



PERMIT ISSUE

Revisions / 30/10/17 ISSUED FOR TOWN PLANNING SA
 A 19/01/18 RFI SUBMISSION

Project / **RESIDENTIAL DEVELOPMENT**
 152 ANDERSONS CREEK ROAD,
 DONCASTER EAST

Drawing / **EXISTING SITE PLAN**

Project No / **217084** Date / **27/10/17**

Author / **SA**

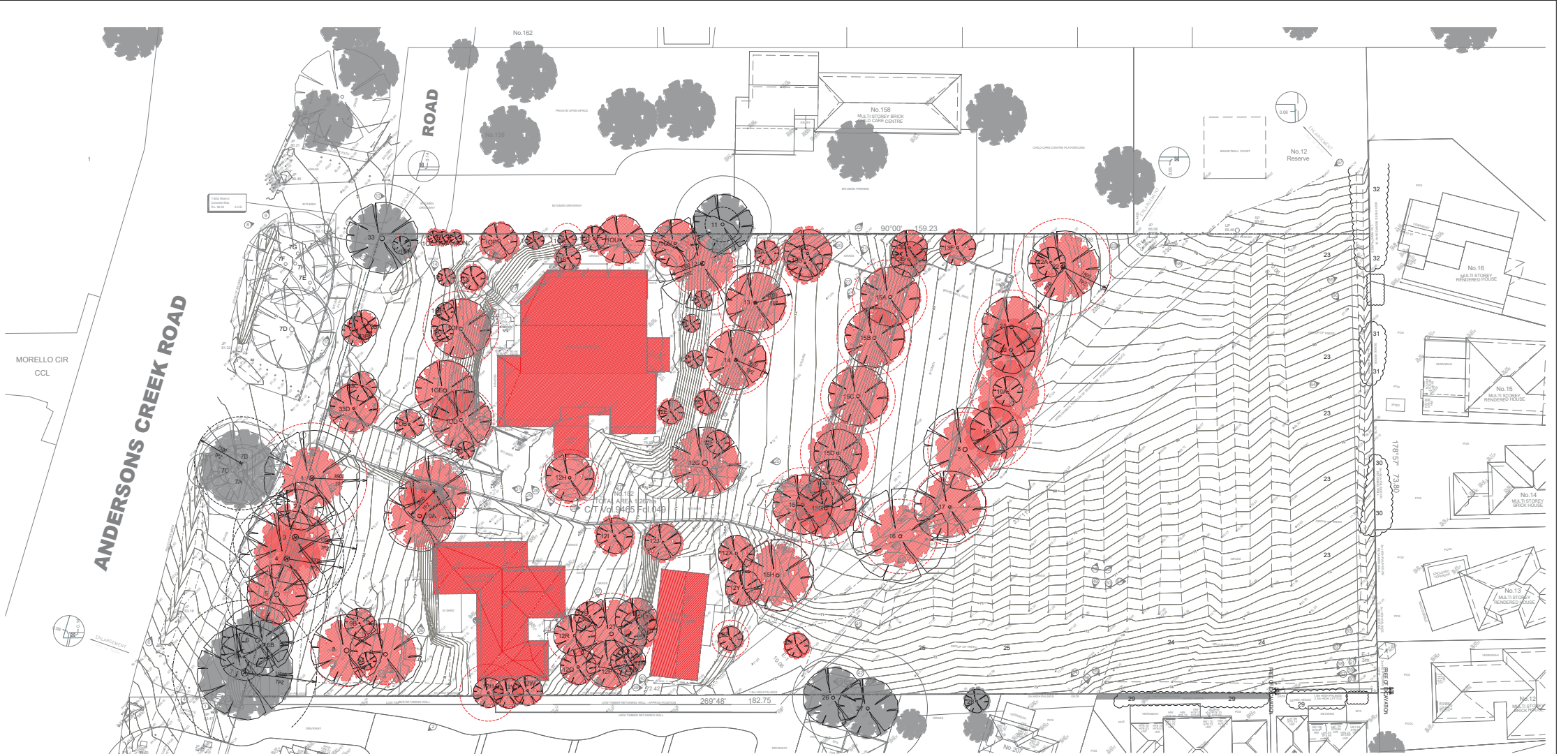
Scale @ A1 / **1 : 500**

Drawing No. / **TP00.01 A**

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TREE REMOVAL RETENTION PLAN LEGEND

--- TREE PROTECTION ZONE AS INFORMED BY THE ARBORIST REPORT OF ROB GALBRAITH

--- TREE PROTECTION ZONE PROPOSED TO BE REMOVED AS PER PROPOSED TREE REMOVAL

PROPOSED TREE REMOVAL

1.2.3. TREES ARE NUMBERED AND LABELED CONSISTENT WITH THE ARBORIST REPORT REFER TO THE ARBORIST REPORT OF ROB GALBRAITH FOR FURTHER DETAILS

TPZ TREE PROTECTION ZONE (RADIUS)

SRZ STRUCTURAL ROOT ZONE (RADII), NO EXCAVATION WITHIN THIS INDICATIVE STRUCTURAL ROOT ZONE

Tree No.	Species	Origin	DBH (cm)	HtS (m)	Comments and TPZ (m)
I: Indigenous					
V: Victorian Native					
A: Australian Native					
E: Exotic					
W: Weed					
1	<i>Pinus radiata</i> (Monteary Pine)	E	74	18x17	Over mature TPZ 8.8.
2	<i>Pinus radiata</i> (Monteary Pine)	E	23	11x7	Over mature TPZ 2.8.
3	<i>Pinus radiata</i> (Monteary Pine)	E	83	20x14	Over mature TPZ 9.5.
4	<i>Pinus radiata</i> (Monteary Pine)	E	76	20x13	Over mature TPZ 9.1.
5	<i>Pinus radiata</i> (Monteary Pine)	E	68	19x10	Stressed TPZ 8.2.
6	<i>Eucalyptus polyanthemum</i> (Red Box)	I	58	10x14	Moderate lean to south. In road reserve. Self-soon. TPZ 7.8.
6A	<i>Eucalyptus polyanthemum</i> (Red Box)	I	26	9x7	Lepidated to west. In road reserve. Self-soon. TPZ 3.1.
6B	<i>Eucalyptus polyanthemum</i> (Red Box)	I	11.6	7x4	Self-soon. Approx location added to plan. TPZ 2.0.
7	<i>Eucalyptus gonocalyx</i> (Long-leaved Box)	I	53.56	10x13	In road reserve. Self-soon.
7A	<i>Eucalyptus gonocalyx</i> (Long-leaved Box)	I	59	15x13	In road reserve. Major stem has moderate lean to NE. Self-soon. TPZ 7.1.
7B	<i>Eucalyptus gonocalyx</i> (Long-leaved Box)	I	41.49	10x13	In road reserve. Heavy lean to north. Self-soon. TPZ 7.5.
7C	<i>Acacia incana</i> (Lightwood)	I	23	10x7	Approx location added to plan. In road reserve. Self-soon. TPZ 2.8.

Tree No.	Species	DBH (cm)	HtS (m)	Comments and TPZ (m)
7D	<i>Eucalyptus polyanthemum</i> (Red Box)	1	38.28.25	12x13 Self-soon. In road reserve. Some detack TPZ 6.4.
7E	<i>Eucalyptus polyanthemum</i> (Red Box)	1	44	16x11 Self-soon. Old leaders in main catch. TPZ 5.3.
7F	<i>Eucalyptus polyanthemum</i> (Red Box)	1	45	12x8 Self-soon. In road reserve. Lepidated to west and south. TPZ 6.4.
7H	<i>Eucalyptus polyanthemum</i> (Red Box)	1	13	6x4 Approx location added to plan. Self-soon. In road reserve. TPZ 2.8.
11	<i>Eucalyptus leucocylon</i> (Yellow Gum)	I	50.38	15x16 In from fence in adjoining property. Approx location added to plan. TPZ 7.8.
28	<i>Pinus radiata</i> (Monteary Pine)	I	16x9	Centred 50cm from fence. TPZ 8.6.
27	<i>Pinus radiata</i> (Monteary Pine)	I	18x10	Centred 3m from fence. TPZ 8.6.
28	<i>Hakea salicifolia</i> (Yellow-leaf Hakea)	I	20 approx	6x6 Approx 2m from fence. TPZ 2.4.
29	<i>Pittosporum "James Stirling"</i>	I	<13cm	3m clipped hedge. Keep any excavation at least 60cm from the boundary fence to be confident the hedge is not impacted.
30	<i>Sytium paniculatum</i> (Lilypoll) (x10 approx)	I	to 29 approx	6m Ht Keep any excavation at least 1.5m from the boundary fence to be confident the hedge is not impacted.
	<i>Pittosporum angustifolium "Varegatum"</i>	I	to 30 approx	6m Ht Keep any excavation at least 1.5m from the boundary fence to be confident the hedge is not impacted.
31	(XZ) <i>Varegatum</i> (<i>Pittosporum</i>)	I	5m	5m Ht Keep any excavation at least 2.5m from the boundary fence to be confident the hedge is not impacted.
	x <i>Carpocypus leylandi</i> "Castlewellar" (Leyland)	I	43 approx	13m Ht Keep any excavation at least 2.5m from the boundary fence to be confident the hedge is not impacted.
	32 <i>Cyperus</i> (x10) near subject site	I	13m	13m Ht
33	<i>Pinus radiata</i> (Monteary Pine)	I	73	18x11 TPZ 8.8.

ADJOINING TREES EXTRACT FROM THE ADJOINING TREE DESCRIPTIONS PREPARED BY GALBRAITH & ASSOCIATES TREE CONSULTANTS. REFER TO GALBRAITH & ASSOCIATES REPORT FOR ANY FURTHER DETAILS.

PERMIT ISSUE

Revisions	30/10/17	ISSUED FOR TOWN PLANNING	SA
A	19/01/18	RF1 SUBMISSION	
B	27/02/18	RF1 2 SUBMISSION	

Project / **RESIDENTIAL DEVELOPMENT**
162 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **DEMOLITION PLAN**

Project No / **217084** Date / **27/10/17** Author / **SA** Scale: @ **A1** As indicated

Drawing No. / **TP00.03 B**



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TRAFFIC LEGEND

T1 PEDESTRIAN SIGHT TRIANGLE TO BE PROVIDED TO THE SOUTH SIDE OF THE ACCESSWAY (DEPARTURE SIDE) AT THE PROPERTY BOUNDARY. THE SIGHT TRIANGLE MEASURING 2.5 METRES INTO THE SITE AND 2M ALONG THE BOUNDARY OF THE SITE. SHOULD BE KEPT FREE OF VISUAL OBSTRUCTIONS AND ANY WALL, VEGETATION ETC SHOULD BE LESS THAN 900MM IN HEIGHT

MASTERPLAN LEGEND (ESTIMATED DIMENSIONS)

WMA MAIN AUTHORITY WATER METER ASSEMBLY (4M X 1.2M X 1.2M HIGH)
 SK SUBSTATION KIOSK
 MS MAIN SWITCHBOARD
 SB SUB BOARD
 TOWNHOUSE METER PANEL CLIPBOARD TO BE INTERGRADED INTO THE WALL (1000MM X 800MM X 400MM)

