property owner / MCC	Short term
4.4.11	Preparation of a Parking Precinct Plan.	MCC	Medium term
4.4.12	As part of any future redevelopment of Precinct 2A, explore car parking opportunities including deck car parking or underground/basement car parking. (also refer to 4.1.9)	Property owner(s)/Traders/MCC	Long Term
4.4.13	Council investigate car parking use in Franklin Road and where appropriate implement further car parking restrictions and/or traffic management measures to reduce congestion within the street.	MCC	Short term
4.4.14	To advocate to the State Government for provision of train services to Manningham which may include opportunity to extend in proximity to the Doncaster East Village Activity centre, and ensure that any future planning supports opportunities for delivery of a train service.	MCC	Short term
4.4.15	As part of the Masterplan for Montgomery Street consideration be given to: <ul style="list-style-type: none"> <li>Widening of the right of way to 6.0 metres to enable provision of additional car parking along the right of way.</li> <li>Provision of appropriate pedestrian linkages within the site and to the surrounding area.</li> <li>Opportunity for provision of pedestrian links through commercial properties to link the proposed public urban plaza</li> </ul>	MCC / Places Victoria / Property owners / Traders	Short term
4.4.16	Council seek to negotiate the extension of the rear right of way or create a carriageway easement with the owners of 1027 and 1029 Doncaster Road to provide rear vehicular access to these sites and to 1031 Doncaster Road.	MCC / Property owners	Short-medium term
4.4.17	Subject to the extension of the rear right of way to the rear of 1027 and 1029 Doncaster Road (refer Action 4.4.16 above), investigate the removal of vehicle access via Doncaster Road for these properties and extend the indented parallel parking adjacent to these sites to increase parking supply in front of commercial premises.	MCC / Property Owners / Traders / VicRoads / DoT	Short-long term
4.4.18	Investigate need for 'u-turn' facility in the Doncaster Road median on the west approach of Churchill Street with VicRoads and affected traders.	MCC / Property Owners / Traders / VicRoads /	Medium term
4.4.19	As part of future redevelopment of properties at 980 – 990 Doncaster Road provide shared car parking at rear of premises.	MCC / Property Owners / Traders /	Medium – long term

## 4.5 Pedestrian\* and Cycling

### Strategies

- Provide high quality pedestrian footpaths, seating, shade, shelter and lighting within the Activity Centre, particularly within Devon Plaza.
- Maintain a mix of land uses so that the Activity Centre serves a range of needs within walking and cycling distance, minimises the need for car trips, and encourages the combining of trips.
- Establish pedestrian and cycling links between the Activity Centre, adjoining residential areas and nearby public open space.
- Improve pedestrian movement through the Centre by creating new links and better pedestrian amenity.
- Ensure cycling paths are well connected, visible, safe, accessible and well signed.
- Provide bicycle amenities in appropriate locations.
- Improve pedestrian and bicycle path crossing points at main roads to enhance the connections with pedestrian and cycling routes surrounding the Centre.

Key	Action	Stakeholder	Priority
4.5.1	Review locations for and replace existing Council standard street furniture in consultation with the traders.	MCC / Tenants / DoT	Short term
4.5.2	Undertake a lighting audit of the public footpaths around the commercial/retail area and install additional street and laneway lighting as required.	MCC / Property owners / Tenants	Short term
4.5.3	Install bicycle hoops at key pedestrian nodes in the retail and commercial core.	MCC / Property owners / Tenants	Short term
4.5.6	Increase frequency of maintenance assessments for footpaths and street furniture.	MCC	Ongoing
4.5.7	Undertake an Accessibility Audit to identify non-compliant paths and crossings.	MCC / Property owners	Short term
4.5.4	Advocate to VicRoads for the installation of a new pedestrian crossing on Doncaster Road between Churchill Street and Blackburn Road to better connect the north and south sides of the centre.	MCC / VicRoads / DoT / Tenants	Medium term
4.5.8	Encourage property owners to upgrade pedestrian access (e.g. provision of a pram crossing and pedestrian crossing line marking) from the path / right of way adjacent to supermarket (eastern boundary) in Sub-Precinct 2A.	MCC / Tenants	Medium term
4.5.9	Investigate opportunities to improve pedestrian linkages within the centre.	MCC / Tenants / DoT	Medium term
4.5.10	Improve the amenity and safety of the pedestrian path in Precinct 1A adjacent to the Westpac Bank. Project to incorporate lighting and artwork.	MCC / Property owners	Long term

