







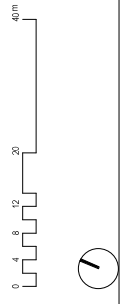
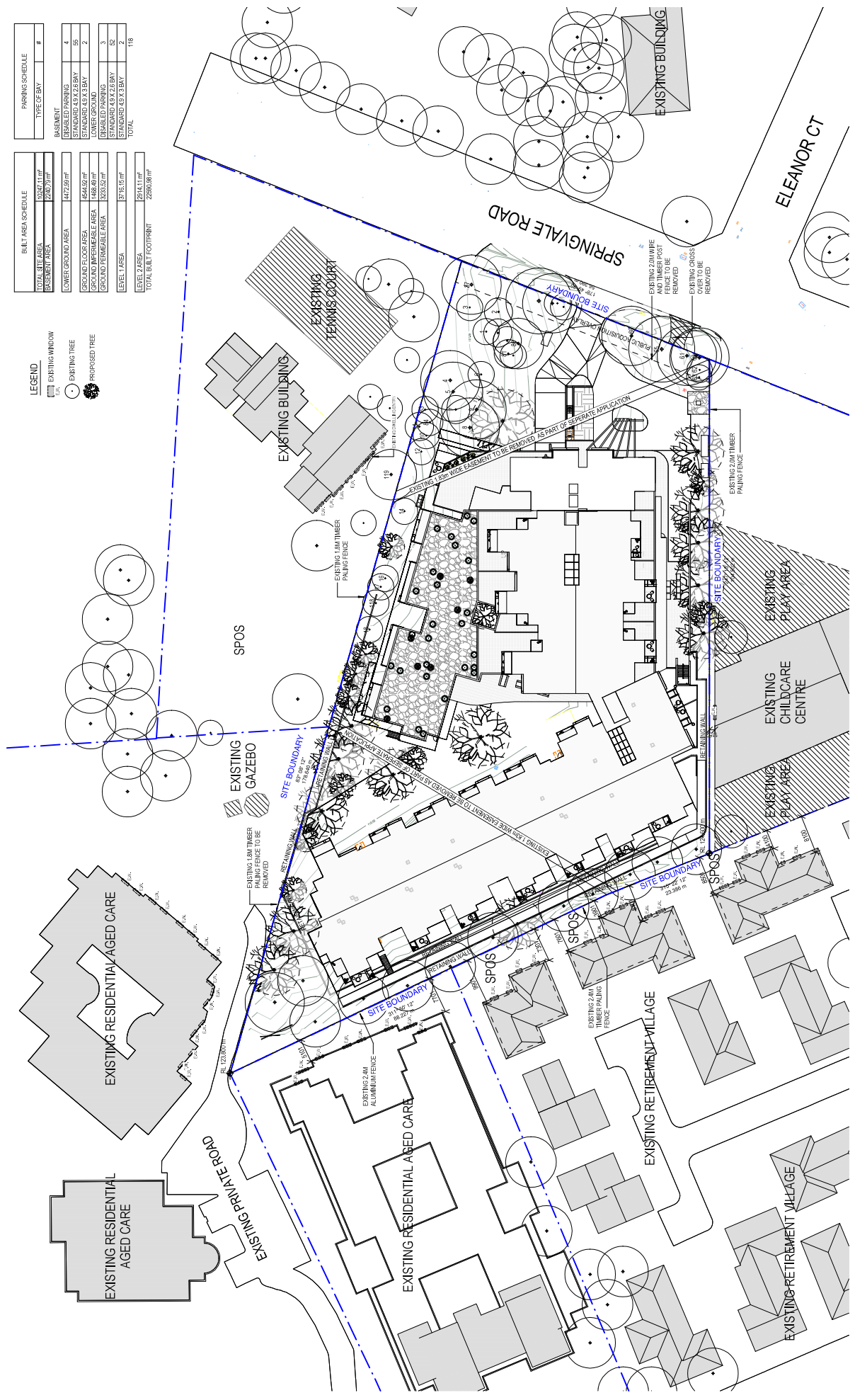


BUILT AREA SCHEDULE	
TOTAL SITE AREA	10287.17 m <sup>2</sup>
BASEMENT AREA	2290.71 m <sup>2</sup>
LOWER GROUND AREA	4172.99 m <sup>2</sup>
GROUND FLOOR AREA	1664.89 m <sup>2</sup>
GROUND IMPERMEABLE AREA	1488.48 m <sup>2</sup>
GROUND PERMEABLE AREA	1333.52 m <sup>2</sup>
LEVEL 1 AREA	2976.15 m <sup>2</sup>
LEVEL 2 AREA	2804.11 m <sup>2</sup>
TOTAL BUILT FOOTPRINT	22894.98 m <sup>2</sup>

PARKING SCHEDULE	
TYPE OF BAY	#
DISABLED PARKING	4
STANDARD 4.5 X 2.25 BAY	55
STANDARD 4.5 X 2.25 BAY	2
LOWER GROUND	3
DISABLED PARKING	52
STANDARD 4.5 X 2.25 BAY	2
TOTAL	116

- LEGEND**
- EXISTING WINDOW
  - EXISTING TREE
  - PROPOSED TREE



**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASON'S HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY. LTD

© Copyright Thomson Adsett Pty Ltd.  
 ABN 76 106 314 654  
 Trading as ThomsonAdsett.

Telephone +61 3 9685 9173  
 me@thomsonadsett.com  
 Level 1, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

**thomson  
adsett**

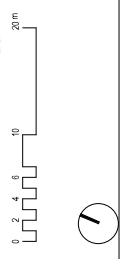
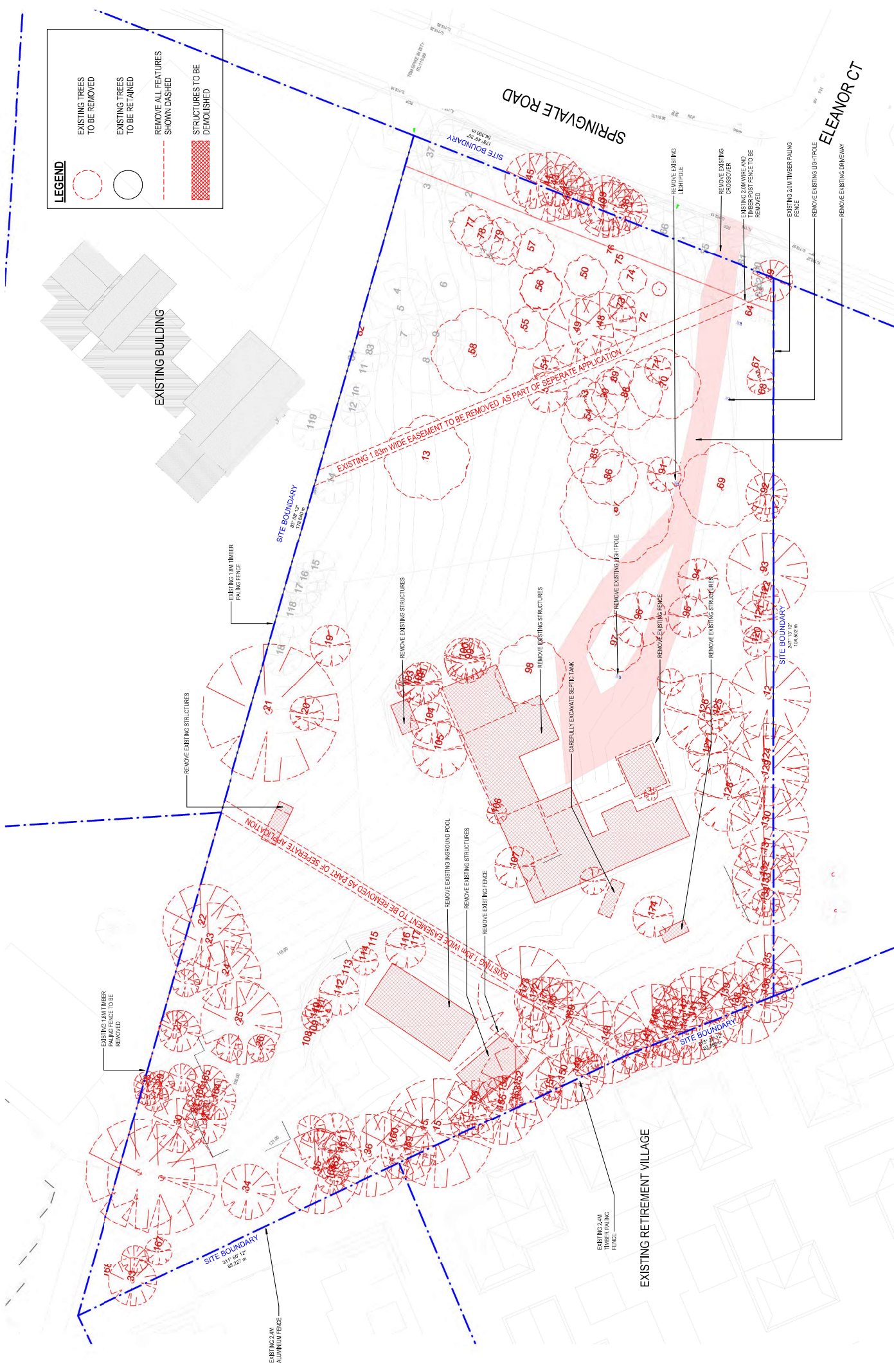
**SITE PLAN**  
 As indicated @ A1  
 A10.2  
 rev. 7

10/10/2018



**LEGEND**

- EXISTING TREES TO BE REMOVED (Red dashed circle)
- EXISTING TREES TO BE RETAINED (Black solid circle)
- REMOVE ALL FEATURES SHOWN DASHED (Red dashed line)
- STRUCTURES TO BE DEMOLISHED (Red hatched area)



1: 250 @ A1  
8/10/2018  
10.3  
REV. 5

**thomson  
adsett**

Telephone +61 3 9685 9173  
 mel@thomsonadsett.com  
 Level 1, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

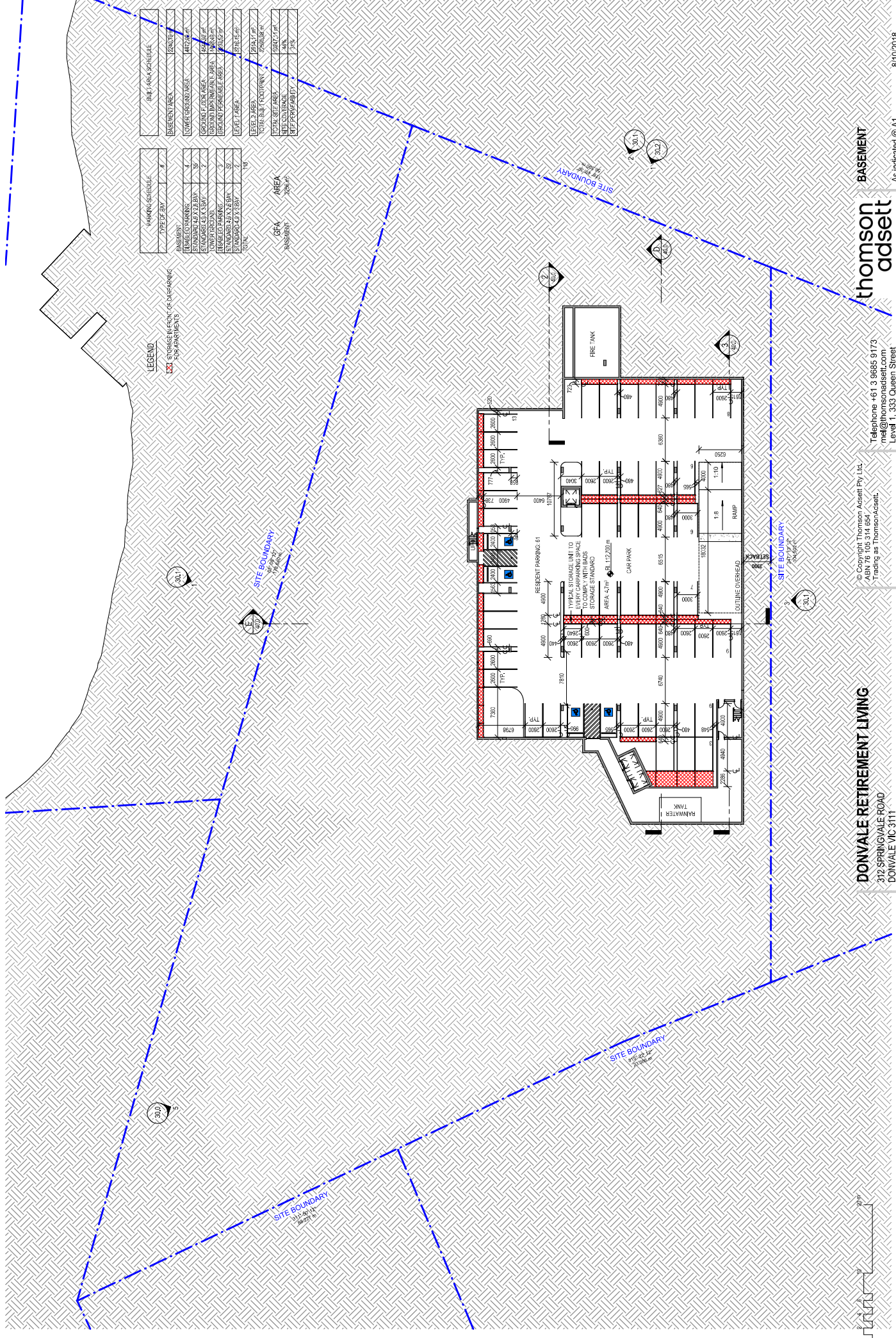
© Copyright Thomson Adsett Pty Ltd  
 ABN 76 106 314 854  
 Trading as ThomsonAdsett.