MORELLO CIR CCL
 PROPOSED CROSS OVER
 EXISTING CROSS OVER

TOTAL:	58 TOWNHOUSES
SITE AREA:	12,669m²
COVERAGE:	5,356m² 42.2%
PERMEABILITY:	3,797m² 29.9%

PERMIT ISSUE

Revisions /	30/10/17	ISSUED FOR TOWN PLANNING
A	19/01/18	RF1 SUBMISSION
B	27/02/18	RF1 2 SUBMISSION

10/20218 431:56 PM

	TYPE A	TYPE C	TYPE B	TYPE D	TYPE E	TYPE F	TYPE G	TYPE H	TOTAL
NO. OF HOUSES	4	4	9	6	6	10	11	8	58
NO. OF BEDS	4	4	3	4	3	4	3	3	198
NO. OF STOREYS	2	2	3	3	3	3	3	3	
NO. OF CARS	2	2	2	2	2	2	2	2	120

Project **RESIDENTIAL DEVELOPMENT**
 182 ANDERSONS CREEK ROAD,
 DONCASTER EAST

Drawing **DEVELOPMENT MASTERPLAN**

Project No/ **217084** Date/ **27/10/17** Author/ **SA**

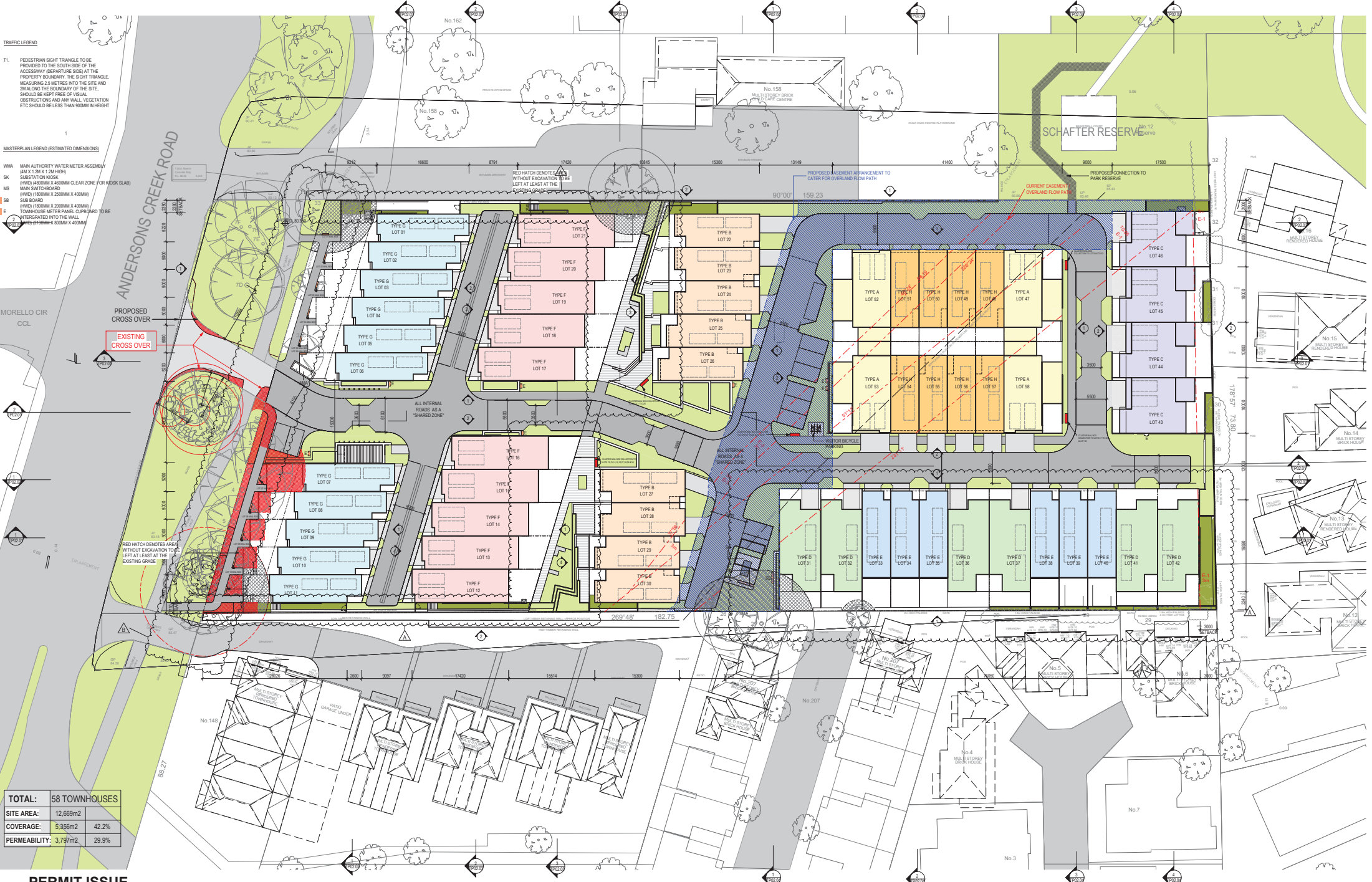
Scale: @ A/ **1 : 300**

Drawing No/ **TP01.01 B**

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TRAFFIC LEGEND

T1 PEDESTRIAN SIGHT TRIANGLE TO BE PROVIDED TO THE SOUTH SIDE OF THE ACCESSWAY DEPARTURE FROM AT THE PROPERTY BOUNDARY. THE SIGHT TRIANGLE MEASURING 2.5 METRES INTO THE SITE AND 2M ALONG THE BOUNDARY OF THE SITE SHOULD BE KEPT FREE OF VISUAL OBSTRUCTIONS AND ANY WALL, VEGETATION ETC SHOULD BE LESS THAN 900MM IN HEIGHT

MASTERPLAN LEGEND (ESTIMATED DIMENSIONS)

WMA MAIN AUTHORITY WATER METER ASSEMBLY (M X 1.2M X 1.2M HIGH)
 SK SUBSTATION KIOSK (HWD) (480MM X 400MM CLEAR ZONE FOR KIOSK SLAB)
 MS MAIN SWITCHBOARD (HWD) (1800MM X 2500MM X 400MM)
 SB SUB BOARD (HWD) (1800MM X 2500MM X 400MM)
 E TOWNHOUSE METER PANEL CUPBOARD TO BE INTEGRATED INTO THE WALL (HWD) (2100MM X 800MM X 400MM)

PROPOSED WORKS WITHIN THE SITE

EXISTING CROSSOVER TO BE READJUSTED
 SR2 STRUCTURAL ROOT ZONE (RADIUS, NO EXCAVATION WITHIN THIS INDICATIVE STRUCTURAL ROOT ZONE)

PROPOSED CROSS OVER

EXISTING CROSS OVER

RED HATCH DENOTES AREA WITHOUT EXCAVATION TO BE LEFT AT LEAST AT THE EXISTING GRADE

ZONE DENOTES AREA TO BE EXCAVATED

PERMIT ISSUE

Revisions / 301017 ISSUED FOR TOWN PLANNING
 A 190118 RFI SUBMISSION
 B 270218 RFI 2 SUBMISSION

SA

	TYPE A	TYPE C	TYPE B	TYPE D	TYPE E	TYPE F	TYPE G	TYPE H	TOTAL
NO. OF HOUSES	4	4	9	6	6	10	11	8	58
NO. OF BEDS	4	4	3	4	3	4	3	3	196
NO. OF STOREYS	2	2	3	3	3	3	3	3	
NO. OF CARS	2	2	2	2	2	2	2	2	120

RESIDENTIAL DEVELOPMENT
 152 ANDERSONS CREEK ROAD, DONCASTER EAST

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DEVELOPMENT MASTERPLAN - GROUND FLOOR PLAN

Project No. 217084 Date 27/10/17 Author SA Scale @ A/ 1:300

Drawing No. TP01.02 B



Brisbane, Melbourne, Sydney
 www.rothel lowman.com.au



REFER TO DRAWING TP00.02, TP 00.03 AND SURVEY PLAN FOR EXISTING SPOT LEVELS ACROSS ENTIRE SITE

TRAFFIC LEGEND

T1. PEDESTRIAN SIGHT TRIANGLE TO BE PROVIDED TO THE SOUTH SIDE OF THE ACCESSWAY (DEPARTURE SIDE) AT THE PROPERTY BOUNDARY. THE SIGHT TRIANGLE MEASURING 2.5 METRES INTO THE SITE AND 2M ALONG THE BOUNDARY OF THE SITE. SHOULD BE KEPT FREE OF VISUAL OBSTRUCTIONS AND ANY WALL, VEGETATION ETC SHOULD BE LESS THAN 900MM IN HEIGHT

MASTERS PLAN LEGEND (ESTIMATED DIMENSIONS)

WMA MAIN AUTHORITY WATER METER ASSEMBLY (8M X 2.5M X 2.0M HIGH)
 SK SUBSTATION KIOSK (HYD) (800MM X 600MM CLEAR ZONE FOR KIOSK SLAB)
 MS MAIN SWITCHBOARD
 SB (1500MM X 200MM X 400MM) SUB BOARD
 TOWNHOUSE METER PANEL, CUPBOARD TO BE INTEGRATED INTO THE WALL (HYD) (2100MM X 900MM X 400MM)

PROPOSED WORKS WITHIN THE SITE
 EXISTING CROSSOVER TO BE READJUSTED
 SRZ STRUCTURAL ROOT ZONE (RADUS) NO EXCAVATION WITHIN THIS INDICATIVE STRUCTURAL ROOT ZONE

NO LEVEL REDUCTIONS TO THIS AREA
 AREA WITHOUT EXCAVATION AND TO BE LEFT AT THE EXISTING GRADE
 AREA WITHOUT EXCAVATION AND TO BE LEFT AT THE EXISTING GRADE
 AREA WITHOUT EXCAVATION AND TO BE LEFT AT THE EXISTING GRADE

MORELLO CIR CCL
 PROPOSED CROSS OVER
 EXISTING CROSS OVER

ANDERSONS CREEK ROAD
 ENLARGEMENT

RED HATCH DENOTES AREA WITHOUT EXCAVATION TO BE LEFT AT LEAST AT THE EXISTING GRADE

RED HATCH DENOTES AREA WITHOUT EXCAVATION TO BE LEFT AT LEAST AT THE EXISTING GRADE

ALL INTERNAL ROADS, AS A SHARED ZONE

COMMUNAL BIN ENCLOSURE (TYPES G & F)

ZONE DENOTES AREA TO BE EXCAVATED

PROPOSED ROAD TO BE BUILT ON THE EXISTING GRADE

AREA WITHOUT EXCAVATION AND TO BE LEFT AT LEAST AT THE EXISTING GRADE. REFER TO TPV 02 AND ARBORIST REPORT FOR FURTHER DETAILS

NO. 148
 NO. 149
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PERMIT ISSUE

Revisions / 301017 ISSUED FOR TOWN PLANNING
 A 190118 RFI SUBMISSION
 B 270218 RFI 2 SUBMISSION

	TYPE A	TYPE C	TYPE B	TYPE D	TYPE E	TYPE F	TYPE G	TYPE H	TOTAL
NO. OF HOUSES	4	4	9	6	6	10	11	8	58
NO. OF BEDS	4	4	3	4	3	4	3	3	198
NO. OF STOREYS	2	2	3	3	3	3	3	3	
NO. OF CARS	2	2	2	2	2	2	2	2	120