4.5.11	Work with property owners and traders to ensure that walking opportunities are promoted in future marketing opportunities.	MCC / Property owners / DoT	Ongoing
4.5.12	Encourage local businesses to support their staff in walking programs such as Walktober, Walk the Block, Global Corporate Challenge etc	MCC / Property owners	Ongoing
4.5.13	Promote walking messages through shopping centre forums, meetings with trader groups, e-bulletins, business website and other opportunities where appropriate.	MCC	Ongoing.
4.5.14	As part of any future redevelopment of the premises on the north side of Doncaster Road, investigate the widening of the footpath in front of 999 – 1029 Doncaster Road to a minimum of 2.4 metres.	MCC / Property owners / Tenants	Medium – long term
4.5.15	Work with property owners within Devon Plaza (Sub-precinct 2A) to improve pedestrian and vehicular access to and within the site.	MCC / Property owners / Tenants	Medium term

*\* Detailed Pedestrian Actions can be found in 'The Walk Manningham Project Part 3 Increasing Walking to and Within Activity Centres' Draft (May 2011)*



## **5 Monitoring and Review**

The implementation of the Structure Plan will be monitored annually to ensure that actions are realised. The Structure Plan will be reported as a part of the annual reporting on Activity Centres. Depending on the level of change in the Doncaster East Village Activity Centre, a minor review would be undertaken in five years time with a more substantial review in ten years.

## 6 Appendices

## APPENDIX 1 – MONTGOMERY STREET ISSUES AND OPPORTUNITIES, 9 JUNE 2011.

### Legend

-  Bus stops
-  Council-owned land
-  Priority bus lanes
-  Meeting place

### Opportunities identified

1. Multi-level residential development
2. Relocated Reserve
3. Upgraded retail
4. Commercial redevelopment

### Incomplete street tree theme

**Opportunity:** Consideration to be given to extending the Montgomery Street street tree theme to Churchill Street, and planning for feature tree planting on the Blackburn Road and Doncaster Road frontages of the precinct.

### Montgomery Street Reserve exposed and underutilised

**Opportunity:** Consideration to be given to shifting Montgomery Street Reserve along Montgomery St and designing future apartment development to overlook the space to improve passive surveillance. The redesign of the Reserve should respond to the needs of shoppers, traders as well as residents. It could include the provision of high-quality feature landscaping, lunchtime seating areas, imaginative play elements, security lighting and canopy trees.

### Restricted Laneway Access

**Opportunity:** Demolish outhouses that presently encroach on laneway to widen the access way and provide two-way access.

### Dangerous right-turning conditions

**Opportunity:** Investigate signalling intersection to provide safer turning conditions and an additional pedestrian crossing point.

### Tired shopfronts

**Opportunity:** Encourage the future redevelopment of these properties to incorporate signage and façade improvements. Undertake streetscape enhancement works in cooperation with property owners. Enhancements could include soft landscaping to soften and improve the presentation of the shops and mask inconsistent rooflines and signage.

### Key redevelopment opportunity (short term) – Council-owned properties

**Opportunity:** Encourage future site consolidation and redevelopment of the Council-owned properties (2-10 Montgomery Street) into multi-level residential apartments. Consideration be given to the provision of community service facilities and to shifting Montgomery Street Reserve east to assist in activating the rear of Doncaster Road shops and laneway. Redevelopment of these properties should explore opportunities for the provision of public carparking and improved pedestrian and vehicle circulation, (including incorporation of public carparking under the urban plaza). Built form should be designed to assist in activating both the laneway and reserve.

### Popular vehicular thoroughfare

**Opportunity:** Establish improved traffic calming and pedestrian crossing opportunities along Churchill and Montgomery Streets. Review Doncaster and Blackburn Road signal timing to reduce traffic queuing.