TA # 16.0031

**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD

**DEMOLITION PLAN**





ALL AREAS SCHEDULE	TYPE OF JOB	#
BASEMENT AREA	BASEMENT	1
LOWER SECOND AREA	STANDARD 4.1 X 1.8 BAY	59
GROUND FLOOR AREA	STANDARD 4.1 X 1.8 BAY	57
GROUND FLOOR AREA	STANDARD 4.1 X 1.8 BAY	57
GROUND FLOOR AREA	STANDARD 4.1 X 1.8 BAY	57
GROUND FLOOR AREA	STANDARD 4.1 X 1.8 BAY	57
LEVEL 1 AREA	STANDARD 4.1 X 1.8 BAY	57
LEVEL 2 AREA	STANDARD 4.1 X 1.8 BAY	57
TOTAL FLOORING		118
TOTAL AREA		2089 m <sup>2</sup>
TOTAL SITE AREA		10000 m <sup>2</sup>
SITE COVERAGE		21%
SITE PERMEABILITY		79%

ALL AREAS SCHEDULE	TYPE OF JOB	#
BASEMENT AREA	BASEMENT	1
LOWER SECOND AREA	STANDARD 4.1 X 1.8 BAY	59
GROUND FLOOR AREA	STANDARD 4.1 X 1.8 BAY	57
GROUND FLOOR AREA	STANDARD 4.1 X 1.8 BAY	57
GROUND FLOOR AREA	STANDARD 4.1 X 1.8 BAY	57
GROUND FLOOR AREA	STANDARD 4.1 X 1.8 BAY	57
LEVEL 1 AREA	STANDARD 4.1 X 1.8 BAY	57
LEVEL 2 AREA	STANDARD 4.1 X 1.8 BAY	57
TOTAL FLOORING		118
TOTAL AREA		2089 m <sup>2</sup>
TOTAL SITE AREA		10000 m <sup>2</sup>
SITE COVERAGE		21%
SITE PERMEABILITY		79%

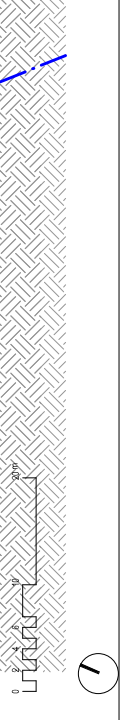
**LEGEND**  
 1.1.1 STORAGE ELEMENTS OF BASEMENTS  
 1.1.2 APARTMENTS

**thomson adsett**  
 BASEMENT  
 As indicated @ A1  
 A20.0  
 REV. 7  
 8/10/2018

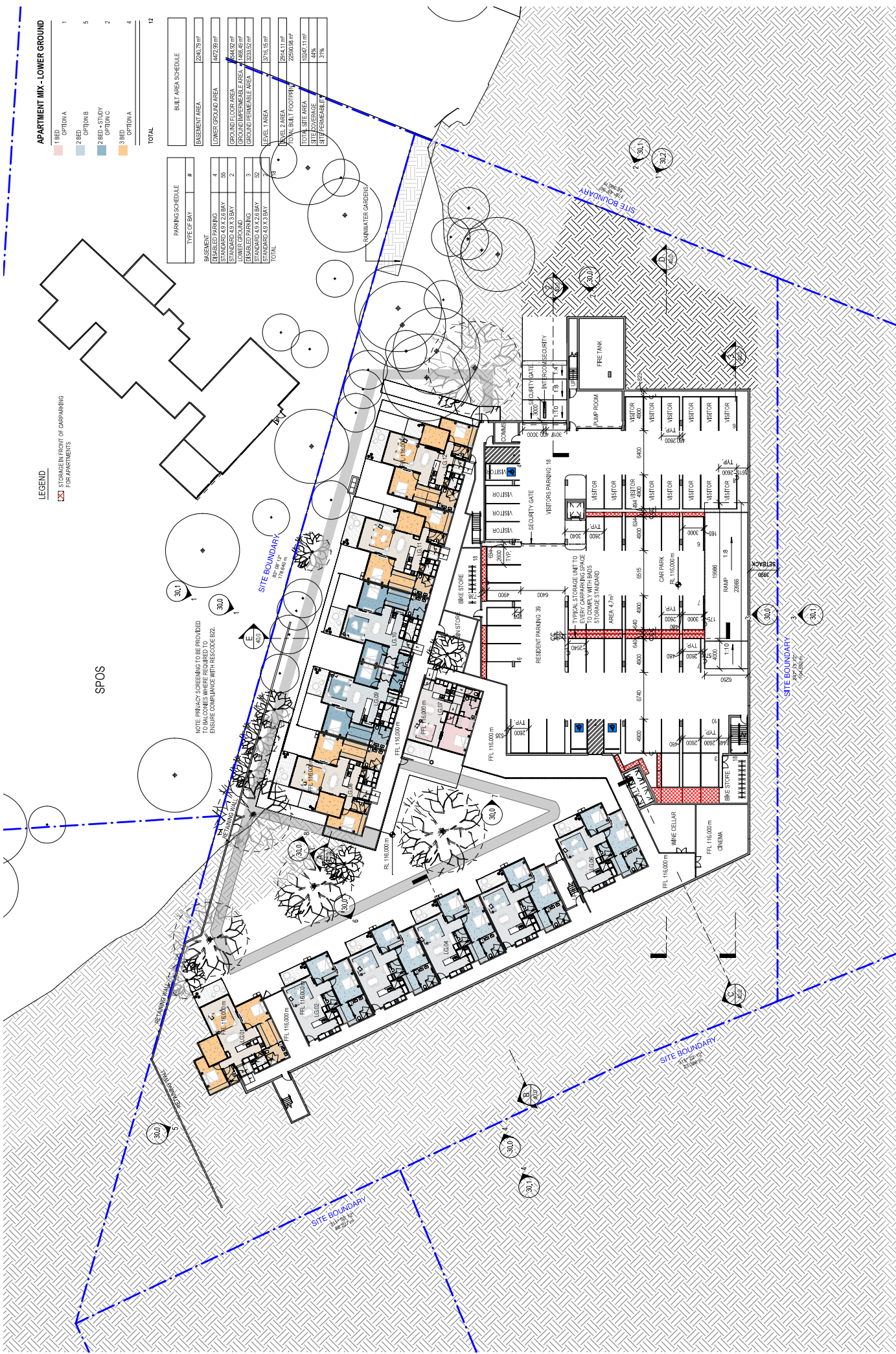
Telephone +61 3 9885 9173  
 mel@thomsonadsett.com  
 Level 1, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

© Copyright Thomson Adsett Pty. Ltd.  
 ABN 76 106 314 854  
 Trading as ThomsonAdsett.

**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY. LTD  
 TA # 16.0031







**APARTMENT MIX - LOWER GROUND**

1 BED	OPTION A	1
2 BED	OPTION B	5
2 BED + STUDY	OPTION C	2
3 BED	OPTION A	4
<b>TOTAL</b>		<b>12</b>

**PARKING SCHEDULE**

TYPE OF BAY	#
BASEMENT	
BASEMENT	22467.91 m <sup>2</sup>
LOWER GROUND AREA	4122.81 m <sup>2</sup>
STANDARD 4.5 X 2.5 BAY	56
STANDARD 4.5 X 3 BAY	2
LOWER GROUND	1486.49 m <sup>2</sup>
STANDARD 4.5 X 2.5 BAY	3
STANDARD 4.5 X 3 BAY	52
STANDARD 4.5 X 3 BAY	2
<b>TOTAL</b>	<b>18</b>

**BUILT AREA SCHEDULE**

BASINEMENT AREA	#
BASEMENT	22467.91 m <sup>2</sup>
LOWER GROUND AREA	4122.81 m <sup>2</sup>
GROUND FLOOR AREA	1486.49 m <sup>2</sup>
GROUND IMPERMEABLE AREA	1486.49 m <sup>2</sup>
GROUND PERMEABLE AREA	1232.50 m <sup>2</sup>
<b>LEVEL 1 AREA</b>	<b>2719.15 m<sup>2</sup></b>
<b>LEVEL 2 AREA</b>	<b>2911.11 m<sup>2</sup></b>
<b>TOTAL BUILT FOOTPRINT</b>	<b>22508.81 m<sup>2</sup></b>
<b>TOTAL SITE AREA</b>	<b>10247.11 m<sup>2</sup></b>
<b>SITE COVERAGE</b>	<b>44%</b>
<b>SUPPERIMBABILITY</b>	<b>31%</b>

**LEGEND**

- STORAGE IN FRONT OF CARPARKS
- FOR APARTMENTS

SPOS

NOTE: SWIMMING POOL TO BE PROVIDED TO BALCONIES WHERE REQUIRED TO ENSURE COMPLIANCE WITH RESCUE REG.



**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY. LTD

© Copyright Thomson Adsett Pty. Ltd.  
 ABN 76 106 314 654  
 Trading as ThomsonAdsett.

Telephone +61 3 9685 9173  
 me@thomsonadsett.com  
 Level 1, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

**thomson  
adsett**

**LOWER GROUND**  
 As indicated @ A1  
 A20.1  
**REV. 8**  
 10/10/2018







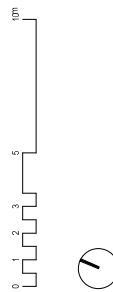


PLEASE NOTE:  
 - ALL MAJOR COMMON AREA ENERGY USES WILL BE SUPPLEMENTED BY SOLAR PANELS  
 - BASEMENT CAR PARKING WILL INCORPORATE CO<sub>2</sub> ABSORPTION AND INDUATE VENTILATION PIPES IN RESPONSE TO GRAND  
 - ALL BASEMENTS WILL INCORPORATE WATER EFFICIENT PUMP OUT SYSTEMS MATCHING BASEMENT SURFACE OR SURFACE Drip IRRIGATION TO MINIMIZE WATER USE  
 - NO EXISTING FOOTPATH

NOTE: PRIVACY SCREENING TO BE PROVIDED TO BALCONIES WHERE REQUIRED TO ENSURE COMPLIANCE WITH RESC002 B22.

NOTE: PRIVACY SCREENING TO BE PROVIDED TO BALCONIES WHERE REQUIRED TO ENSURE COMPLIANCE WITH RESC002 B22.

NOTE: PRIVACY SCREENING TO BE PROVIDED TO BALCONIES WHERE REQUIRED TO ENSURE COMPLIANCE WITH RESC002 B22.







**APARTMENT MIX - LEVEL 1**

1 BED	OPTION A	2
2 BED	OPTION B	6
2 BED + STUDY	OPTION C	7
3 BED	OPTION A	6
3 BED PLUSIVE	OPTION A	2
<b>TOTAL</b>		<b>23</b>

SITE AREA SCHEDULE	
PERMIT AREA	17,293.97m <sup>2</sup>
PAVED SIDEWALK AREA	67,248.87m <sup>2</sup>
GROUND FLOOR AREA	654,432.97m <sup>2</sup>
GROUND PENETRABLE AREA	1,655,839.77m <sup>2</sup>
GROUND IMPERMEABLE AREA	1,233,927.97m <sup>2</sup>
LEVEL 1 AREA	3776.15m <sup>2</sup>
LEVEL 2 AREA	2914.11m <sup>2</sup>
TOTAL FLOOR FOOTPRINT	2288.08m <sup>2</sup>
TOTAL SITE AREA	10,027.11m <sup>2</sup>
SITE COVERAGE	44%
PERIMETER	31%

- LEGEND**
- EXISTING WINDOW
  - EXISTING TREE
  - PROPOSED TREE
  - EXISTING BUILDING
  - EXISTING TENNIS COURT
  - EXISTING GAZEBO
  - EXISTING 2.4M ALUMINIUM FENCE
  - EXISTING 1.8M TIMBER PALING FENCE
  - EXISTING 2.4M TIMBER PALING FENCE
  - EXISTING 2.0M TIMBER PALING FENCE

**LEGEND**

- EXISTING WINDOW
- EXISTING TREE
- PROPOSED TREE
- EXISTING BUILDING
- EXISTING TENNIS COURT
- EXISTING GAZEBO
- EXISTING 2.4M ALUMINIUM FENCE
- EXISTING 1.8M TIMBER PALING FENCE
- EXISTING 2.4M TIMBER PALING FENCE
- EXISTING 2.0M TIMBER PALING FENCE

NOTE: PRIVACY SCREENING IS TO BE PROVIDED TO BALCONIES WHERE REQUIRED TO ENSURE COMPLIANCE WITH RESCODE B22.

NOTE: PRIVACY SCREENING TO BE PROVIDED TO BALCONIES WHERE REQUIRED TO ENSURE COMPLIANCE WITH RESCODE B22.

NOTE: PRIVACY SCREENING TO BE PROVIDED TO BALCONIES WHERE REQUIRED TO ENSURE COMPLIANCE WITH RESCODE B22.

**LEVEL 1 PLAN**

**thomson adsett**

Telephone +61 3 9685 9173  
 me@thomsonadsett.com  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

© Copyright Thomson Adsett Pty Ltd.  
 ABN 76 106 314 654  
 Trading as ThomsonAdsett.