RESIDENTIAL DEVELOPMENT

152 ANDERSONS CREEK ROAD, DONCASTER EAST

DEVELOPMENT MASTERPLAN - LEVEL 1 FLOOR PLAN

Project No. 217084 Date 27/10/17 Author SA Scale @ A1 1:300

Drawing No. TP01.03 B



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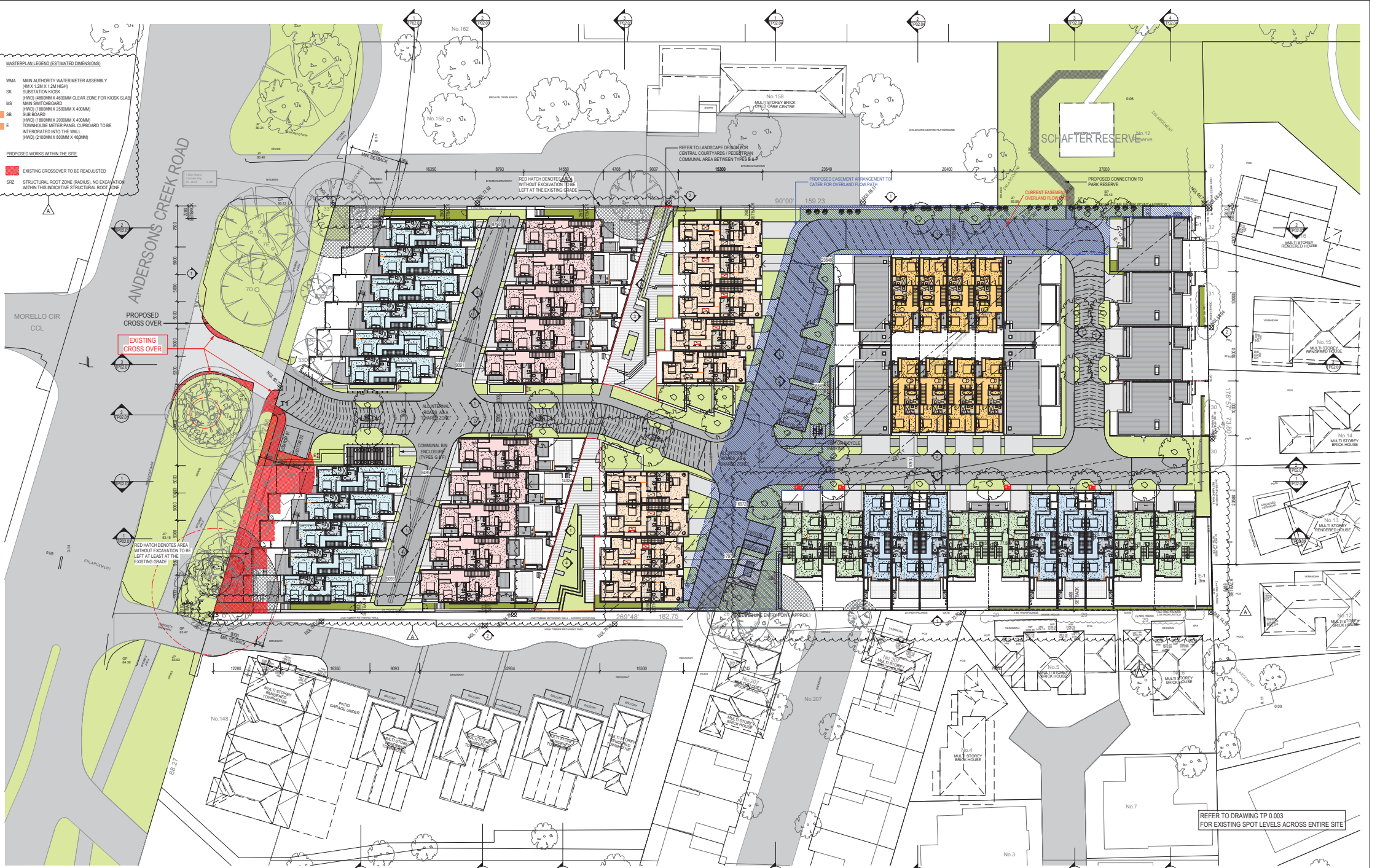
REFER TO DRAWING TP 0.003 FOR EXISTING SPOT LEVELS ACROSS ENTIRE SITE

MASTER PLAN LEGEND (ESTIMATED DIMENSIONS)

- WMA MAIN AUTHORITY WATER METER ASSEMBLY (WMA) 2.2M X 1.2M HIGH
- SK SUBSTATION KIOSK
- MS MAIN SWITCHBOARD
- SB (1500MM X 2500MM X 400MM) SUB BOARD
- TP (1500MM X 2500MM X 400MM) TOWNHOUSE METER PANEL CURBWARD TO BE INTEGRATED INTO THE WALL
- TP (1500MM X 900MM X 400MM)

PROPOSED WORKS WITHIN THE SITE

- EXISTING CROSSOVER TO BE RE-ADJUSTED
- SRZ STRUCTURAL ROOT ZONE (RADIUS), NO EXCAVATION WITHIN THIS INDICATIVE STRUCTURAL ROOT ZONE



PERMIT ISSUE

Revisions / 30/10/17 ISSUED FOR TOWN PLANNING
 A 19/01/18 RFI SUBMISSION

	TYPE A	TYPE C	TYPE B	TYPE D	TYPE E	TYPE F	TYPE G	TYPE H	TOTAL
NO. OF HOUSES	4	4	9	6	6	10	11	8	58
NO. OF BEDS	4	4	3	4	3	4	3	3	198
NO. OF STOREYS	2	2	3	3	3	3	3	3	
NO. OF CARS	2	2	2	2	2	2	2	2	120

Project **RESIDENTIAL DEVELOPMENT**
 182 ANDERSONS CREEK ROAD,
 DONCASTER EAST

Drawing **DEVELOPMENT MASTERPLAN - LEVEL 2 FLOOR PLAN**

Project No. **217084** Date **27/10/17** Author **SA** Scale @ **1 : 300**

Drawing No. **TP01.04 A**

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LEGEND

- INDIVIDUAL MAILBOX
- CLUSTER MAILBOX
- PROPOSED DELIVERY PATH LOOP



PERMIT ISSUE

Revisions / 27/02/18 RFI 2 SUBMISSION

Project / **RESIDENTIAL DEVELOPMENT**
 152 ANDERSONS CREEK ROAD,
 DONCASTER EAST

Drawing / **DEVELOPMENT MASTERPLAN - MAILBOXES**

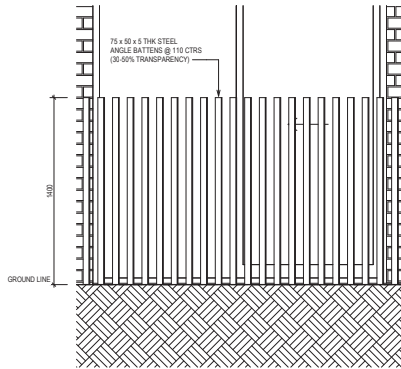
Project No. / 217084 Date / 20/02/18 Author / SA Scale @ A1 / 1 : 300

Drawing No. / TP01.10 -

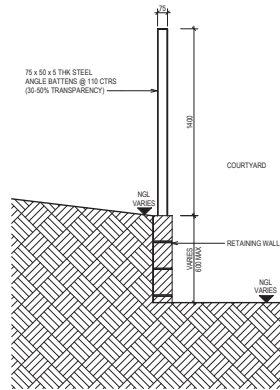


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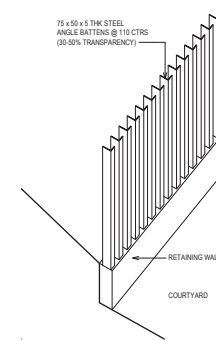
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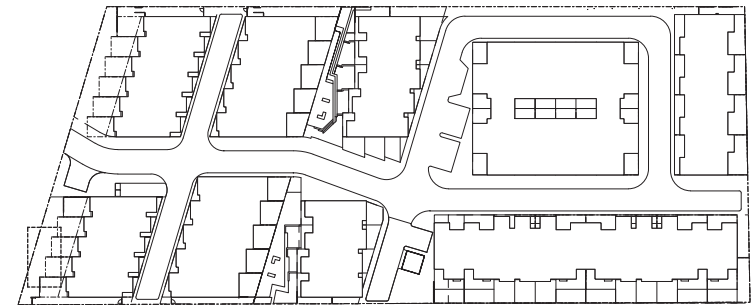
1 FENCE ELEVATION DETAIL
TP03.0 SCALE 1:20



2 FENCE SECTION DETAIL
TP02.0 SCALE 1:20



3 3D - FENCE DETAIL
SCALE



PERMIT ISSUE

Revisions / 27/02/18 RFI 2 SUBMISSION

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD,
DONCASTER EAST

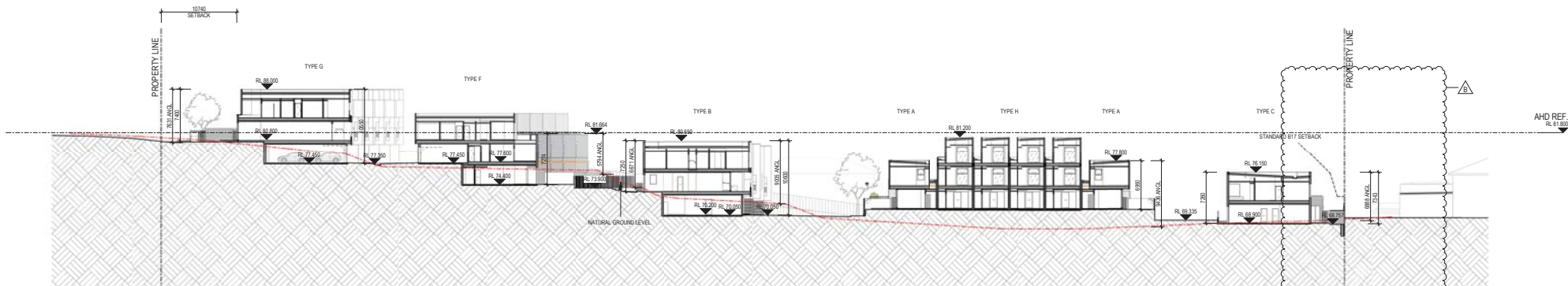
Drawing / **WEST BOUNDARY RETAINING WALL/FENCE - DETAIL**