### Underdeveloped residential properties

**Opportunity:** Encourage gradual site consolidation and redevelopment of these properties into multi-level residential apartments and townhouses. Building setbacks should be sensitive to neighbourhood character and existing established canopy street trees.

### Rear of shops along laneway poorly presented

**Opportunity:** Demolish outhouses in laneway and promote outdoor dining, attractive retail displays and pedestrian access to provide greater connection between shops and the Reserve. Gradual reorientation of these properties and streetscape improvements will reinvigorate the laneway and create a unique dining and retail experience. Consideration should be given to the development of a shared pedestrian/vehicle way, with high-quality hardscape elements and feature deciduous canopy trees. Investigate incentives (eg reduced car parking requirement) to encourage walk-through shops.

### Key redevelopment opportunity (long term) – McDonalds property, corner Blackburn & Doncaster Roads.

**Opportunity:** Encourage future redevelopment of the McDonalds site into multi-level mixed use with basement carparking. Building setbacks to Doncaster and Blackburn Roads should accommodate widened pedestrian paths and canopy trees. Built form should be high-quality and should address the intersection. Consideration to be given to a future east-west pedestrian connection to link to existing laneway.

### Dead-end laneway dependant on private carpark

**Opportunity:** Investigate formalising vehicle and pedestrian access through this property to provide a through-way. None of these parcels of land have carriageway or easement rights for vehicular access.

### Access to priority bus services – Green and yellow orbital

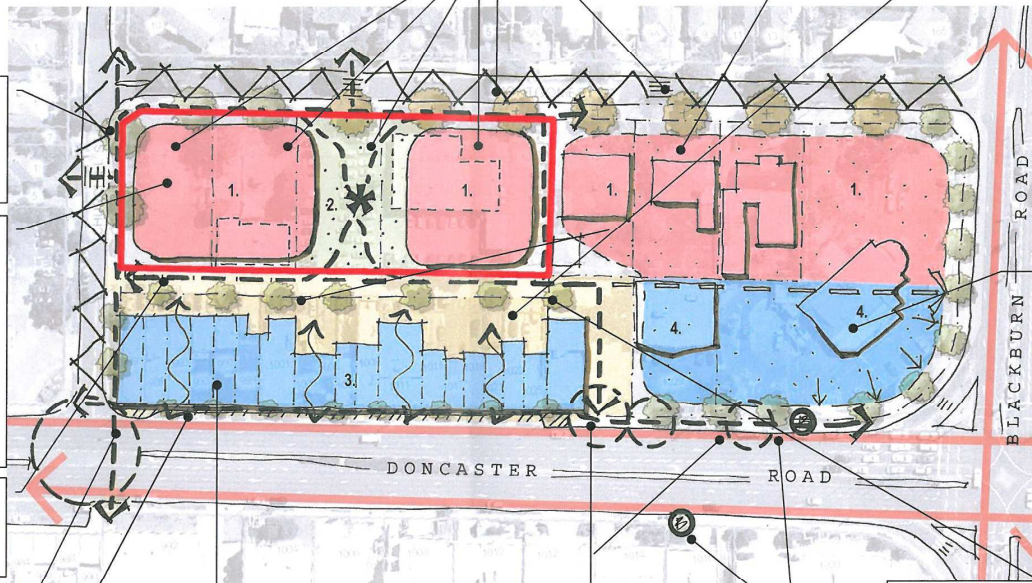
**Opportunity:** Promote public transport use by integrating improved passenger waiting conditions, bicycle storage and public rest-room and change facilities as part of future redevelopment of corner property.

### Key redevelopment opportunity (medium term) – Shop-top office & housing

**Opportunity:** Encourage shop-top office and residential development including provision of car parking. Built form should provide a uniform setback to Doncaster Road. Private open space should be oriented to the north to maximise solar access and provide passive surveillance of the laneway and reserve.

### Conflict with crossovers, bus stop, bus lane and footpath

**Opportunity:** Investigate rationalising crossovers in this location and providing improved signage and turning conditions.



## APPENDIX 2 – PREFERRED MAXIMUM BUILDING HEIGHTS FOR DONCASTER EAST VILLAGE