**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY. LTD

TA # 16.0031

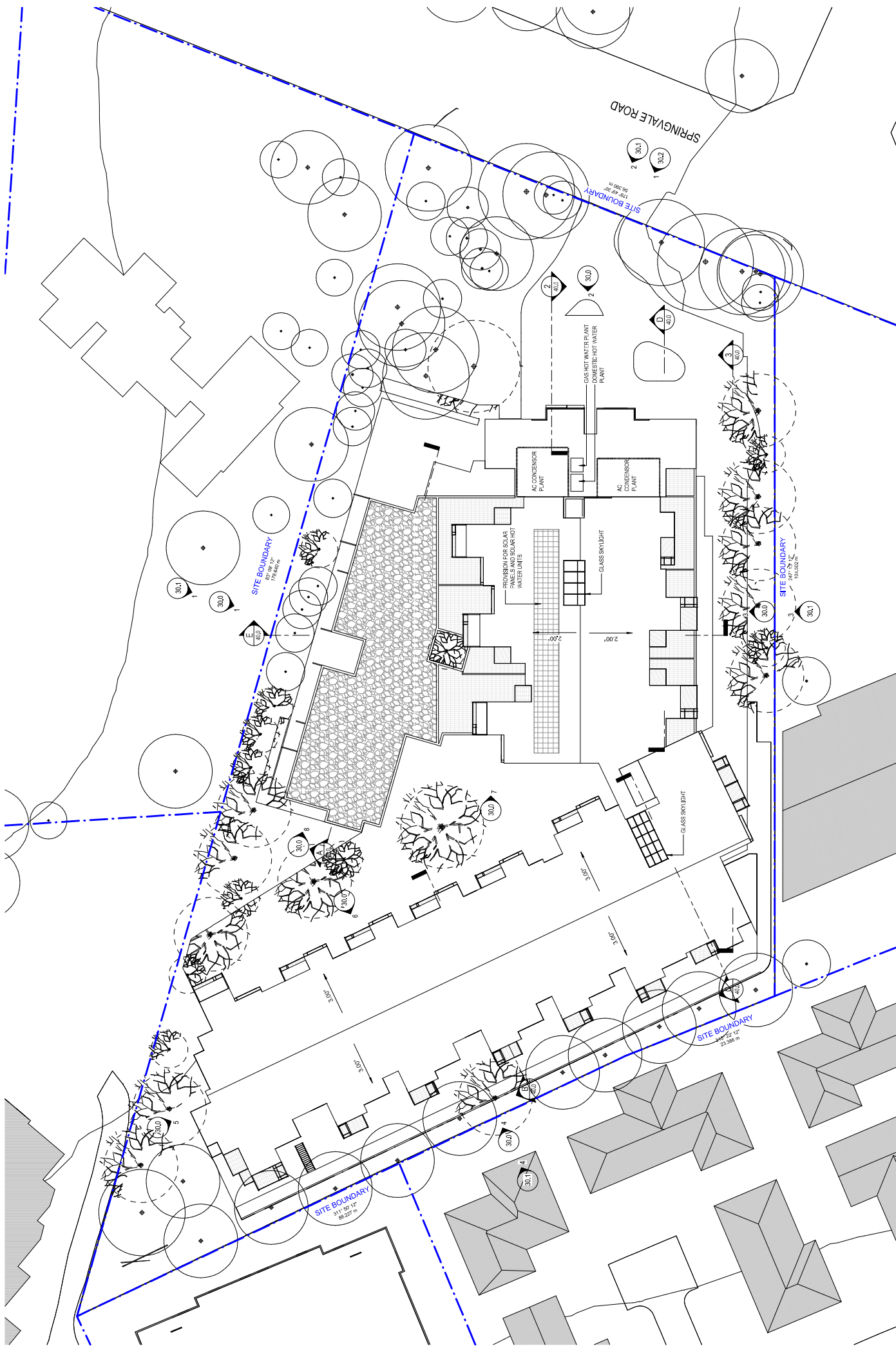
As indicated @ A1

SD20.3  
 10/10/2018  
 rev. 7









ROOF PLAN

**thomson  
adsett**

Telephone +61 3 9685 9173  
 mel@thomsonadsett.com  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

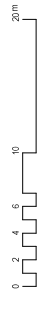
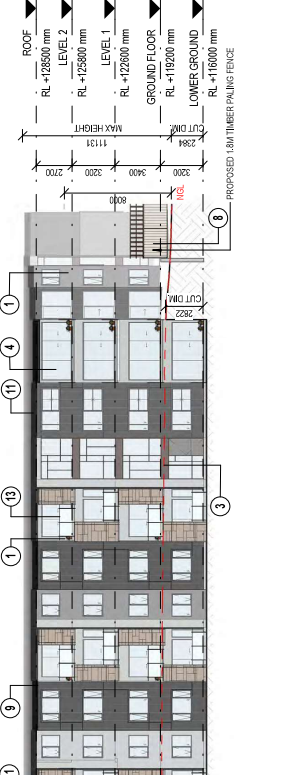
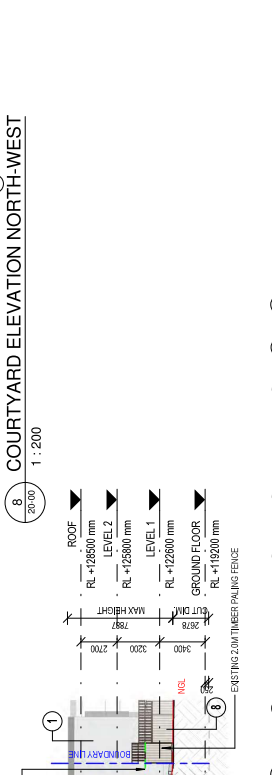
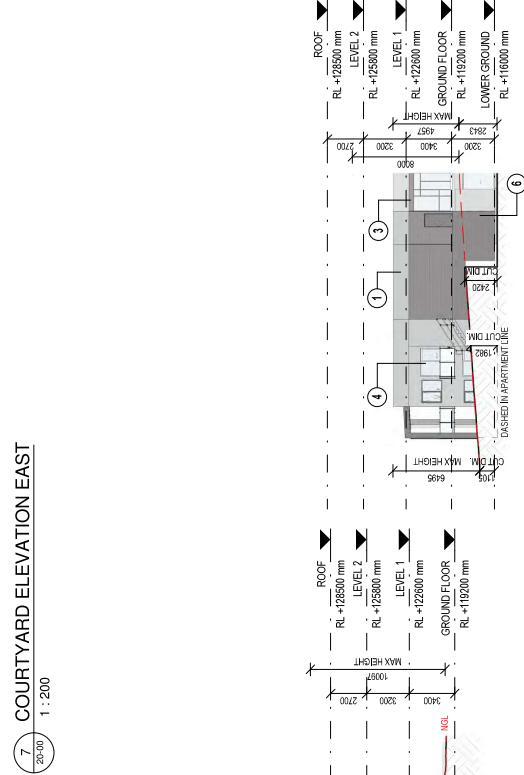
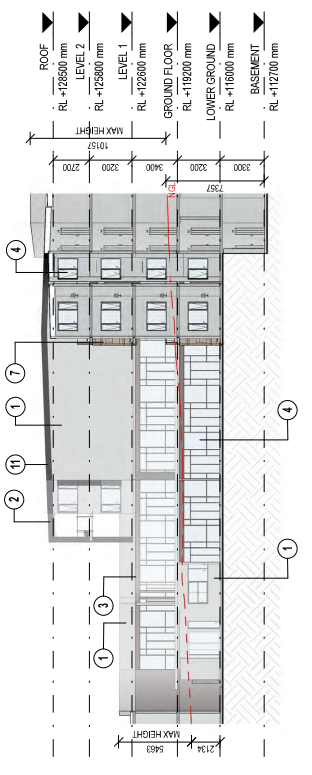
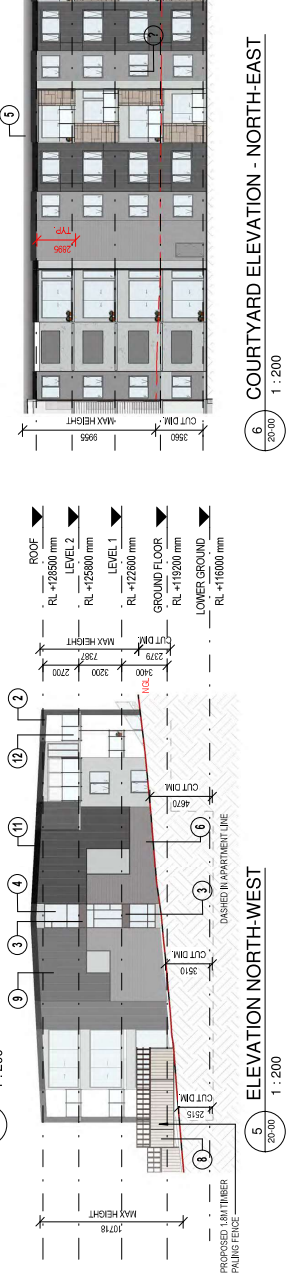
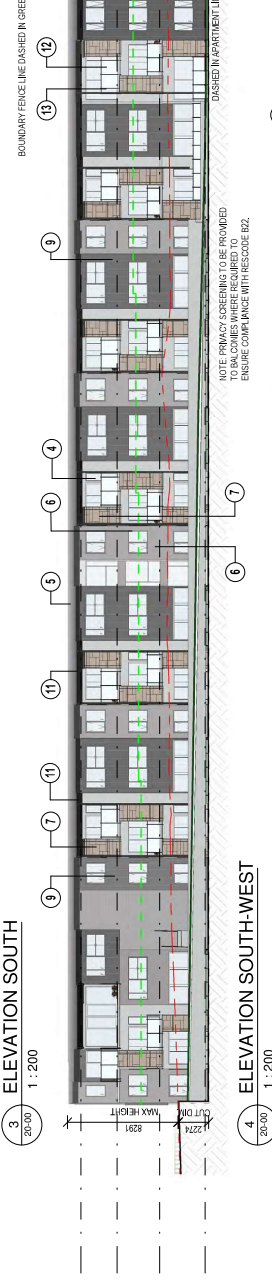
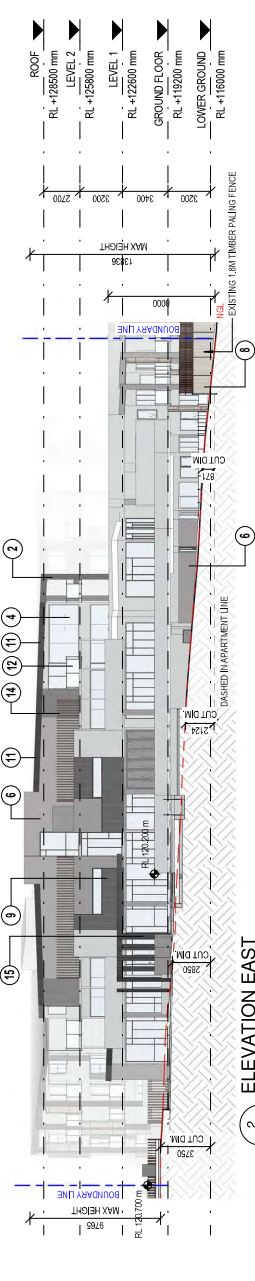
© Copyright Thomson Adsett Pty Ltd.  
 ABN 76 106 314 854  
 Trading as ThomsonAdsett.  
 TA # 16.0031

**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD

1: 250 @ A1  
 SD20.5  
 8/10/2018  
 REV. 6





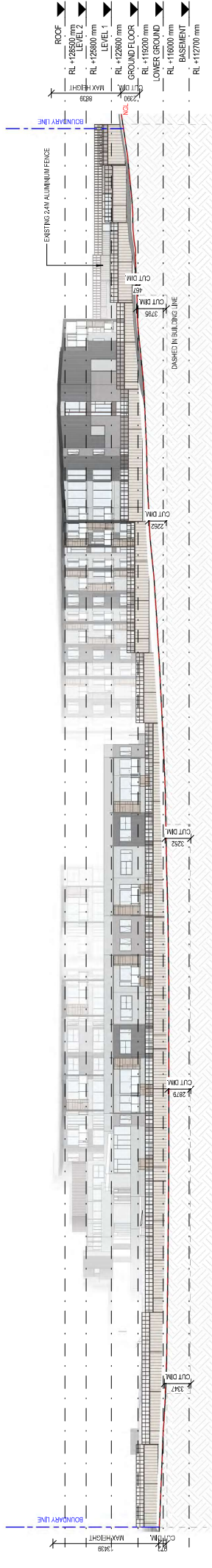


**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY. LTD

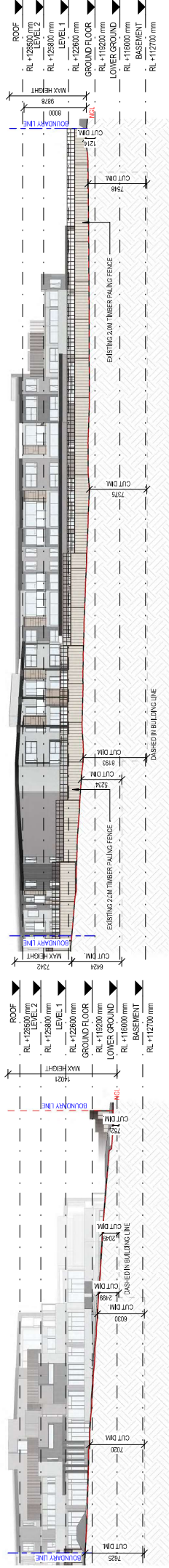
© Copyright Thomson Adsett Pty Ltd.  
 ABN 76 106 314 654  
 Trading as ThomsonAdsett.  
 Telephone +61 3 9685 9173  
 me@thomsonadsett.com  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

**thomson adsett**  
 ELEVATIONS  
 1:200 @ A1  
 A30.0  
 10/10/2018  
 REV. 7





1 SITE ELEVATION NORTH-EAST  
20x30 1:250



2 SITE ELEVATION EAST  
20x30 1:250

3 SITE ELEVATION SOUTH  
20x30 1:250



4 SITE ELEVATION SOUTH-WEST  
20x30 1:250

NOTE: REFER TO ELEVATIONS ON SHEET 30.1 FOR BUILDING MATERIALS



**DONVALE RETIREMENT LIVING**  
312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

© Copyright Thomson Adsett Pty Ltd  
ABN 76 106 314 854  
Trading as ThomsonAdsett.

Telephone +61 3 9685 9173  
mel@thomsonadsett.com  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

**thomson adsett**  
ELEVATIONS  
1:250 @ A1  
30.1  
REV. 4

8/10/2018





1 STREET ELEVATION  
9/20/20 1:300



**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD

© Copyright Thomson Adsett Pty Ltd  
 ABN 76 106 314 854  
 Trading as ThomsonAdsett.