Project No / 217084 Date / 28/02/18 Author / JF Scale @ A1 / 1:20

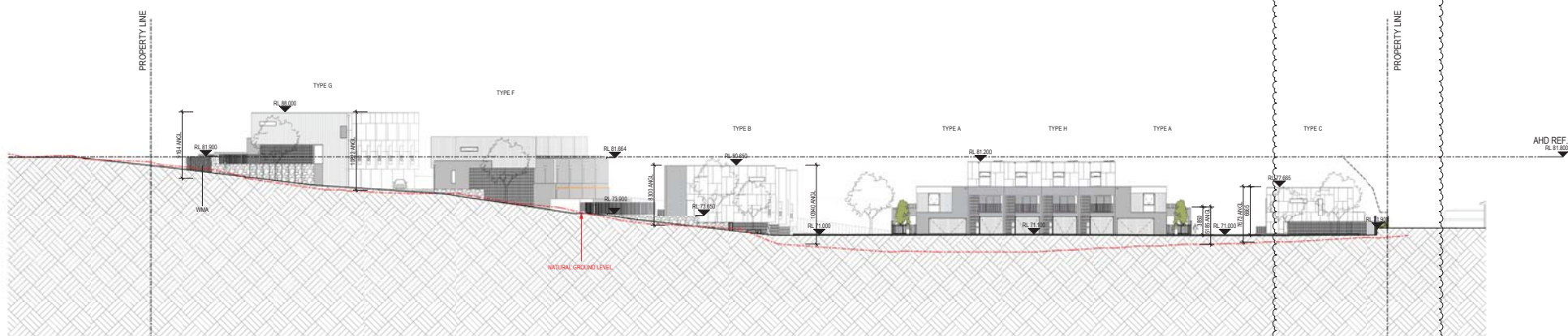
Drawing No / **TP01.11 -**

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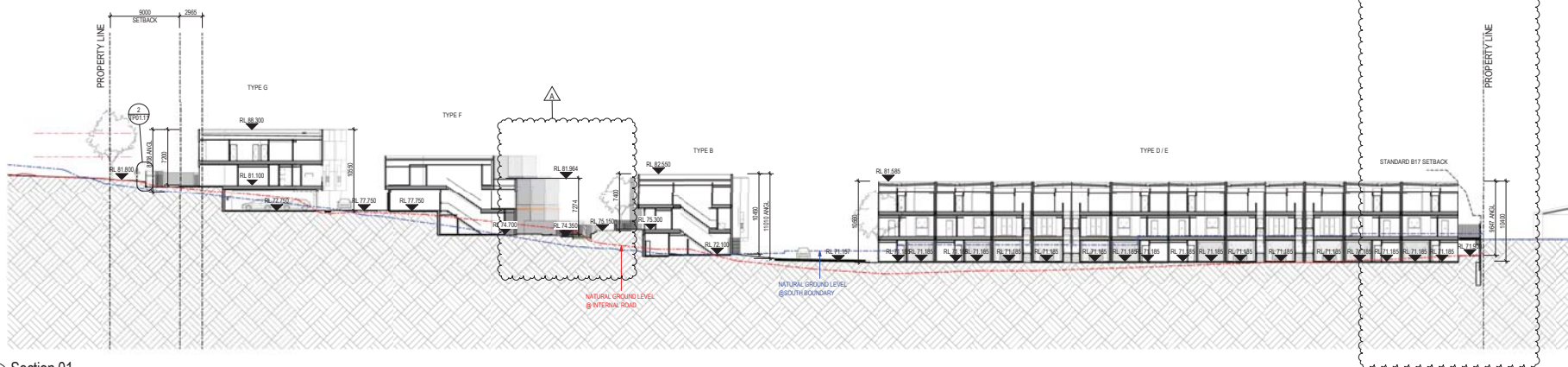
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3 Section 03
SCALE: 1:300



2 Section 02
SCALE: 1:300



1 Section 01
SCALE: 1:300

PERMIT ISSUE

Revisions	Date	Description
-	30/10/17	ISSUED FOR TOWN PLANNING
A	19/01/18	RF1 SUBMISSION
B	27/02/18	RF2 SUBMISSION

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD,
DONCASTER EAST

Drawing / **SITE SECTIONS 01, 02 & 03**

Project No / **217084**

Date / **27/10/17**

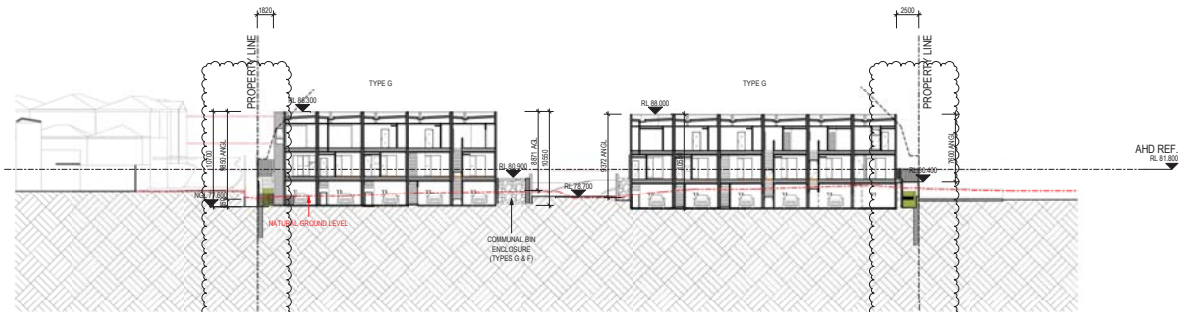
Author / **SA**

Scale / **A/ 1:300**

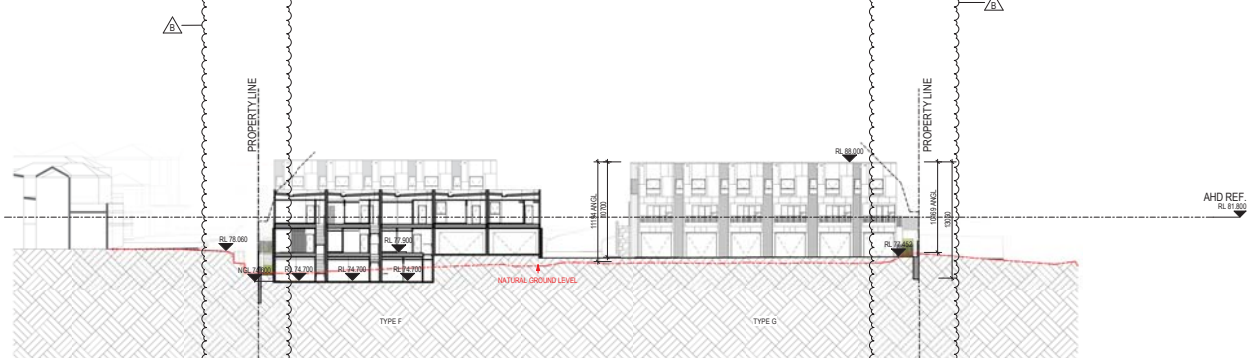
Drawing No / **TP02.01 B**

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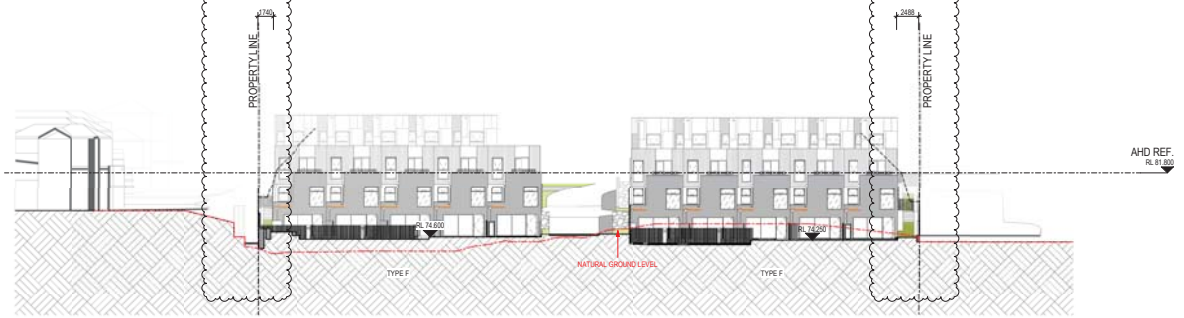
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1 Section 06
SCALE: 1:300



2 Section 07
SCALE: 1:300



3 Section 08
SCALE: 1:300

PERMIT ISSUE

Revisions	Date	Description
-	30/10/17	ISSUED FOR TOWN PLANNING
A	19/01/18	RF1 SUBMISSION
B	27/02/18	RF2 SUBMISSION

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **SITE SECTIONS 06, 07 & 08**

Project No. / **217084** Date / **27/10/17**

Author / **SA**

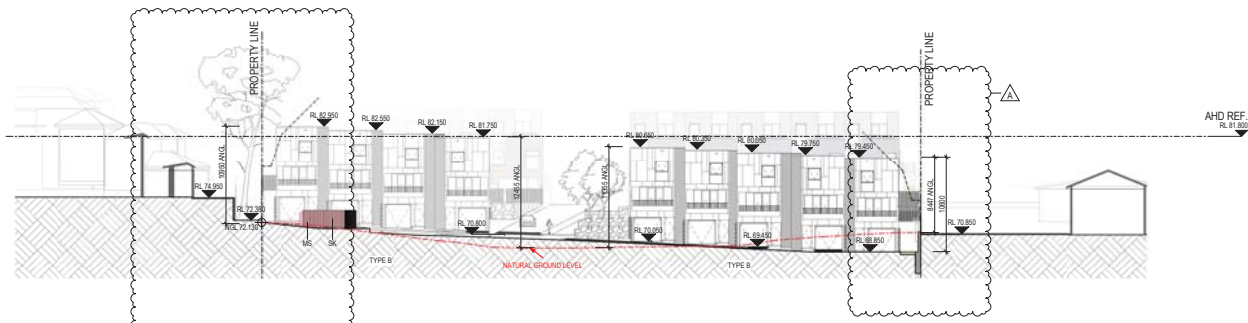
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Drawing No. / **TP02.03 B**

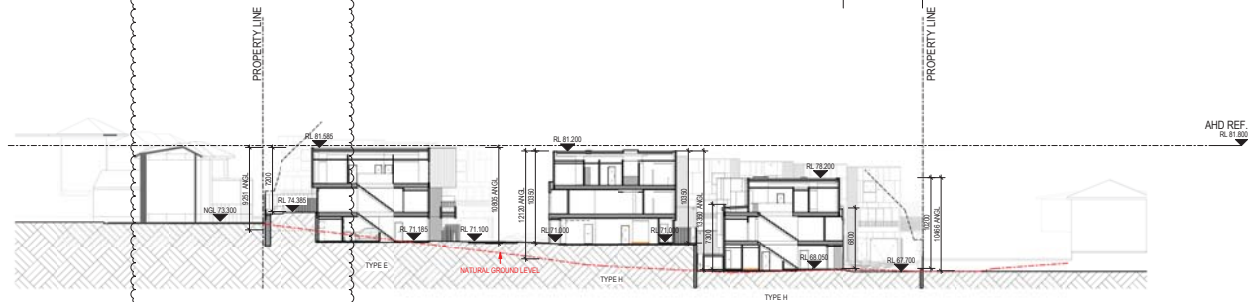


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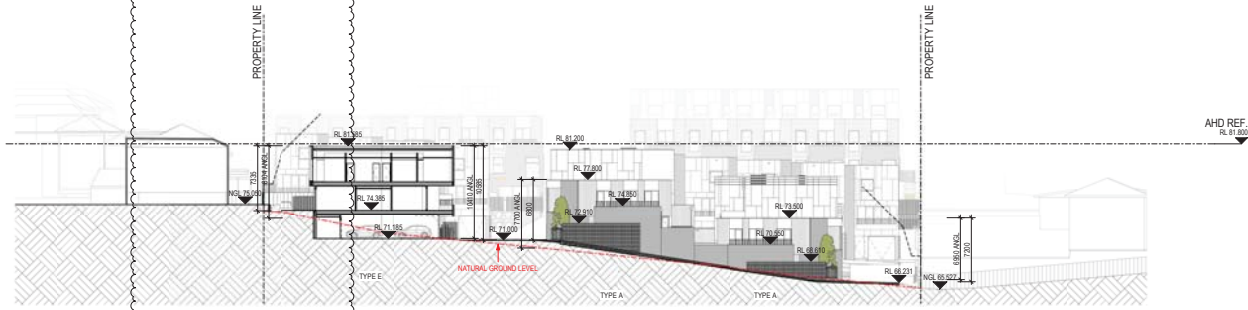
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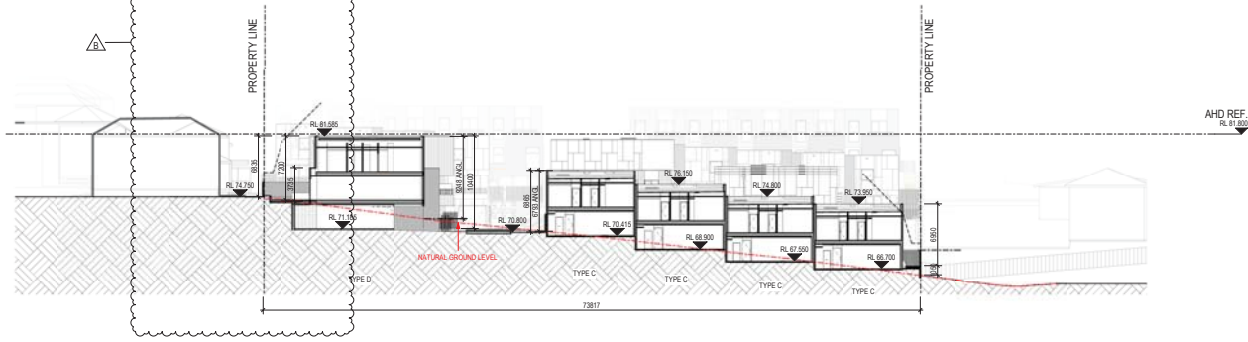
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2 Section 10
SCALE: 1:300