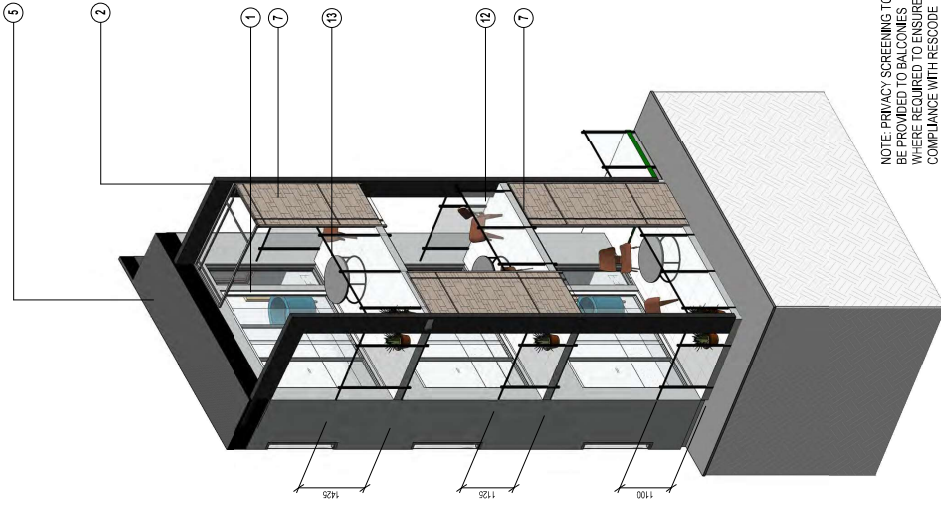
Telephone +61 3 9685 9173  
 mel@thomsonadsett.com  
 Level 1, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

**thomson  
adsett**

ELEVATIONS  
 1:300 @ A1  
 30.2  
 REV. 3

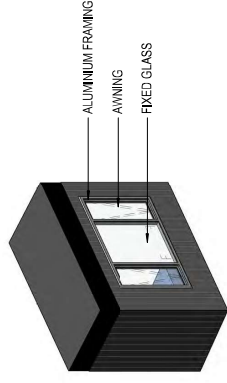
8/10/2018



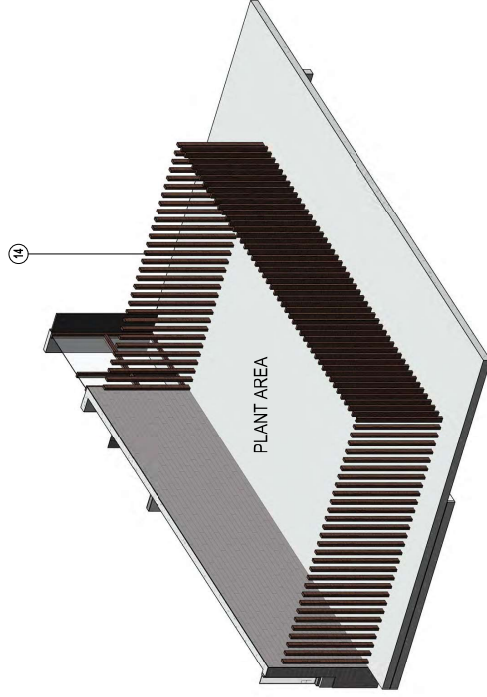


NOTE: PRIVACY SCREENING TO BE PROVIDED TO BALCONIES WHERE REQUIRED TO ENSURE COMPLIANCE WITH RESCODE B22.

1 AXO OF TYPICAL BALCONY



3 ARRANGEMENT OF ALL AWNING AND FIXED WINDOWS



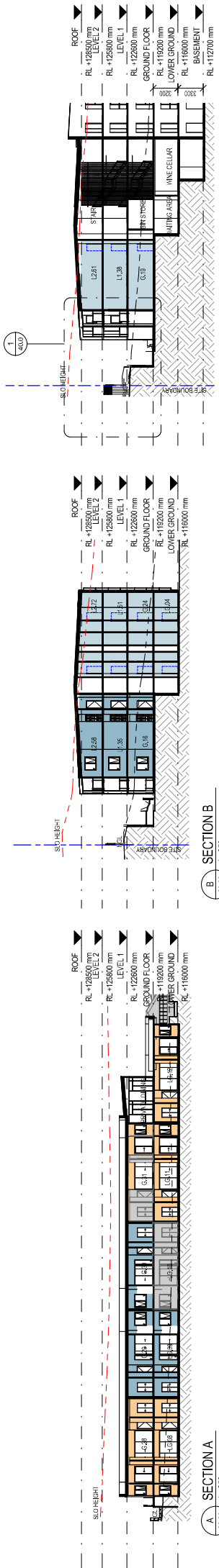
2 AXO OF TIMBER BATTEN SCREEN OVER ENTRY

MARK	DESCRIPTION	IMAGE
1	GREY RENDER	
2	CHARCOAL COLOURED STEEL	
3	DARK GREY COLOUR BACK GLASS SPANDREL	
4	CLEAR GLAZING	
5	CHARCOAL METAL ROOF SHEETING	
6	MACEDON STONE WALL PANEL	
7	TIMBER LAMINATED OPERABLE PANELLED SUN SHADE	
8	TIMBER PROPERTY BOUNDARY FENCE	

MARK	DESCRIPTION	IMAGE
9	CHARCOAL METAL WALL CLADDING	
10	MAHOGANY TIMBER	
11	BLACK ALUMINIUM FRAME	
12	FROSTED GLASS	
13	BLACK STEEL FRAME	
14	WOODEN BATTENS	
15	CHARCOAL ALUMINIUM SUN SHADE	
16	DRIVEWAY FINISH GREY CONCRETE	
17	BLUESTONE CRAZY PAVE	



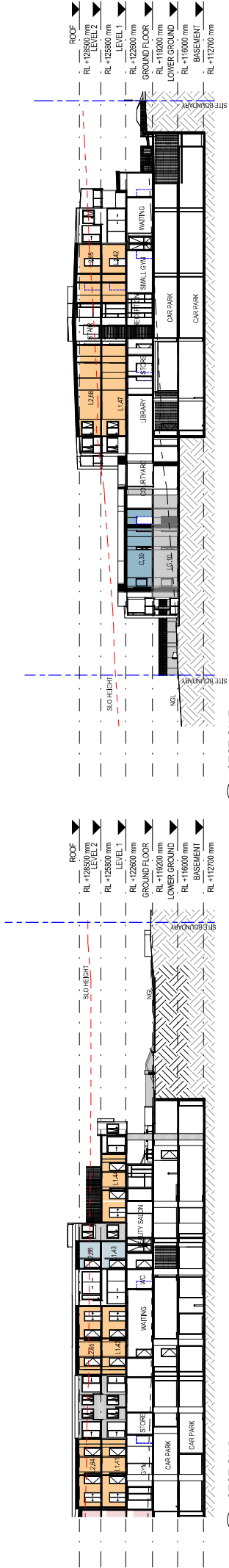




**A SECTION A**  
20/00 1:250

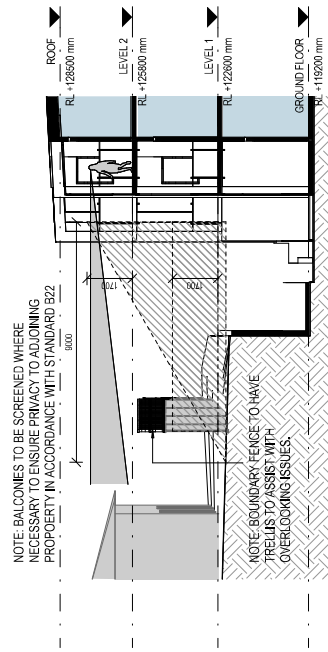
**B SECTION B**  
20/00 1:250

**C SECTION C**  
20/00 1:250

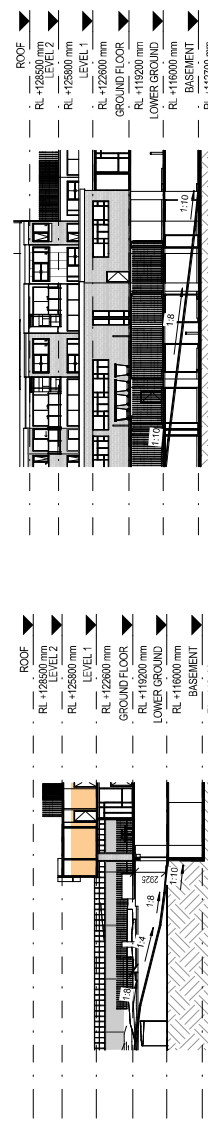


**D SECTION D**  
20/00 1:250

**E SECTION E**  
20/00 1:250



**1 SECTION - INDICATIVE SIGHT LINE DIAGRAM**  
00/00 1:100



**2 RAMP SECTION 01**  
20/00 1:250

**3 RAMP SECTION 02**  
20/00 1:250



**DONVALE RETIREMENT LIVING**  
312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

© Copyright Thomson Adsett Pty Ltd.  
ABN 76 106 314 854.  
Trading as ThomsonAdsett.  
Telephone +61 3 9685 9173  
mel@thomsonadsett.com  
Level 1, 333 Queen Street  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

**thomson adsett**  
SECTIONS  
As indicated @ A1  
A40.0





4 SUN STUDY 9AM (SEPT)  
300 1:500



5 SUN STUDY 12PM (SEPT)  
300 1:500



6 SUN STUDY 3PM (SEPT)  
300 1:500



**DONVALE RETIREMENT LIVING**  
312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

© Copyright Thomson Adsett Pty Ltd.  
ABN 76 106 314 854  
Trading as ThomsonAdsett.

TA # 16.0031

Telephone +61 3 9685 9173  
mel@thomsonadsett.com  
Level 1, 333 Queen Street  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

SHADOW DIAGRAMS

**thomson  
adsett**

1:500 @ A1

8/10/2018

50.0

REV. 6





**DONVALE RETIREMENT LIVING**

312 SPRINGVALE ROAD  
DONVALE VIC 3111

ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

© Copyright Thomson Adsett Pty Ltd  
ABN 76 106 314 854  
Trading as ThomsonAdsett.

TA # 16.0031

**thomson  
adsett**

3D VIEWS

@ A1

60.1

8/10/2018

REV. 4





**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD

© Copyright Thomson Adsett Pty Ltd  
 ABN 76 106 314 854  
 Trading as ThomsonAdsett.

TA # 16.0031

Telephone +61 3 9685 9173  
 mel@thomsonadsett.com  
 Level 1, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

**thomson  
 adsett**

3D VIEWS  
 @ A1  
 60.2

8/10/2018  
 REV. 4

Development Summary Table					
Apartment Number	Number of Bedrooms	Level	GFA	Total Balcony Area	Area of Allocated Storage
LG.01	3	Lower Ground	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
LG.02	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
LG.03	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
LG.04	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
LG.05	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
LG.06	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
LG.07	1	Lower Ground	86m <sup>2</sup>	8m <sup>2</sup>	11.4m <sup>2</sup>
LG.08	3	Lower Ground	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
LG.09	2	Lower Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
LG.10	3	Lower Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
LG.11	3	Lower Ground	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
LG.12	3	Lower Ground	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
G.13	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
G.14	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
G.15	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
G.16	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
G.17	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
G.18	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
G.19	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
G.20	1	Ground	86m <sup>2</sup>	8m <sup>2</sup>	11.4m <sup>2</sup>
G.21	1	Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
G.22	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
G.23	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
G.24	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
G.25	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
G.26	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
G.27	3	Ground	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
G.28	3	Ground	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
G.29	3	Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
G.30	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
G.31	3	Ground	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L1.32	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L1.33	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L1.34	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L1.35	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L1.36	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>

L1.37	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L1.38	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L1.39	1	Level 1	86m <sup>2</sup>	8m <sup>2</sup>	11.4m <sup>2</sup>
L1.40	1	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L1.41	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L1.42	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L1.43	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L1.44	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L1.45	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L1.46	3	Level 1	142m <sup>2</sup>	25m <sup>2</sup>	26.1m <sup>2</sup>
L1.47	3	Level 1	142m <sup>2</sup>	25m <sup>2</sup>	26.1m <sup>2</sup>
L1.48	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L1.49	3	Level 1	142m <sup>2</sup>	25m <sup>2</sup>	26.1m <sup>2</sup>
L1.50	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L1.51	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L1.52	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L1.53	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L1.54	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L2.55	3	Level 2	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L2.56	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L2.57	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L2.58	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L2.59	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L2.60	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	24.4m <sup>2</sup>
L2.61	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L2.62	1	Level 2	86m <sup>2</sup>	8m <sup>2</sup>	11.4m <sup>2</sup>
L2.63	1	Level 2	86m <sup>2</sup>	8m <sup>2</sup>	11.4m <sup>2</sup>
L2.64	3	Level 2	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L2.65	3	Level 2	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L2.66	3	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L2.67	3	Level 2	142m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L2.68	2	Level 2	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L2.69	3	Level 2	142m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>
L2.70	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L2.71	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L2.72	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L2.73	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L2.74	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	17.4m <sup>2</sup>
L2.75	3	Level 2	126m <sup>2</sup>	17m <sup>2</sup>	24.1m <sup>2</sup>



**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD

© Copyright Thomson Adsett Pty Ltd.  
 ABN 76 106 314 854  
 Trading as ThomsonAdsett.  
 Telephone +61 3 9685 9173  
 mel@thomsonadsett.com  
 Level 1, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com



DEVELOPMENT SUMMARY TABLE  
 @A1  
 70.3  
 16/10/2018  
 REV. 5



308 Springvale Rd Donvale

33 Mitcham Rd Donvale

39 Mitcham Rd Donvale

330 Springvale Rd Donvale (units)

316 Springvale Rd Donvale



**Legend**

- Tree Removal / Retain Schedule
- Remove
- Retain (AS/NZS 4009)
- TPZ (AS/NZS 4009)
- TPZ encroachment
- Multiple nearby trees

# Tree TPZ Impact Analysis

## 312-316 Springvale Rd Donvale

DESIGNED	S. FITZ	REVISIONS	46/02
DRAFT	S. FITZ	CONSULTANT REF	
CHECKED		DRAWING REF	
DWG NO.	312SpringvaleDon - 1	CAD FILE REF	By client

**WARNING**  
 BEWARE OF UNDERGROUND SERVICES  
 Before excavating, check for underground services. The location of services should be proven on site. This plan is not intended to be used as such.
































Tree inspections were commissioned by Thomson Adams  
 This tree location / TPZ plan is provided as part of the report  
 SPRINGVALE RD, DONVALE, VIC 3089, 23/11/2018  
 2.3.2. Preliminary tree assessment  
 The report includes the correct use of information provided to understand this plan. Please read the report with this plan.

A	02/7/2018	Complete

## TREE PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT X WIDTH (M) MATURE SIZE	INSTALLATION SIZE	DENSITY PER/M <sup>2</sup>	QTY
<b>TREES</b>						
<b>MID &amp; HIGH CANOPY SPECIES TO NORTH, SOUTH &amp; WEST PERIMETER</b>						
CA	<i>Cedrus atlantica</i>	Atlas Cedar	20 x 15	45L	AS SHOWN	1
CD	<i>Deodar cedar</i>	Deodar Cedar	20 x 10	45L	AS SHOWN	3
EG	<i>Eucalyptus gonicalyx</i>	Long-leaved box	20 x 15	45L	AS SHOWN	3
EP	<i>Eucalyptus polyanthemos</i>	Red Box	15 x 5	45L	AS SHOWN	4
ER	<i>Eucalyptus rubida</i>	Candlebark	25 x 20	45L	AS SHOWN	9
PC	<i>Pinus canariensis</i>	Canary Island Pine	25 x 15	45L	AS SHOWN	6
PJ	<i>Pinus jeffreyi</i>	Jeffery Pine	18-40 x 9	45L	AS SHOWN	3
PP	<i>Pinus palustris</i>	Longleaf Pine	35 x 12	45L	AS SHOWN	18
PI	<i>Pinus ponderosa</i>	Ponderosa Pine	30 x 9	45L	AS SHOWN	11
<b>FEATURE SPECIES</b>						
BP	<i>Betula pendula</i>	Silver Birch	15 x 8	75L	AS SHOWN	10
MG	<i>Magnolia grandiflora</i> 'Exmouth'	Southern Magnolia	12 x 5	75L	AS SHOWN	4
PY	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Ornamental Pear	11 x 6	75L	AS SHOWN	12

### LEGEND

-  EXISTING TREE TO BE RETAINED
-  PROPOSED EVERGREEN TREE
-  PROPOSED DECIDUOUS TREE
-  HEDGE PLANTING
-  MASS PLANTING
-  REVEGETATION PLANTING
-  FEATURE MASS PLANTING
-  MOUNDING
-  TURF
-  GRAVEL BALLAST
-  STAIR WITH HANDRAIL
-  LIGHTING BOLLARD
-  RETAINING WALL
-  PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
-  PAVING - TYPE 02  
SEGMENTAL BLUESTONE PAVING
-  PAVING - TYPE 03  
UNIT PAVING
-  PAVING - TYPE 04  
BLUESTONE PROPHERY
-  ASPHALT
-  LOOSE FURNITURE
-  FIXED BENCH SEAT
-  SCREEN FENCE & GATE
-  SMALL FEATURE PLANTING POTTS
-  ELECTRICAL KIOSK
-  NEW BOUNDARY FENCE
-  EXISTING BOUNDARY FENCE
-  LOWER GROUND LEVEL OUTLINE
-  GROUND LEVEL OUTLINE
-  LEVEL 1 OUTLINE
-  ROOF OUTLINE
- + 115.85 PROPOSED LEVELS
- + LGF 116.00
- +EX. 116.00 EXISTING LEVELS
- + (TOW 119.20) PROPOSED TOP OF WALL LEVEL

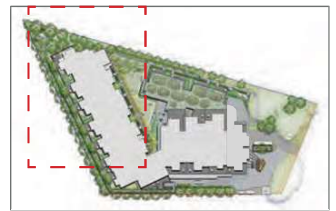








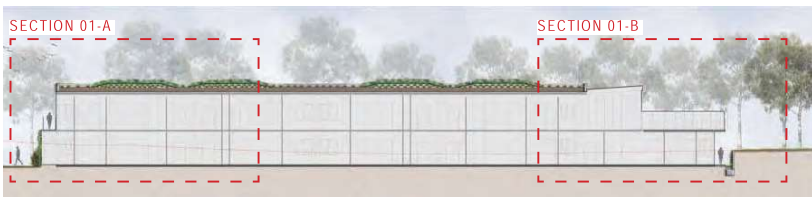




SITE PLAN  
NOT TO SCALE



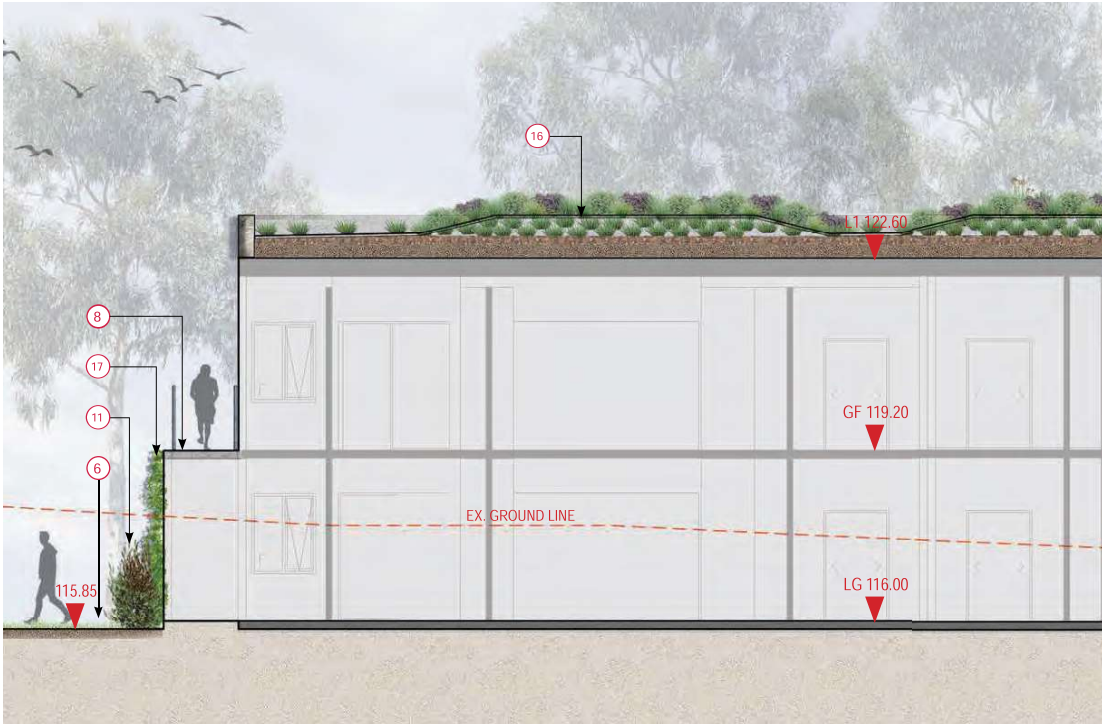




SECTIONAL ELEVATION 01  
1:500



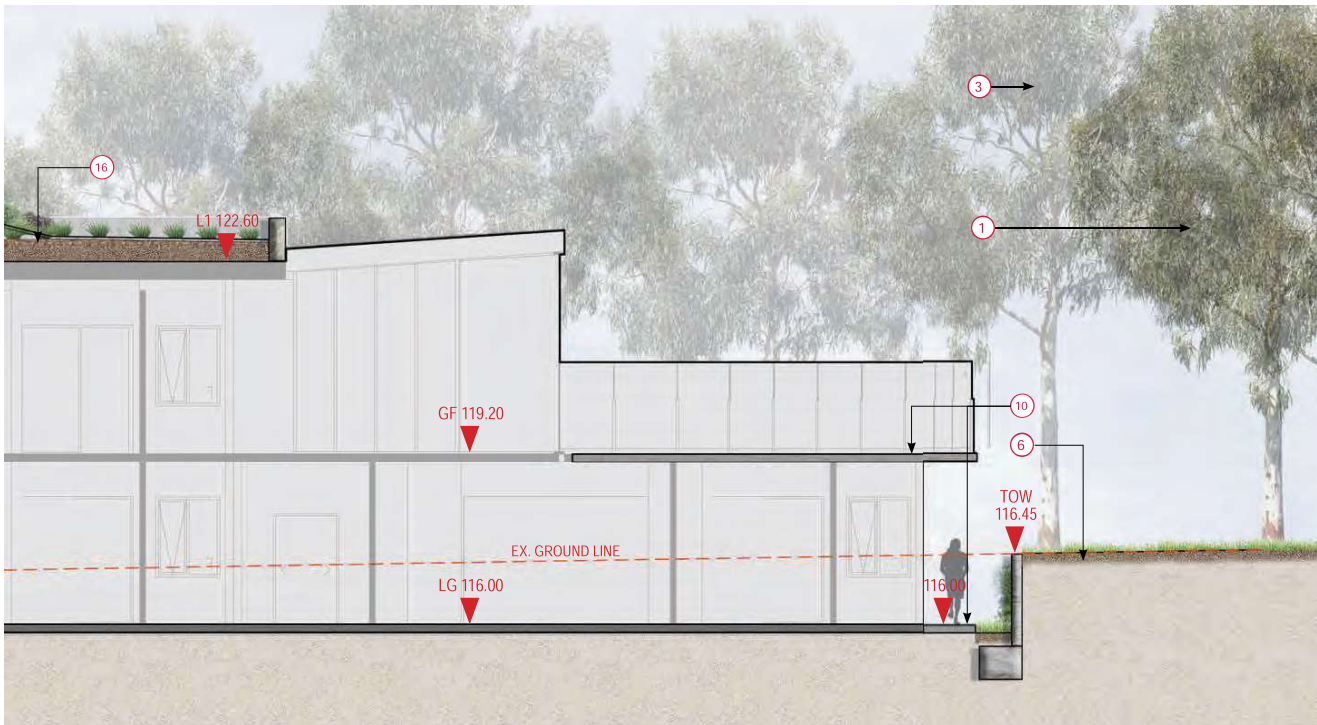
SITE PLAN  
NOT TO SCALE



SECTIONAL ELEVATION 01-A  
1:100

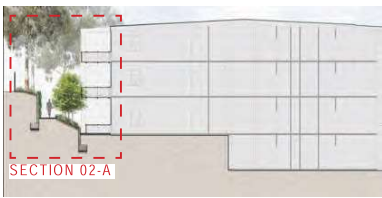
LEGEND

- ① EXISTING TREE TO BE RETAINED
- ② PROPOSED DECIDUOUS TREE
- ③ PROPOSED EVERGREEN TREE
- ④ SCREEN PLANTING
- ⑤ REVEGETATION PLANTING
- ⑥ TURF
- ⑦ MASS PLANTING
- ⑧ PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- ⑨ PAVING - TYPE 02  
SEGMENTAL BLUESTONE PAVING
- ⑩ PAVING - TYPE 03  
UNIT PAVING
- ⑪ HEDGE PLANTING
- ⑫ FENCE & GATE
- ⑬ ASPHALT
- ⑭ RETAINING WALL
- ⑮ SCREEN FENCE
- ⑯ MOUNDED PLANTING
- ⑰ CLIMBERS