3 Section 11
SCALE: 1:300



4 Section 12
SCALE: 1:300

PERMIT ISSUE

Revisions	Date	Description
-	30/10/17	ISSUED FOR TOWN PLANNING
A	19/01/18	RF1 SUBMISSION
B	27/02/18	RF2 SUBMISSION

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD, DONCASTER EAST

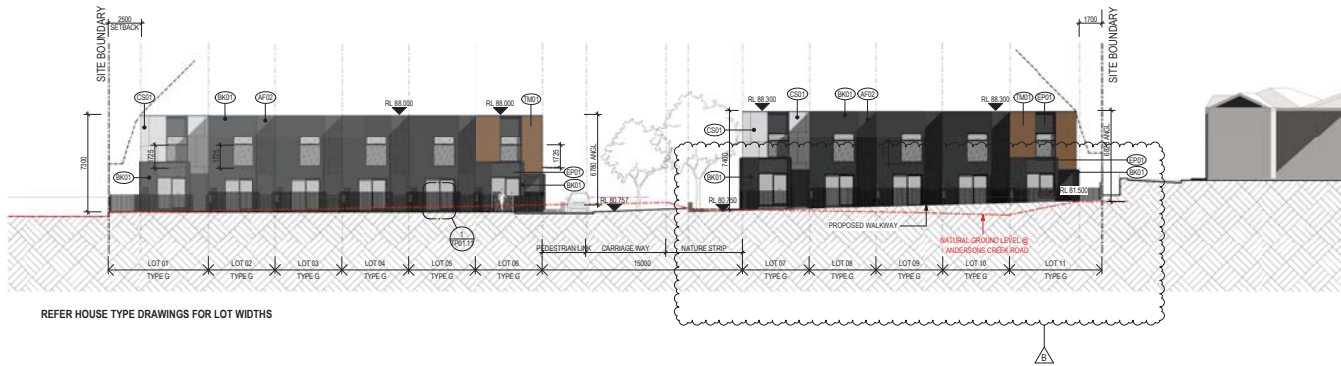
Drawing / **SITE SECTIONS 09, 10, 11 & 12**

Project No / **217084** Date / **27/10/17** Author / **SA** Scale: @ A / **1:300**

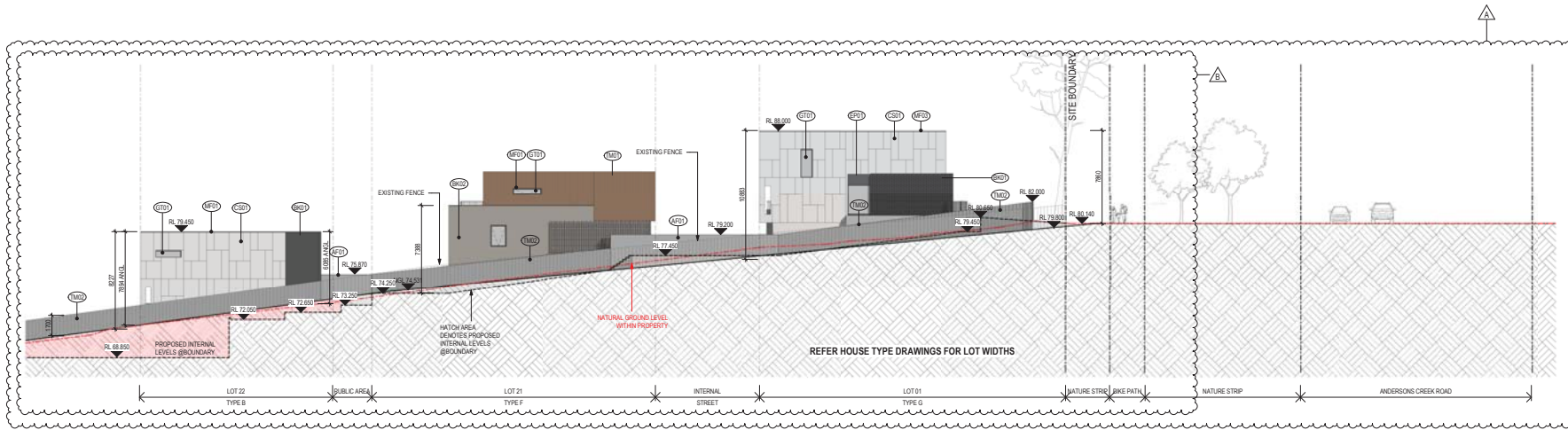
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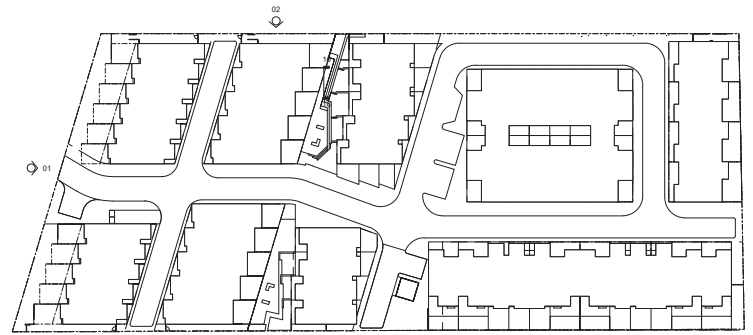
SITE ELEVATION 01 - ANDERSONS CREEK ROAD



SITE ELEVATION 02 - NORTH A

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK01 Brick Finish - Light		
CS01 Cladding System - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
EP01 External Paint Finish - Dark	MF02 Metal Finish - Light	
EP02 External Paint Finish - Light	MF03 Metal Finish - Dark (Balustrades & Fences)	



PERMIT ISSUE

Revisions	30/10/17 ISSUED FOR TOWN PLANNING	SA
A	19/01/18 RFI SUBMISSION	
B	27/02/18 RFI 2 SUBMISSION	

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

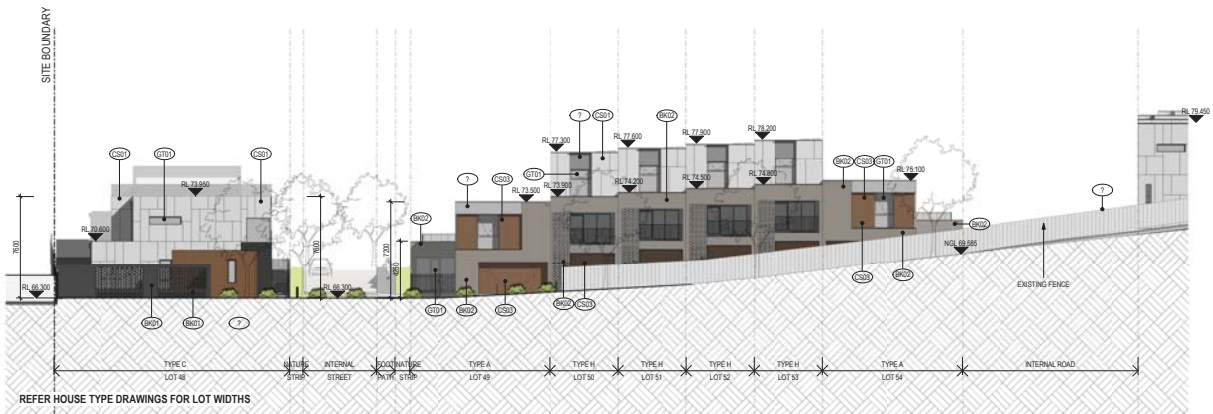
Project / **RESIDENTIAL DEVELOPMENT**
112 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **SITE ELEVATIONS 01 & 02** Project No / **217084** Date / **27/10/17** Author / **SA** Scale: @ A / **1 : 200**

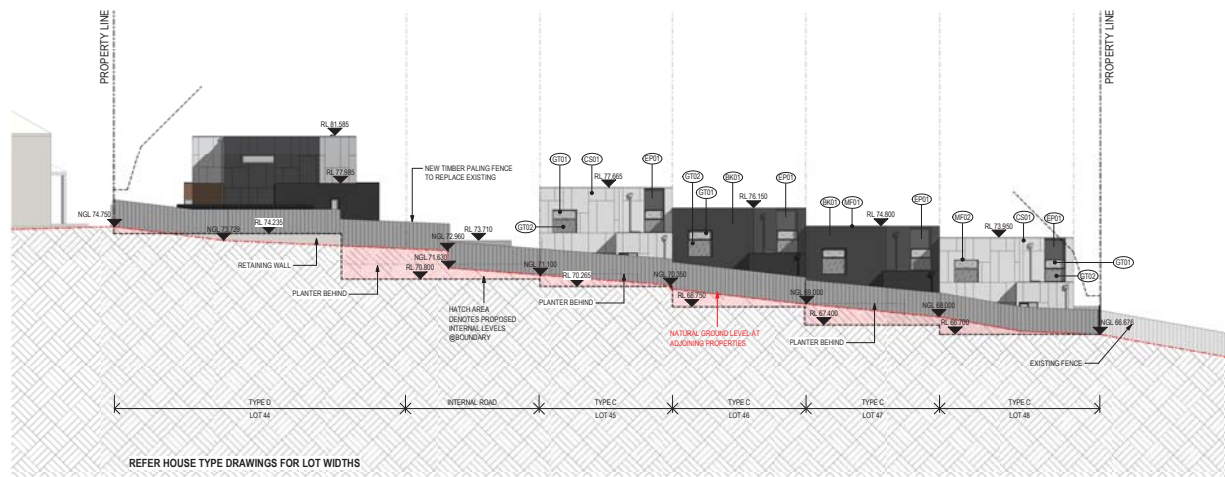
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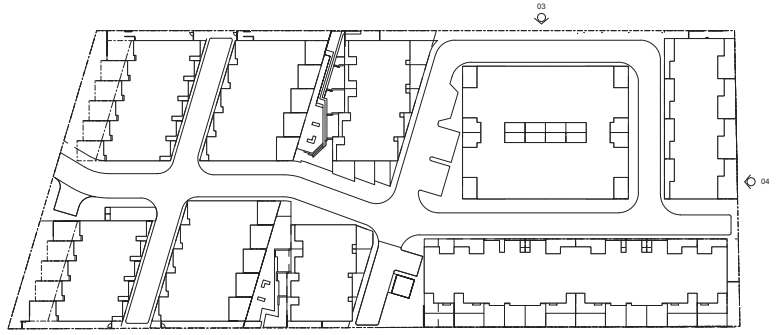
SITE ELEVATION 03 - NORTH B