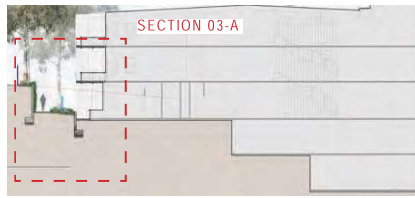


SECTIONAL ELEVATION 01-B  
1:100





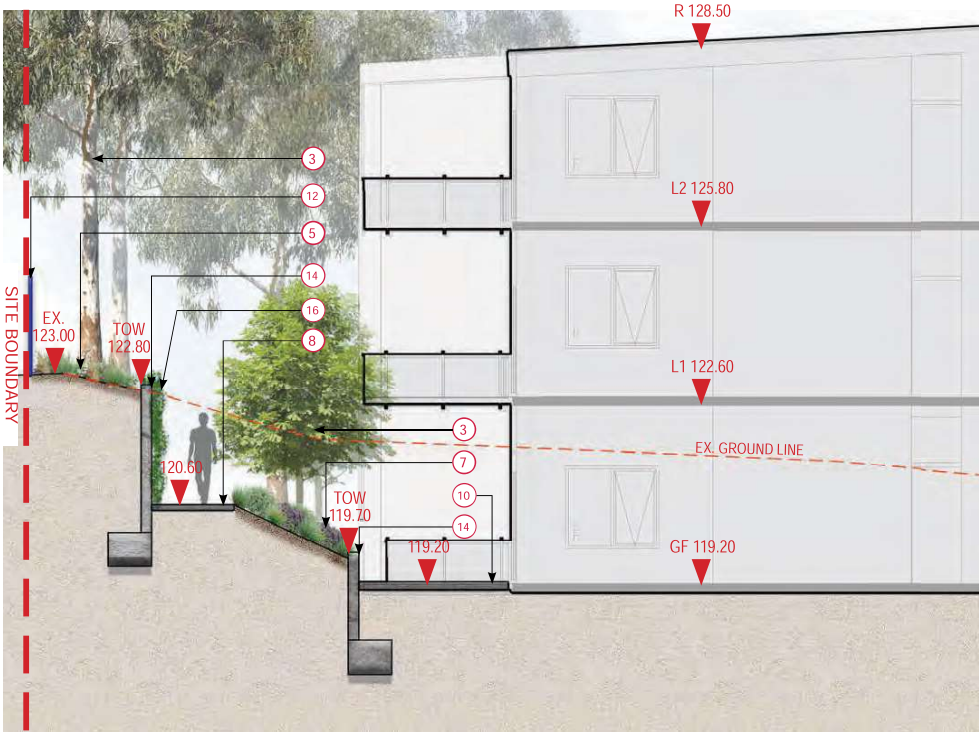
SECTIONAL ELEVATION 02  
1:500



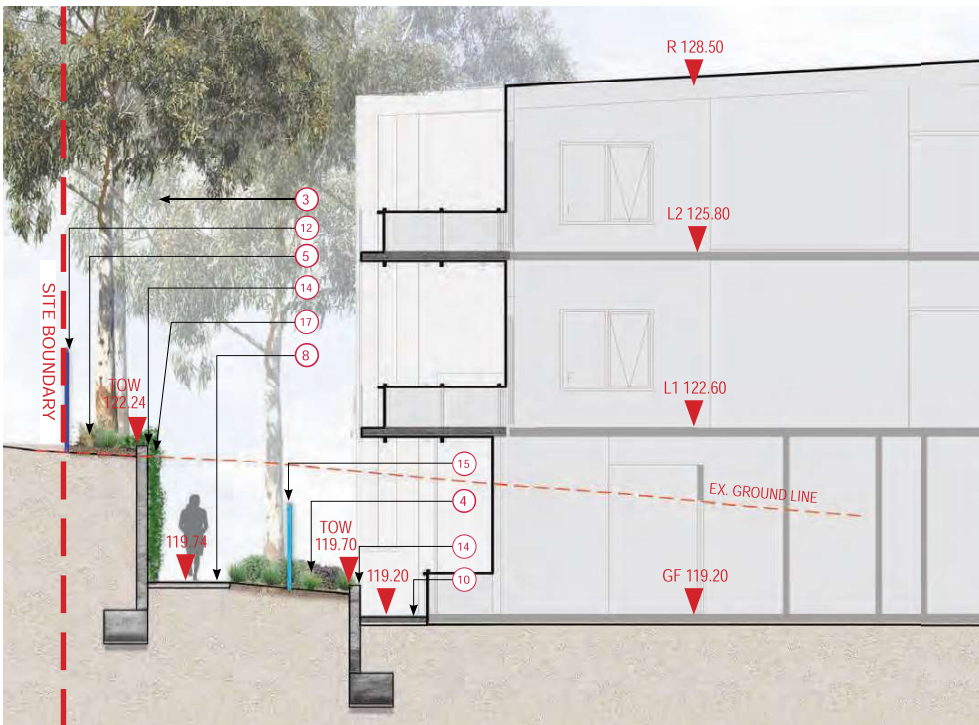
SECTIONAL ELEVATION 03  
1:500



SITE PLAN  
NOT TO SCALE



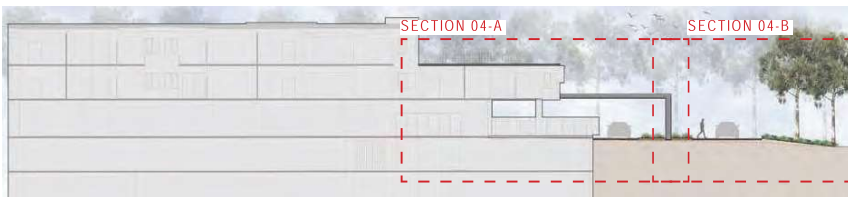
SECTIONAL ELEVATION 02-A  
1:100



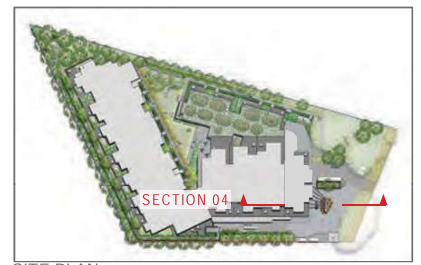
SECTIONAL ELEVATION 03-A  
1:100

LEGEND

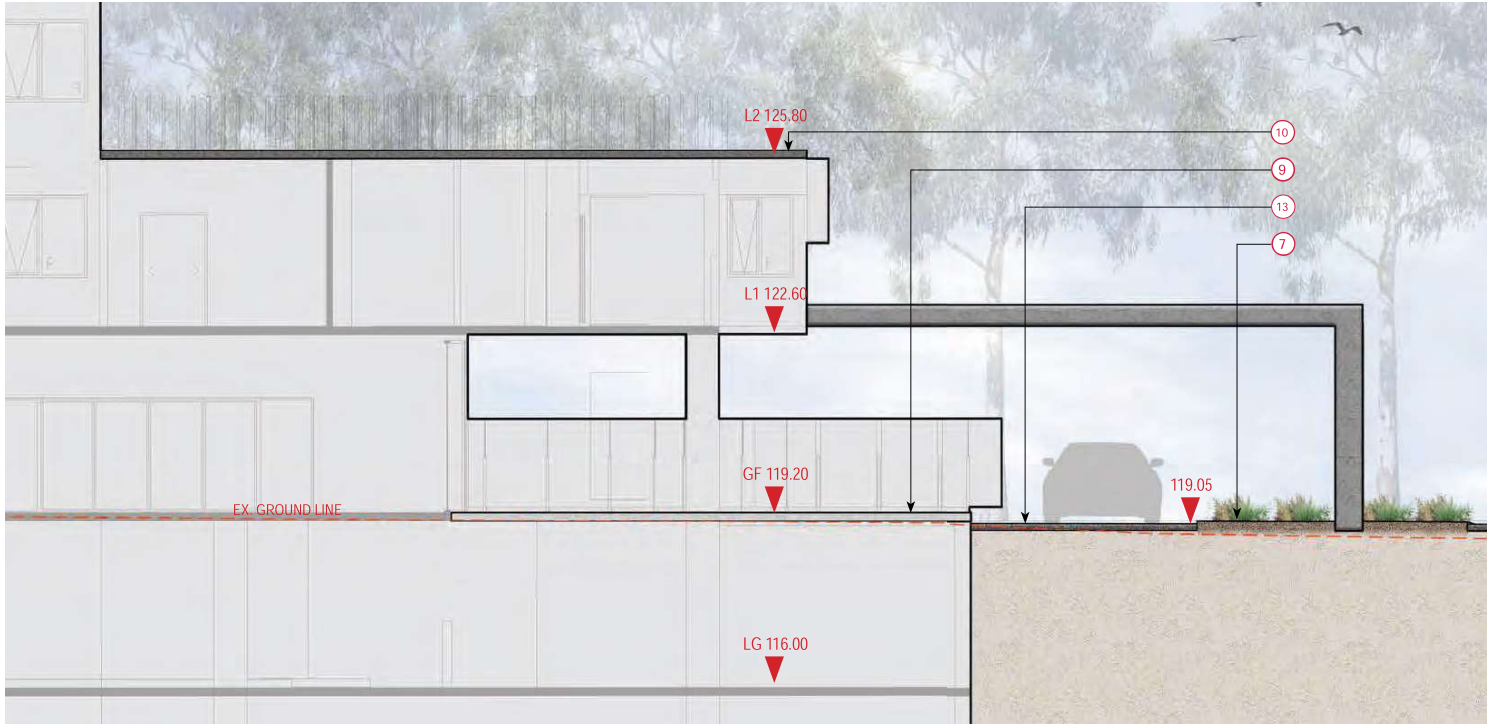
- ① EXISTING TREE TO BE RETAINED
- ② PROPOSED DECIDUOUS TREE
- ③ PROPOSED EVERGREEN TREE
- ④ SCREEN PLANTING
- ⑤ REVEGETATION PLANTING
- ⑥ TURF
- ⑦ MASS PLANTING
- ⑧ PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- ⑨ PAVING - TYPE 02  
SEGMENTAL BLUESTONE PAVING
- ⑩ PAVING - TYPE 03  
UNIT PAVING
- ⑪ HEDGE PLANTING
- ⑫ FENCE & GATE
- ⑬ ASPHALT
- ⑭ RETAINING WALL
- ⑮ SCREEN FENCE
- ⑯ MOUNDED PLANTING
- ⑰ CLIMBERS



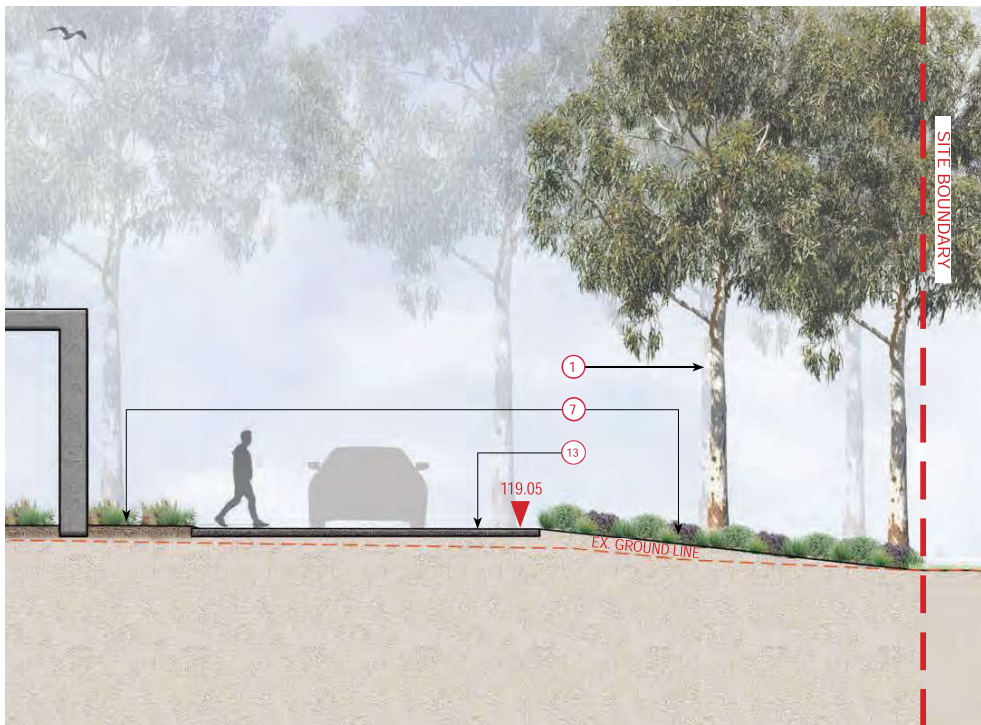
SECTIONAL ELEVATION 04  
1:500



SITE PLAN  
NOT TO SCALE



SECTIONAL ELEVATION 04-A  
1:100

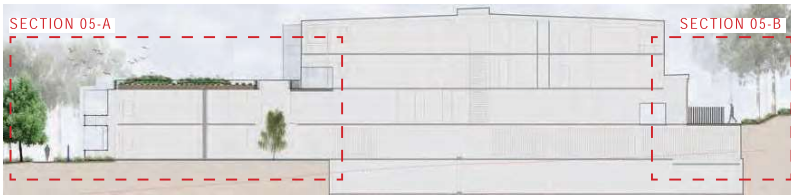


SECTIONAL ELEVATION 04-B  
1:100

LEGEND

- ① EXISTING TREE TO BE RETAINED
- ② PROPOSED DECIDUOUS TREE
- ③ PROPOSED EVERGREEN TREE
- ④ SCREEN PLANTING
- ⑤ REVEGETATION PLANTING
- ⑥ TURF
- ⑦ MASS PLANTING
- ⑧ PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- ⑨ PAVING - TYPE 02  
SEGMENTAL BLUESTONE PAVING
- ⑩ PAVING - TYPE 03  
UNIT PAVING
- ⑪ HEDGE PLANTING
- ⑫ FENCE & GATE
- ⑬ ASPHALT
- ⑭ RETAINING WALL
- ⑮ SCREEN FENCE
- ⑯ MOUNDED PLANTING
- ⑰ CLIMBERS

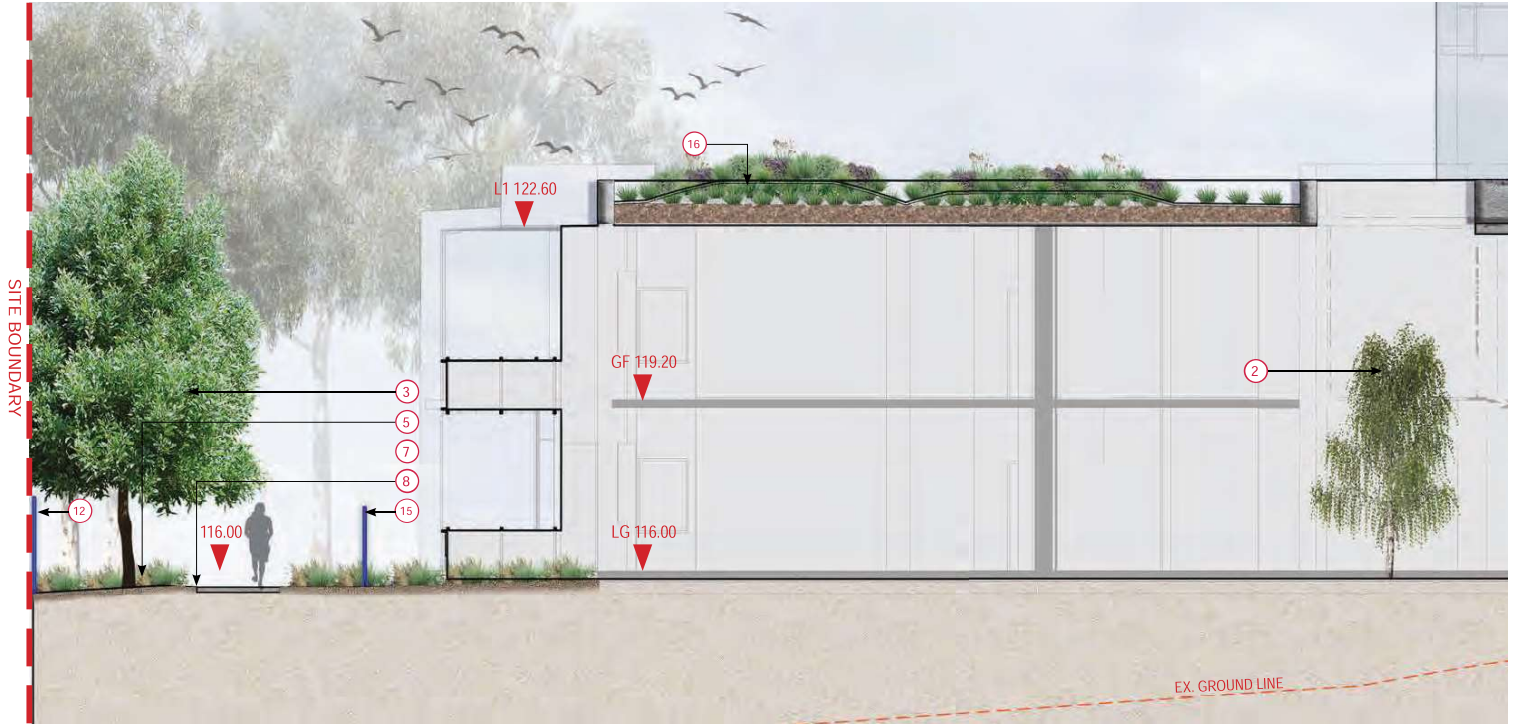




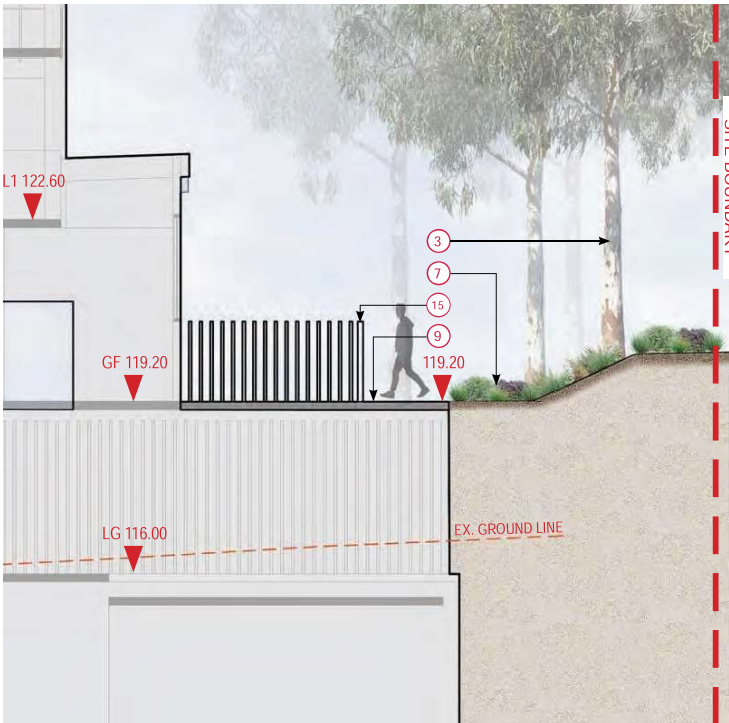
SECTIONAL ELEVATION 05  
1:500



SITE PLAN  
NOT TO SCALE



SECTIONAL ELEVATION 05-A  
1:100



SECTIONAL ELEVATION 05-B  
1:100

LEGEND

- ① EXISTING TREE TO BE RETAINED
- ② PROPOSED DECIDUOUS TREE
- ③ PROPOSED EVERGREEN TREE
- ④ SCREEN PLANTING
- ⑤ REVEGETATION PLANTING
- ⑥ TURF
- ⑦ MASS PLANTING
- ⑧ PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- ⑨ PAVING - TYPE 02  
SEGMENTAL BLUESTONE PAVING
- ⑩ PAVING - TYPE 03  
UNIT PAVING
- ⑪ HEDGE PLANTING
- ⑫ FENCE & GATE
- ⑬ ASPHALT
- ⑭ RETAINING WALL
- ⑮ SCREEN FENCE
- ⑯ MOUNDED PLANTING
- ⑰ CLIMBERS



# PLANT MATERIALS

## TREES | MID & HIGH CANOPY TREES TO NORTH, SOUTH & WEST PERIMETER



*Cedrus atlantica* (CA)  
ATLAS CEDAR



*Cedrus deodara* (CD)  
DEODAR CEDAR



*Eucalyptus goniacalyx* (EG)  
LONG-LEAVED BOX



*Eucalyptus polyanthemus* (EP)  
RED BOX



*Eucalyptus rubida* (ER)  
CANDLEBARK



*Pinus canariensis* (PC)  
CANARY ISLAND PINE



*Pinus jeffreyi* (PJ)  
JEFFREY PINE



*Pinus palustris* (PP)  
LONGLEAF PINE



*Pinus ponderosa* (PI)  
PONDEROSA PINE

## TREES | FEATURE



*Betula pendula* (BP)  
SILVER BIRCH



*Magnolia grandiflora* 'Exmouth' (MG)  
SOUTHERN MAGNOLIA



*Pyrus calleryana* 'Chanticleer' (PY)  
CHANTICLEER ORNAMENTAL PEAR

## MASS PLANTING | ROOF TERRACE



*Anigozanthos* sp  
KANGAROO PAW



*Ficinia Nodosa*  
KNOBBY CLUB RUSH



*Juniperus horizontalis*  
CREEPING CEDAR



*Liriope muscari*  
LILY TURF



*Lomandra longifolia* 'TANIKA'  
LOMANDRA TANIKA



*Tulbaghia violacea*  
SOCIETY GARLIC



*Westringia fruticosa*  
COASTAL ROSEMARY



SHRUBS



*Camellia sasanqua*  
SMALL LEAVED CAMELLIA



*Doryanthes excelsa*  
GYMEA LILLY

CREEPER | DECIDUOUS



*Parthenocissus tricuspidata*  
VIRGINIA CREEPER

CREEPER | EVERGREEN



*Ficus pumila*  
CREEPING FIG

MASS PLANTING



*Cycas revoluta*  
SAGO PALM

GROUNDCOVER



*Trachelospermum jasminoides*  
STAR JASMINE

CLIMBER



*Wisteria sinensis*  
CHINESE WISTERIA

SURFACE MATERIALS

PAVING



EXPOSED AGGREGATE CONCRETE  
TYPE 02



LOOSE GRAVEL



PORTE COCHERE ENTRY PAVEMENT  
BLUESTONE PORPHYRY SETTS



SEGMENTAL BLUESTONE PAVING



TURF

RETAINING WALL



EASTERN SERVICE ROAD  
SPLIT FACE CORE FILLED BLOCK  
COLOUR: CHARCOAL

TACTILE INDICATORS



## **4. LEGISLATIVE REQUIREMENTS**

### **4.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)**

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### **4.2 MANNINGHAM PLANNING SCHEME**

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.03 Low Density Residential Zone
- Clause 42.03 Significant Landscape Overlay, Schedule 6
- Clause 45.01 Public Acquisition Overlay for a Category 1 Road
- Clause 52.06 Car Parking
- Clause 52.12 Bushfire Protection: Exemptions
- Clause 52.17 Native Vegetation:
- Clause 52.29 Land Adjacent to a Road Zone Category 1 or a Public Acquisition Overlay for a Category 1 Road
- Clause 52.34 Bicycle Facilities
- Clause 65 Decision Guidelines

#### **Zone**

##### Clause 32.03 Low Density Residential Zone

A permit is required to:

- Use of the land for a retirement village
- Buildings and works associated with a Section 2 (permit required) use

The purpose of the Low Density Residential Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.*

#### **Overlays**

##### Clause 42.03 Significant Landscape Overlay



A permit is required to:

- Construct a building or construct or carry out works.
- A permit is required to remove, destroy or lop any vegetation specified in a schedule to this overlay. This does not apply:
  - If the table to Clause 42.03-3 specifically states that a permit is not required.
  - To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

Landscape character objectives to be achieved include:

- *To encourage development that is in keeping with the vegetated character of the area and is sympathetic to the existing built form.*
- *To ensure that development responds to the area's landscape and environmental characteristics, including topography, vegetation and waterways.*
- *To ensure that the visual impact of development is minimised.*
- *To minimise the visual impact of earthworks on the landscape.*
- *To minimise the impacts of site run-off and soil erosion on the landscape.*
- *To promote the retention and establishment of vegetation.*
- *To avoid, minimise and offset the removal of Victorian native vegetation.*
- *To maintain the treed character of the low density residential areas.*
- *To ensure that adequate setbacks are provided to enable the retention and planting of screen shrubs and large canopy trees as part of any development.*

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The statement of the nature and key elements of the landscape and the landscape character objective contained in a schedule to this overlay.*
- *The conservation and enhancement of the landscape values of the area.*
- *The need to remove, destroy or lop vegetation to create a defensible space to reduce the risk of bushfire to life and property.*
- *The impact of the proposed buildings and works on the landscape due to height, bulk, colour, general appearance or the need to remove vegetation.*
- *The extent to which the buildings and works are designed to enhance or promote the landscape character objectives of the area.*
- *The impact of buildings and works on significant views.*
- *Any other matters specified in a schedule to this overlay.*

#### Scheduled 6 Pine and Cypress Tree Theme Area

A permit is required to:

- Construct a building or construct or carry out works (of relevance: where site coverage exceeds 15%, a building is closer than 5 metres to a side or rear boundary, the building is more than 8 metres above the natural surface level)
- A permit is required to remove, destroy or lop any Victorian native vegetation, or a an exotic or Australian native tree that has either
  - A trunk circumference of more than 0.35 metre measured at a height of 1.3 metres above natural ground level
  - A height of more than 6 metres.
- A permit is not required to remove any species listed in the table to the schedule (shown below), or a dead tree, except for a dead Eucalypt that is both:
  - More than 20 metres from a building (excluding fences) to the base of the trunk.
  - Greater than 1 metre in circumference, measured at a height of 1.3 metres above

natural ground level.  
*Exempt vegetation*

Common name	Species	Status
Balm Mint Bush	<i>Prostanthera melissifolia</i>	Victorian Native Vegetation
Box Elder	<i>Acer negundo</i>	Exotic Tree
Cedar Wattle	<i>Acacia elata</i>	Australian Native Tree
Cherry Laurel	<i>Prunus laurocerasus</i>	Exotic Tree
Cherry Plum	<i>Prunus cerasifera</i>	Exotic Tree
Cootamundra Wattle	<i>Acacia baileyana</i>	Australian Native Tree
Cotoneasters	<i>Cotoneaster species</i>	Exotic Tree
Desert Ash	<i>Fraxinus angustifolia</i> subsp. <i>angustifolia</i>	Exotic Tree
Early Black-wattle	<i>Acacia decurrens</i>	Australian Native Tree
Giant Honey-myrtle	<i>Melaleuca armillaris</i>	Victorian Native Vegetation
Golden Wreath Wattle	<i>Acacia saligna</i>	Australian Native Tree
Gosford Wattle	<i>Acacia prominens</i>	Australian Native Tree
Hawthorn	<i>Crataegus monogyna</i>	Exotic Tree
Holly	<i>Ilex aquifolium</i>	Exotic Tree
Irish Strawberry Tree	<i>Arbutus unedo</i>	Exotic Tree
Large-leafed (or Tree) Privet	<i>Ligustrum lucidum</i> ( <i>Ligustrum japonicum</i> )	Exotic Tree
Laurustinus	<i>Viburnum tinus</i>	Exotic Tree
Loquat	<i>Eriobotrya japonica</i>	Exotic Tree
Morning Flag	<i>Orthrosanthus multiflorus</i>	Victorian Native Vegetation
Ovens Wattle	<i>Acacia pravissima</i>	Victorian Native Vegetation
Sallow Wattle	<i>Acacia longifolia</i>	Victorian Native Vegetation
Sticky Wattle	<i>Acacia howittii</i>	Victorian Native Vegetation
Sweet Pittosporum	<i>Pittosporum undulatum</i>	Victorian Native Vegetation
Sycamore Maple	<i>Acer pseudoplatanus</i>	Exotic Tree
Tagasaste or Tree Lucerne	<i>Chamaecytisus/(Cytisus) palmensis</i>	Exotic Tree
Tobacco-bush or Wild Tobacco Tree	<i>Solanum mauritianum</i>	Exotic Tree
Tree Locust	<i>Robinia pseudoacacia</i>	Exotic Tree
White Sallow-wattle	<i>Acacia floribunda</i>	Victorian Native Vegetation
Willow-leaf Hakea	<i>Hakea salicifolia</i>	Australian Native Tree
Willows and Sallows	<i>Salix species</i>	Exotic Tree
Wirilda	<i>Acacia retinodes</i>	Victorian Native Vegetation



The landscape character objectives to be achieved in the *Pine and Cypress Tree Theme Area* include:

- *To encourage development that is in keeping with the vegetated character of the area and is sympathetic to the existing built form any identified heritage values or other features.*
- *To ensure that development responds to the area's landscape and environmental characteristics, including topography, vegetation and waterways.*
- *To ensure that the visual impact of development is minimised.*
- *To minimise the visual impact of earthworks on the landscape.*
- *To minimise the impacts of site run-off and soil erosion on the landscape.*
- *To encourage the retention and establishment of vegetation, particularly large pine and cypress trees.*
- *To maintain and enhance large pine trees and cypress trees and associated windbreaks and pine plantations.*
- *To maintain the treed character of these areas.*
- *To ensure that where any removal of pine or cypress trees is proposed, replacement planting is with suitable species.*
- *To ensure that adequate setbacks are provided to enable the retention and planting of screening shrubs and planting of large canopy trees as part of any development..*

:

#### Clause 45.01 Public Acquisition Overlay, Schedule 4

A permit is required to:

- Use end for any Section 1 or 2 use in the Zone
- Construct a building or construct or carry out works.
- To damage, remove, destroy any vegetation (other than where a listed exemption)

The purpose of the overlay is to reserve land for a public purpose and to ensure that changes to the use or development of the land do not prejudice the purpose for which the land is to be acquired. Schedule 4 relates to road widening, with VicRoads as the acquiring Authority.