SITE ELEVATION 04 - EAST

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK02 Brick Finish - Light		
CS01 Cladding System - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
EP01 External Paint Finish - Dark	MF02 Metal Finish - Light	
EP02 External Paint Finish - Light	MF03 Metal Finish - Dark (Balustrades & Fences)	



PERMIT ISSUE

Revisions / 30/10/17 ISSUED FOR TOWN PLANNING
A 19/01/18 RFI SUBMISSION

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.
NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

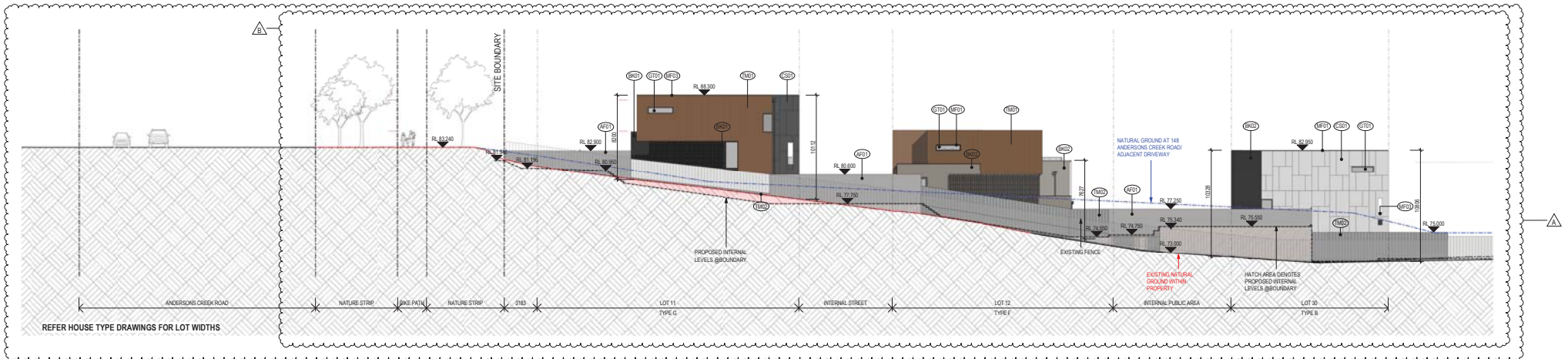
Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD,
DONCASTER EAST

Drawing / **SITE ELEVATIONS 03 & 04** Project No / **217084** Date / **27/10/17** Author / **SA** Scale: @ A / **1 : 200**

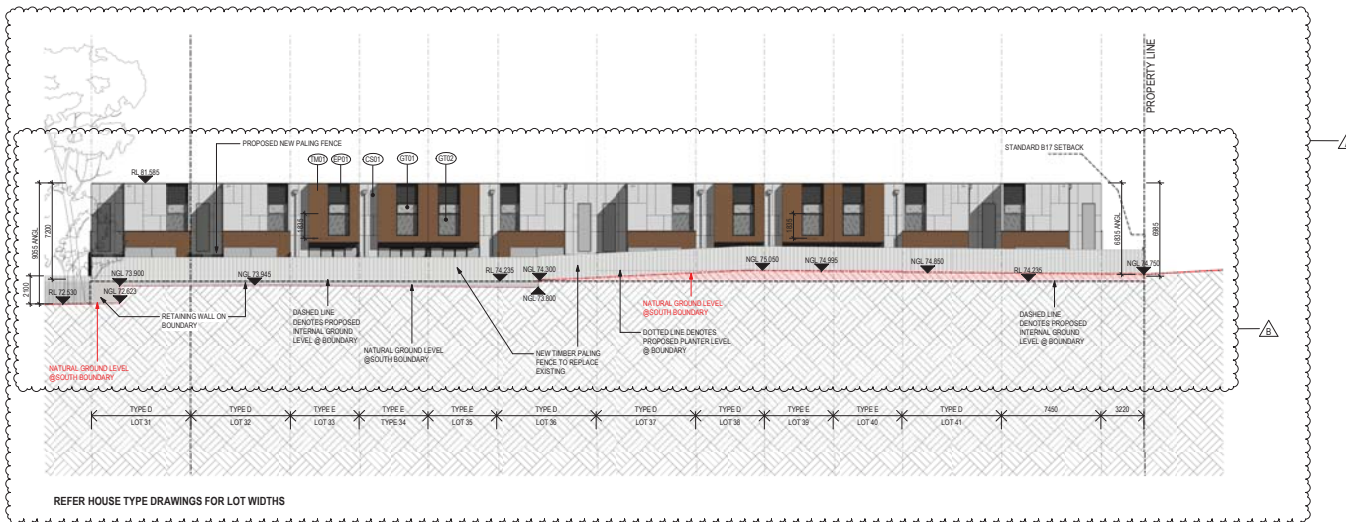
Drawing No. / **TP03.02 A**

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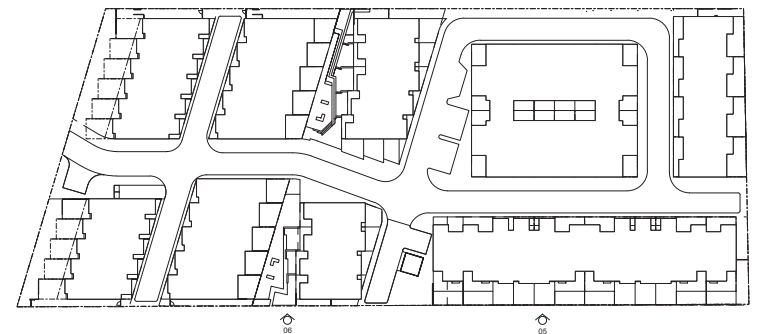
SITE ELEVATION 06 - SOUTH B



SITE ELEVATION 05 - SOUTH A

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK01 Brick Finish - Light		
CS01 Cladding System - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
EP01 External Paint Finish - Dark	MF02 Metal Finish - Light	
EP02 External Paint Finish - Light	MF03 Metal Finish - Dark (Balustrades & Fences)	



PERMIT ISSUE

Revisions	30/10/17 ISSUED FOR TOWN PLANNING
A	19/01/18 RFI SUBMISSION
B	27/02/18 RFI 2 SUBMISSION

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

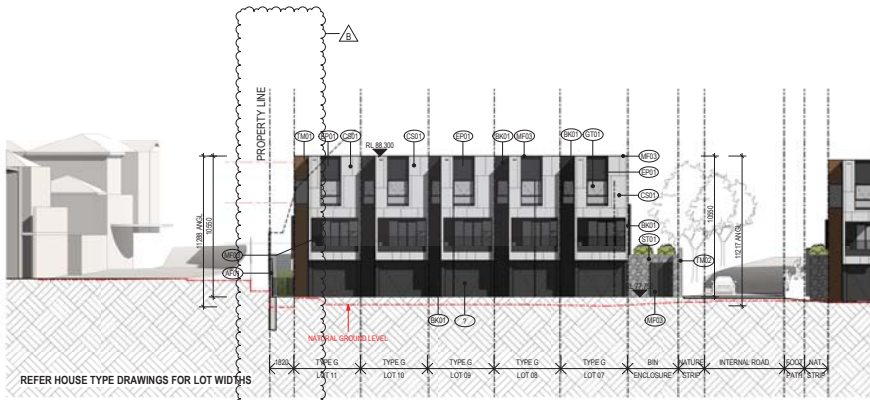
Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD,
DONCASTER EAST

Drawing / **SITE ELEVATIONS 05 & 06** Project No / **217084** Date / **27/10/17** Author / **SA** Scale: @ A / **1 : 200**

Drawing No. / **TP03.03 B**

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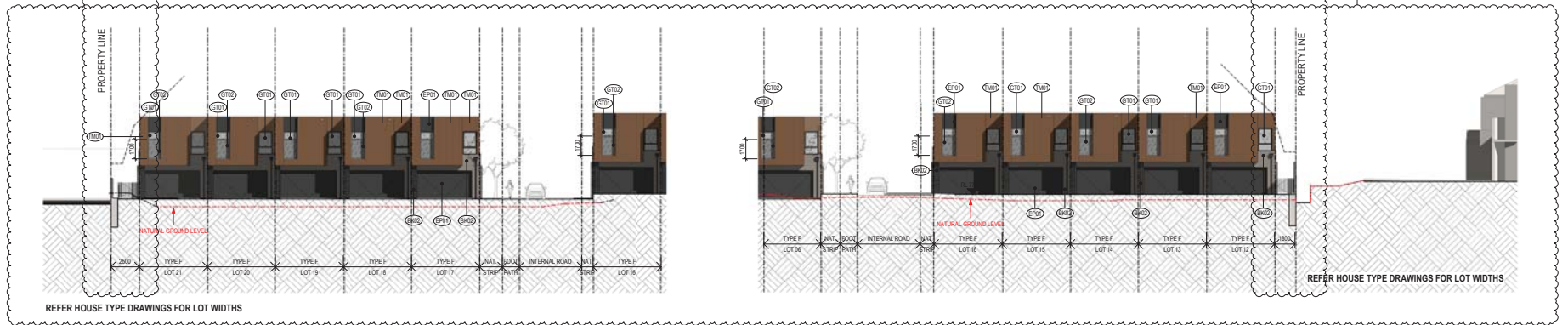
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STREET ELEVATION 05



STREET ELEVATION 03

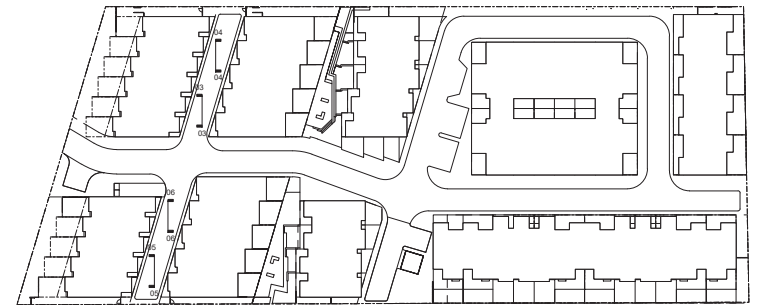


STREET ELEVATION 04

STREET ELEVATION 06

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK01 Brick Finish - Light		
CS01 Cladding System - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
EP01 External Paint Finish - Dark	MF02 Metal Finish - Light	
EP02 External Paint Finish - Light	MF03 Metal Finish - Dark (Balustrades & Fences)	



PERMIT ISSUE

Revisions	30/10/17	ISSUED FOR TOWN PLANNING
A	19/01/18	RF1 SUBMISSION
B	27/02/18	RF2 SUBMISSION

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **STREET ELEVATIONS 03, 04, 05 & 06**