### **State Planning Policy Framework**

The relevant sections of the state planning policy framework are as follows:

Clause 13.02-1S (Bushfire Planning) must be applied to all planning and decision making under the *Planning and Environment Act 1987* relating to designed land, including land that is within a Designated Bushfire Prone Area

The objective seeks:

- *To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.*

Struggles to achieve this include the undertaking bushfire hazard identification and assessment. Bushfire risk should be considered when assessing planning applications for particular uses and development, including for accommodation, and any development that will result in people congregating in large numbers.

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- *Promote good urban design to make the environment more liveable and attractive.*

- *Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.*
- *Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.*
- *Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.*
- *Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*

Clause 15.01-2 (Urban Design Principle) policy objective is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
  - *The underlying natural landscape character.*
  - *The heritage values and built form that reflect community identity.*
  - *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*



The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*
- *Support low energy forms of transport such as walking and cycling.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*

The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Encourage housing that is both water efficient and energy efficient.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of housing in Metropolitan Melbourne to be developed within the established urban area, particularly at activity centres, employment corridors and at other strategic sites, and reduce the share of new dwellings in greenfield and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to activity centres, employment corridors and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within the established urban area to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-4 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 18.02-2 Cycling

The policy objective is:

- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

The clause includes several strategies to achieve this objective including to:

Require the provision of adequate bicycle parking and related facilities to meet demand at education, recreation, shopping and community facilities and other major attractions when issuing planning approvals.

Clause 18.02-2R Principal Public Transport Network

The policy objective is:

- *Maximise the use of existing infrastructure and increase the diversity and density of development along the Principal Public Transport Network, particularly at interchanges, activity centres and where principal public transport routes intersect.*

Clause 18.02-4 Management of the road system

The policy objective is:

- *To manage the road system to achieve integration, choice and balance by developing and efficient and safe network and making the most of existing infrastructure.*

Clause 18.02-5 Car parking

The policy objective is:

- *To ensure an adequate supply of car parking that is appropriately designed and located.*

## **Local Planning Policy Framework (LPPF)**

### **Municipal Strategic Statement**

#### Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

#### Clause 21.06 Low Density

##### *Built form and landscape character*

*New development should be designed and sited to reinforce and be respectful of the landscape and environmental characteristics of the site and its surroundings. The importance of retaining and enhancing native vegetation cover and in some circumstances pine and cypress tree cover is an intrinsic part of the preferred character of low density residential areas.*

##### *Traffic and Car parking*

*The existing local road network within some parts of the Low Density Residential Zone is characterised by narrow roads, including single lane and unsealed roads, well-vegetated road verges, unmade kerbs and channels and no footpaths. The undulating topography in these locations can create issues associated with impaired lines of vision for vehicles and limited pedestrian accessibility. This semi-rural road network contributes to the low density character of the area. The intensity of use and development should not detrimentally impact on the capacity or safety of the existing local road network, with all associated car parking to be provided on site.*

##### *Economic development issues*

*Council encourages home occupations as an important means of achieving economic development and providing opportunities that enable residents to work from home. The*



*needs of these businesses should be addressed while ensuring that residential amenity is not adversely affected.*

#### Clause 21.10 Ecologically Sustainable Development

This policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

#### Clause 21.14 Community Health and Wellbeing

The objectives of this clause are:

To provide appropriate spaces and facilities for social interaction.

- *To ensure that physical access to buildings, services and facilities meet the highest standards.*
- *To provide quality community amenities, educational institutions, diverse leisure, sporting and cultural opportunities and resident support services and programs.*
- *To encourage the provision of multi-purpose facilities in proximity to activity centres.*
- *To encourage the provision of aged accommodation in locations with appropriate infrastructure and access to services.*
- *To ensure that urban design promotes a sense of place, community identity, social interaction and a safe environment.*
- *To ensure that potentially contaminated sites do not impact on subsequent land uses or result in adverse effects on soil, water, air quality and health.*
- *To minimise adverse impacts associated with the location and operation of gaming venues and machines.*

One of the strategies to achieve these objectives is to:

*Encourage the establishment of community based facilities, including child care centres and health care facilities, in proximity to activity centres or other community facilities.*

### **Local Planning Policy**

#### Clause 22.04 Residential Accommodation

This policy applies to the use and development of land for residential accommodation, which includes group accommodation, residential buildings, residential villages and retirement villages in the Residential Growth Zone, General Residential Zone, Neighbourhood Residential Zone and Low Density Residential Zone.

The objectives of this policy are:

- *To ensure that group accommodation, residential buildings, residential villages and retirement villages are appropriately located close to activity centres, main roads, community facilities and public transport networks, to optimise convenient access to these services and facilities.*
- *To ensure that safe and convenient vehicle and pedestrian access is provided within, to and from the site.*
- *To ensure that adequate provision is made for on-site car parking.*
- *To ensure that siting takes account of traffic generated on the street and effects on traffic flow and road safety.*
- *To ensure that the location of the use does not adversely affect the role and function of the road network and that adequate provision is made for on-site car parking.*
- *To ensure that adequate provision is made for utility services.*
- *To ensure that the design, scale, visual bulk and appearance of development minimises the impact on neighbourhood character and the streetscape.*

- *To ensure that these facilities minimise the impact on land with identified environmental and/or landscape values.*
- *To ensure that the amenity of the locality is not detrimentally affected by way of the operation of these uses, including the effects of noise, car parking and traffic.*

It is policy that

### **Location**

- Group accommodation, residential buildings, residential villages and retirement villages uses should be located within the Residential Growth Zone and General Residential Zone areas that are:
  - Conveniently located to enable access to public transport, community and retail facilities and services.
  - Close to or adjoining existing community activities, to provide a focal point for community services and to create opportunities for interaction.
  - In areas where the slope of land is at a suitable grade which provides for easy pedestrian mobility both within the site and to externally located community facilities and services.
  - On a main or collector road so that the use does not depend on a local road for main vehicular movements, or in the case of smaller scale development, on local roads where it can be demonstrated that additional traffic movements will be well within the capacity of the local road network.
  - On a site with at least one, 15 metre minimum frontage.
  - On sites where extensive earthworks to create uniform site and floor levels are not required.
  - On sites where extensive vegetation removal is not required.
  - On sites with access to existing sealed roads and constructed pedestrian footpaths.
- Land within the Neighbourhood Residential Zone and Low Density Residential Zone is not a preferred location for residential accommodation. All of the following specific location requirements should be considered, including that the land:
  - Has convenient access to an activity centre and community facilities external to the site;
  - Is located on a main road or collector road so that the use does not depend on a local road for main vehicular movements; and
  - Is on a public transport route and within 400m walking distance to public transport.
- Within the Low Density Residential Zone, non-residential uses should also comply with all of the following criteria:
  - The site is serviced by reticulated sewerage;
  - Access to the site is via a sealed main road with existing kerb and channel, avoiding the use of narrow and single lane roads;
  - The site is not constrained by factors such as a slope of more than 20%, significant vegetation cover, drainage lines or highly visible ridgelines or hilltops; and
  - The site does not require significant earthworks to facilitate the development.

### **Design and built form**

The following applies to all zones identified in the preamble to this Clause, unless specifically identified otherwise:

- Building and site design responds to streetscape character.



- Building and site design should avoid excessive overshadowing and visual bulk to adjoining residential properties to maintain the privacy of adjoining residential properties.
- Windows should be located to avoid unreasonable overlooking, without the need for screening.
- Building form, colours and materials, height, massing, setbacks, roof form and window and door proportions are responsive to the neighbourhood character.
- In Low Density Residential Zone areas the development (built form, setbacks, landscaping, service areas, open space, driveway and car park areas) should be designed to be subordinate and non intrusive in terms of scale, height, location, visibility and materials of construction, so as to respect the low density residential and landscape character of the area.
- The facility is designed and sited so as to minimise off site impacts from car parking, outdoor lighting, plant and equipment noise, deliveries and other facility operations.
- Plant and equipment (air conditioning/heating etc.) located at ground level is appropriately housed in an acoustic building/structure where appropriate.
- Roof mounted plant and equipment is permanently screened by appropriate materials, so that it generally cannot be seen from within the facility or from adjoining and nearby dwellings and the public realm.
- Appropriate outdoor lighting, including low-level pathway lighting, is provided for the safety and security of residents, staff and visitors.
- The design and layout of any building, car park and open space area be readily and safely accessible.
- The layout of buildings and outdoor areas meets the needs of persons with limited mobility.
- Accommodation for older persons be designed to:
  - Ensure the layout of buildings and design of outdoor areas meets the needs of persons with limited mobility;
  - Make adequate provision for both indoor and outdoor leisure and recreational facilities with sufficient weather protection; and
  - Include a sufficient area of private and/or communal open space to meet the needs of the future occupants.
- Retirement village, group accommodation, residential village and retirement village development in a residential zone should respond to the topography of the site to ensure buildings and works are appropriately sited, having regard to existing slope and viewline characteristics.
- Walls of buildings should be set back from streets:
  - At least the distance specified in the schedule to the zone; or
  - If no distance is specified in the schedule to the zone, the distance specified in the Table (reflective of ResCode front and side/rear setback requirements)

### **Open space and landscaping**

- Developments are landscaped in a manner that softens the visual impact and assists with integration into streetscapes.
- The slope of land provides for easy pedestrian mobility within the site.
- Landscape plans incorporate designated communal open space areas and facilities which provide opportunities for residents to enjoy outdoor passive recreation.
- Public and communal open spaces are designed in a manner which protects natural features on the site, provides outlook for as many residential suites/lodging rooms as practicable, and enables ready access and usage.

- The removal of vegetation on sites of identified environmental or landscape significance is minimised.

### **Car parking and access**

- Car parking areas and driveways contribute to the function, safety and appearance of a development by:
  - Being designed for convenient access, having well-defined vehicle entry points, clearly separating vehicular and pedestrian circulation, and enabling vehicles to exit the site in a forward direction onto abutting roads.
  - Being surfaced, drained, constructed and line-marked in accordance with good engineering practice and, where appropriate, be in accordance with an engineering construction plan submitted to and approved by the responsible authority.
  - Car park areas should be adequately screened with landscaping and positioned to ensure minimal removal of existing vegetation.
  - Paved surfaces and other hard standing areas to be constructed (where appropriate) with dark coloured concrete or bitumen, coloured patterned concrete or brick paving.
  - Landscaping carparking areas with appropriate canopy trees, where practical, and maintaining them in accordance with an approved landscape plan.
  - Incorporating a planting strip of a minimum width of 1.5 metres along the residential boundary where at-grade car parking areas and driveways abut residential properties, in order to screen the parking area.
  - Minimising the protrusion of basement car parks above ground level.
  - Incorporating undercroft parking where appropriate, visually integrating multi-deck car parks with adjoining streetscapes.
  - Designing and siting security lighting to minimise light spill to adjoining properties.
- Car parks, accessways and set down areas should provide for safe and efficient traffic movement.
- Adequate space be provided for waste removal vehicles to safely manoeuvre on site, where appropriate.
- On-site car parking be provided as required for:
  - Occupants;
  - Staff;
  - Visitors;
  - Delivery and emergency vehicles; and
  - Disabled persons.

### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

### Clause 22.12 Environmentally Sustainable Development



This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

## Particular Provisions

### Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rates:

- 1 space for 1 and 2 bedroom dwellings.
- 2 spaces for 3 or more bedroom dwellings.

The land is identified as being within the Principal Public Transport Network Area. No visitor parking is therefore required.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

### Clause 52.12 Bushfire Protection: Exemptions

#### Exemption to create defendable space around buildings used for accommodation

*Any requirement of a planning permit, including any condition, which has the effect of prohibiting the removal, destruction or lopping of vegetation, or any requirement of this planning scheme to obtain a planning permit, or any provision of this planning scheme that prohibits the removal, destruction or lopping of vegetation or requires the removal, destruction or lopping of vegetation to be carried out in a particular manner does not apply to:*

- The removal, destruction or lopping of any vegetation within 10 metres of an existing building used for accommodation that was constructed before 10 September 2009; and
- The removal, destruction or lopping of any vegetation for a combined maximum width of 4 metres either side of an existing fence on a boundary between properties in different ownership that was constructed before 10 September 2009.

### Clause 52.17 Native Vegetation

The purpose of this clause is:

- *To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) (the Guidelines):*
  1. *Avoid the removal, destruction or lopping of native vegetation.*
  2. *Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.*
  3. *Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.*

*To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.*

Pursuant to Clause 52.17-1, a permit is required:

- To remove, destroy or lop native vegetation, including dead native vegetation.
- This does not apply:
  - If the table to Clause 52.17-7 specifically states that a permit is not required.

- If a native vegetation precinct plan corresponding to the land is incorporated into this scheme and listed in the schedule to Clause 52.16.
- To the removal, destruction or lopping of native vegetation specified in the schedule to this clause (which includes “planted” vegetation).

If a permit is required to remove, destroy or lop native vegetation, the biodiversity impacts from the removal, destruction or lopping of native vegetation must be offset, in accordance with the *Guidelines*. The conditions on the permit for the removal, destruction or lopping of native vegetation must specify the offset requirement and the timing to secure the offset.

#### Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road

The purpose of this clause is:

- *To ensure appropriate access to identified roads.*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Road Zone, Category 1, and within a Public Acquisition Overlay, Schedule 4.

#### Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, the following number of bicycle spaces are required for a residential building:

- *1 space for every 10 rooms for residents*
- *1 space for every 10 rooms for visitors*
- *1 space for every 10 rooms for staff in developments of four storeys or more*

### **General Provisions**

#### Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.