Project No / **217084**

Date / **27/10/17**

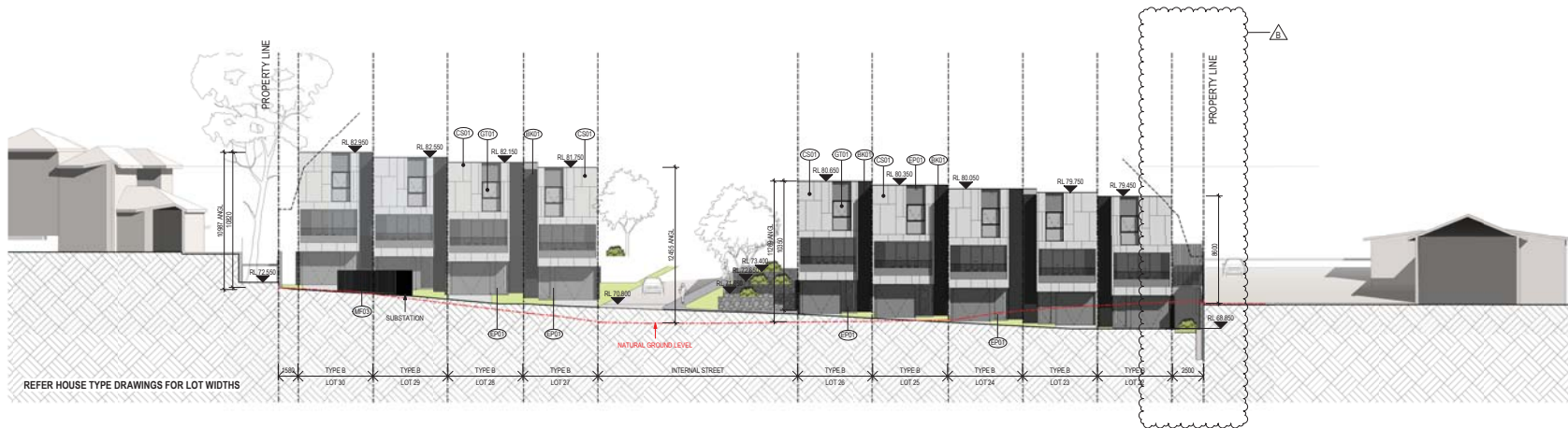
Author / **SA**

Scale: @ A / **1 : 200**

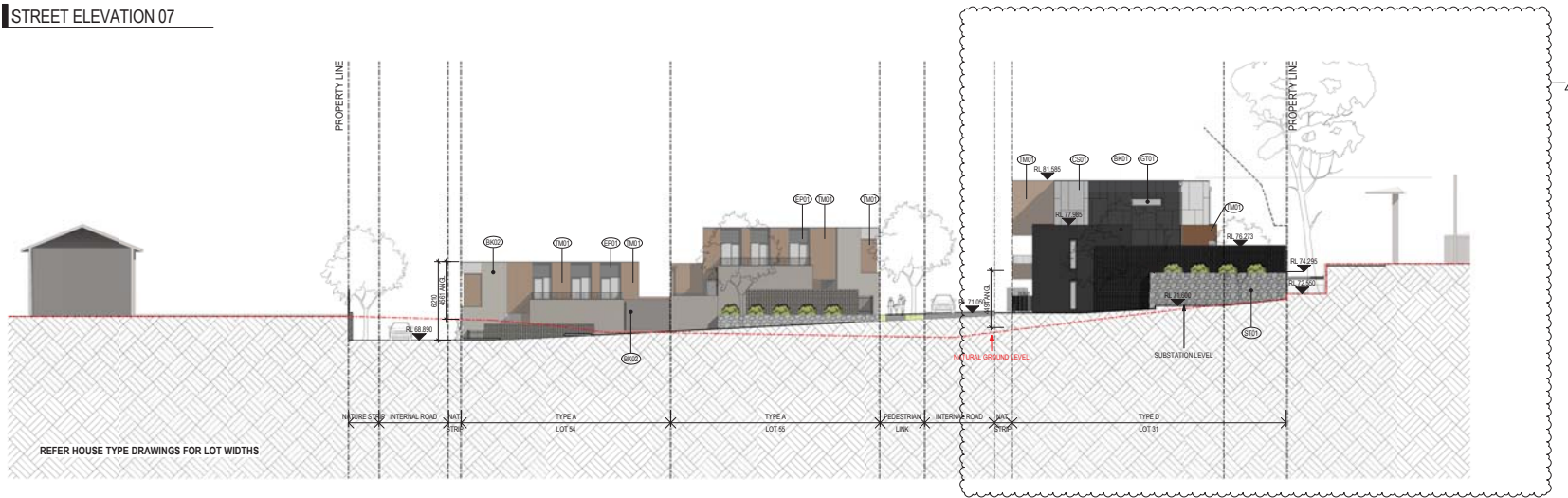
Drawing No. / **TP03.05 B**

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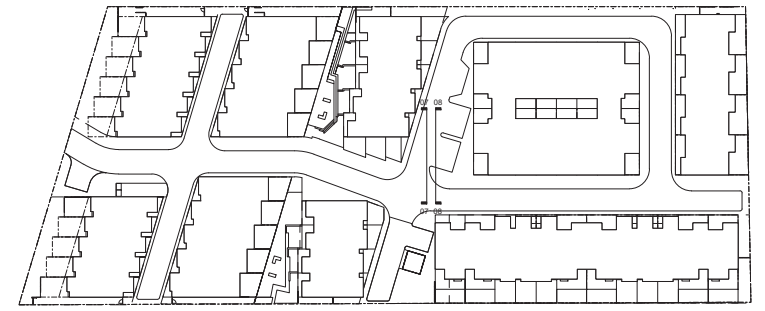
STREET ELEVATION 07



STREET ELEVATION 08

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK01 Brick Finish - Light		
CS01 Cladding System - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
EP01 External Paint Finish - Dark	MF02 Metal Finish - Light	
EP02 External Paint Finish - Light	MF03 Metal Finish - Dark (Balustrades & Fences)	



PERMIT ISSUE

Revisions	30/10/17	ISSUED FOR TOWN PLANNING	SA
A	19/01/18	RF1 SUBMISSION	
B	27/02/18	RF2 SUBMISSION	

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **STREET ELEVATIONS 07 & 08**

Project No / **217084** Date / **27/10/17**

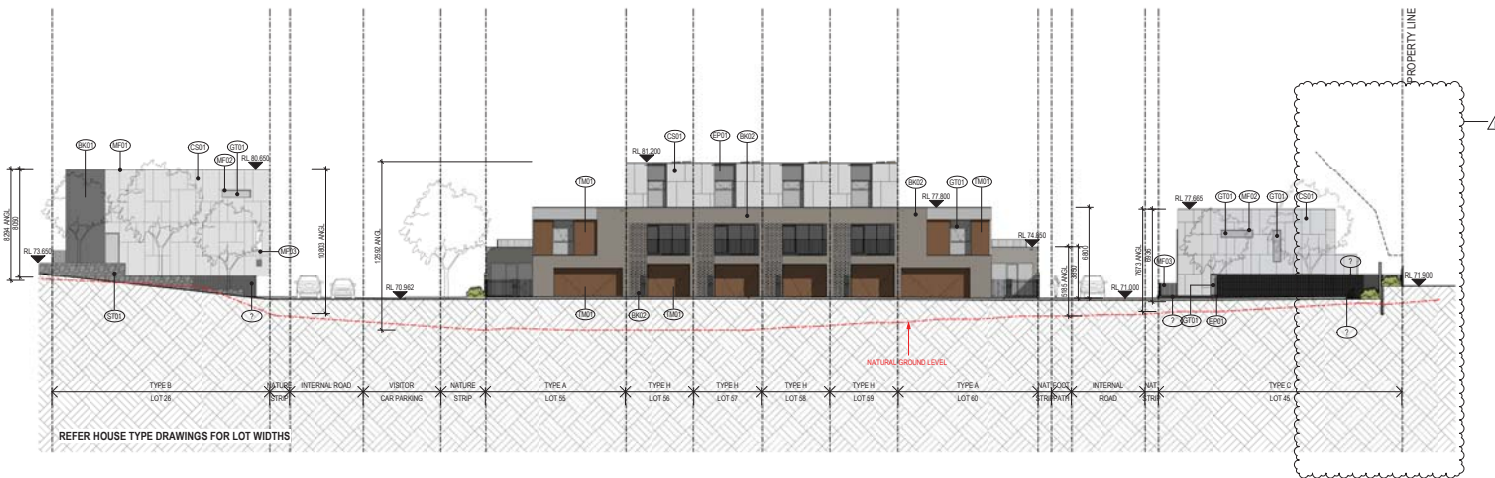
Author / **SA**

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Drawing No. / **TP03.06 B**

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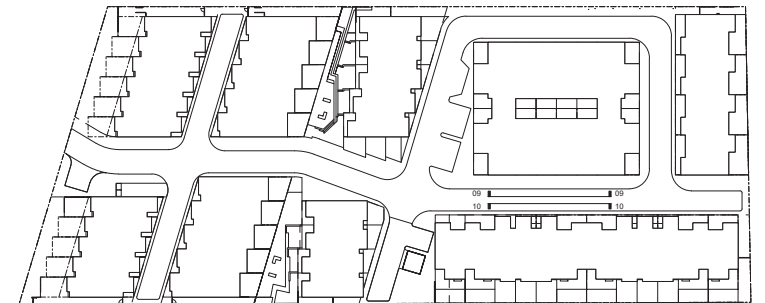
STREET ELEVATION 09



STREET ELEVATION 10

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK01 Brick Finish - Light		
CS01 Cladding System - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
EP01 External Paint Finish - Dark	MF02 Metal Finish - Light	
EP02 External Paint Finish - Light	MF03 Metal Finish - Dark (Balustrades & Fences)	



PERMIT ISSUE

Revisions	30/10/17	ISSUED FOR TOWN PLANNING
A	19/01/18	RF1 SUBMISSION
B	27/02/18	RF1 2 SUBMISSION

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **STREET ELEVATIONS 09 & 10**

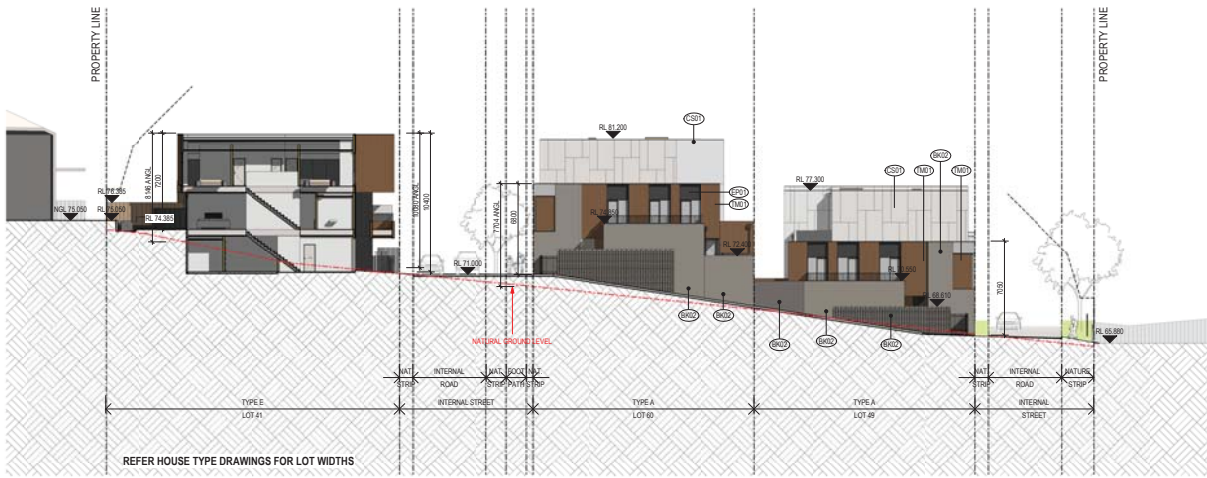
Project No / **217084** Date / **27/10/17**

Author / **SA** Scale: @ A1 / **1 : 200**

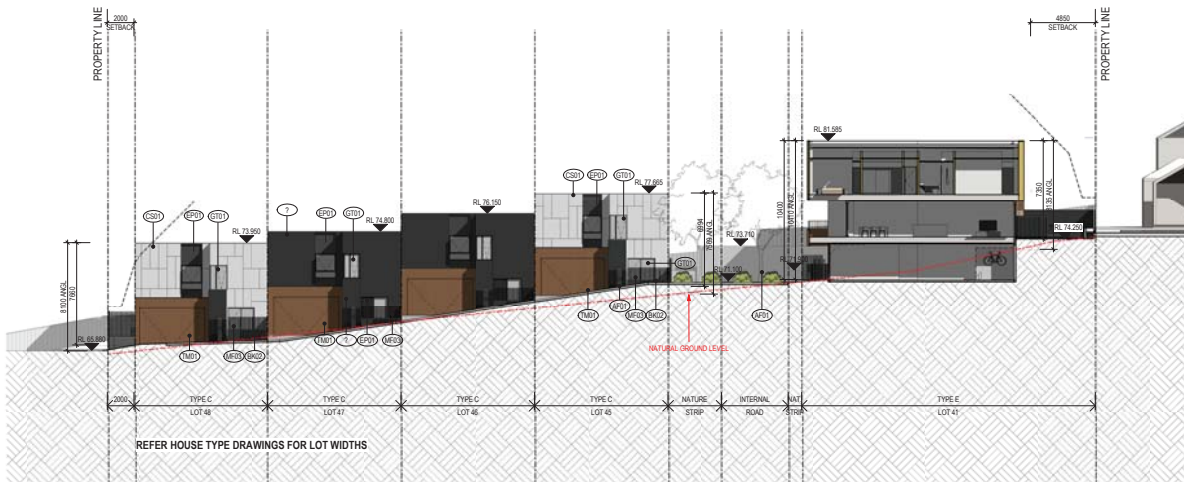
Drawing No. / **TP03.07 B**

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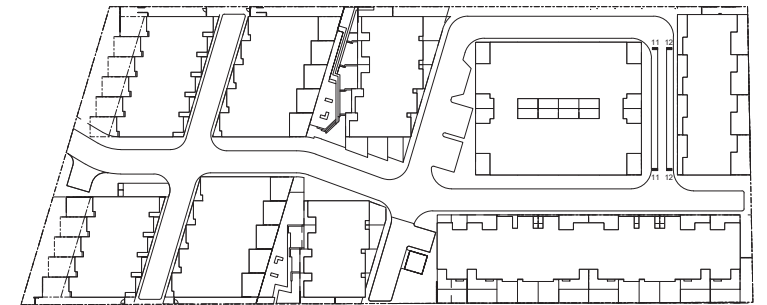
STREET ELEVATION 11



STREET ELEVATION 12

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK01 Brick Finish - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
CS01 Cladding System - Light	MF02 Metal Finish - Light	
EP01 External Paint Finish - Dark	MF03 Metal Finish - Dark (Balustrades & Fences)	
EP02 External Paint Finish - Light		



PERMIT ISSUE

Revisions	30/10/17 ISSUED FOR TOWN PLANNING	SA
A	19/01/18 RFI SUBMISSION	
B	27/02/18 RFI 2 SUBMISSION	

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **STREET ELEVATIONS 11 & 12**

Project No / **217084**

Date / **27/10/17**

Author / **SA**

Scale: @ A / **1 : 200**

Drawing No. / **TP03.08 B**

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STREET ELEVATION 13

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK01 Brick Finish - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
CS01 Cladding System - Light	MF02 Metal Finish - Light	
EP01 External Paint Finish - Dark	MF03 Metal Finish - Dark (Balustrades & Fences)	
EP02 External Paint Finish - Light		

PERMIT ISSUE

Revisions	30/10/17 ISSUED FOR TOWN PLANNING	SA
A	19/01/18 RFI SUBMISSION	
B	27/02/18 RFI 2 SUBMISSION	

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
132 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **STREET ELEVATIONS**
13

Project No / **217084** Date / **27/10/17**

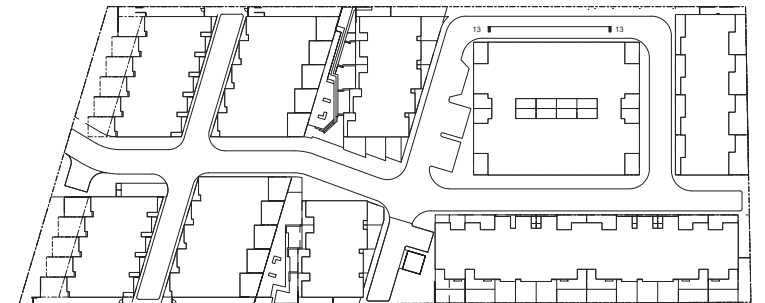
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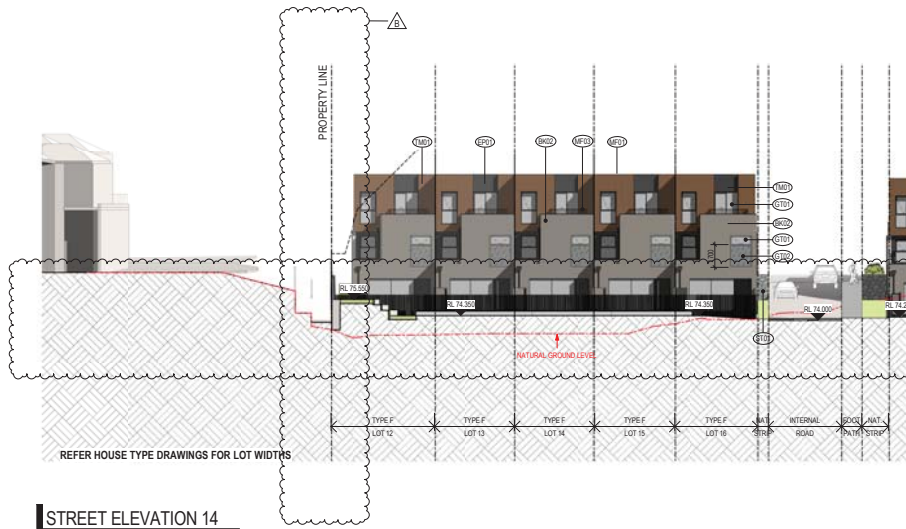
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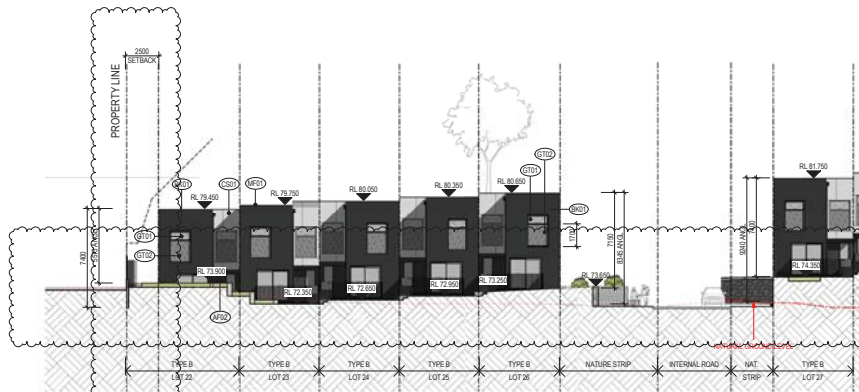
Brisbane, Melbourne, Sydney
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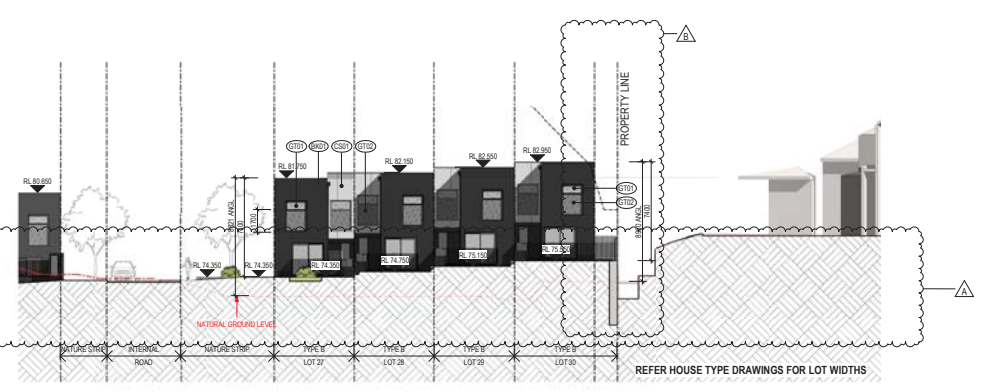


STREET ELEVATION 14

STREET ELEVATION 15



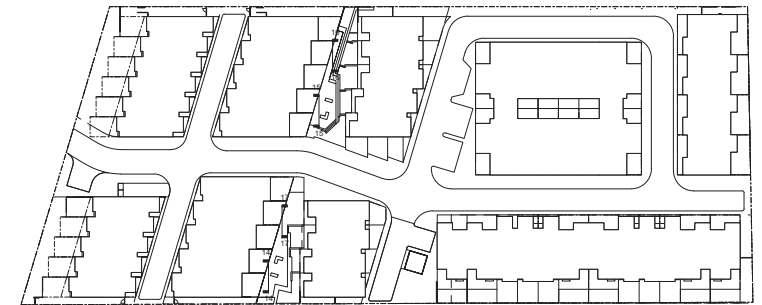
STREET ELEVATION 16



STREET ELEVATION 17

Materials Schedule

AF01 Applied Finish - Dark Render	GT01 Glazing - Clear	TM01 Timber Cladding - Light
BK01 Brick Finish - Dark	GT02 Glazing - Translucent	TM02 Timber Cladding - Recycled timber
BK01 Brick Finish - Light		
CS01 Cladding System - Light	MF01 Metal Finish - Dark	ST01 Stone Finish - Gabion wall
EP01 External Paint Finish - Dark	MF02 Metal Finish - Light	
EP02 External Paint Finish - Light	MF03 Metal Finish - Dark (Balustrades & Fences)	



PERMIT ISSUE

Revisions	30/10/17 ISSUED FOR TOWN PLANNING	SA
A	19/01/18 RFI SUBMISSION	
B	27/02/18 RFI 2 SUBMISSION	

NOTE: NATURAL GROUND LEVEL HEIGHTS ARE BASED ON SURVEY INFORMATION SUPPLIED BY BOSCO JOHNSON AND AS SUCH SERVICE CONTOURS HAVE BEEN EXTRAPOLATED FROM THE SPOT LEVELS PROVIDED.

NOTE: MAXIMUM DEVELOPMENT DWELLING HEIGHT AHD 88.300

Project / **RESIDENTIAL DEVELOPMENT**
162 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **STREET ELEVATIONS 14, 15, 16 & 17**

Project No / **217084** Date / **10/16/17**

Author / **SA**

Scale: @ A / **1 : 200**

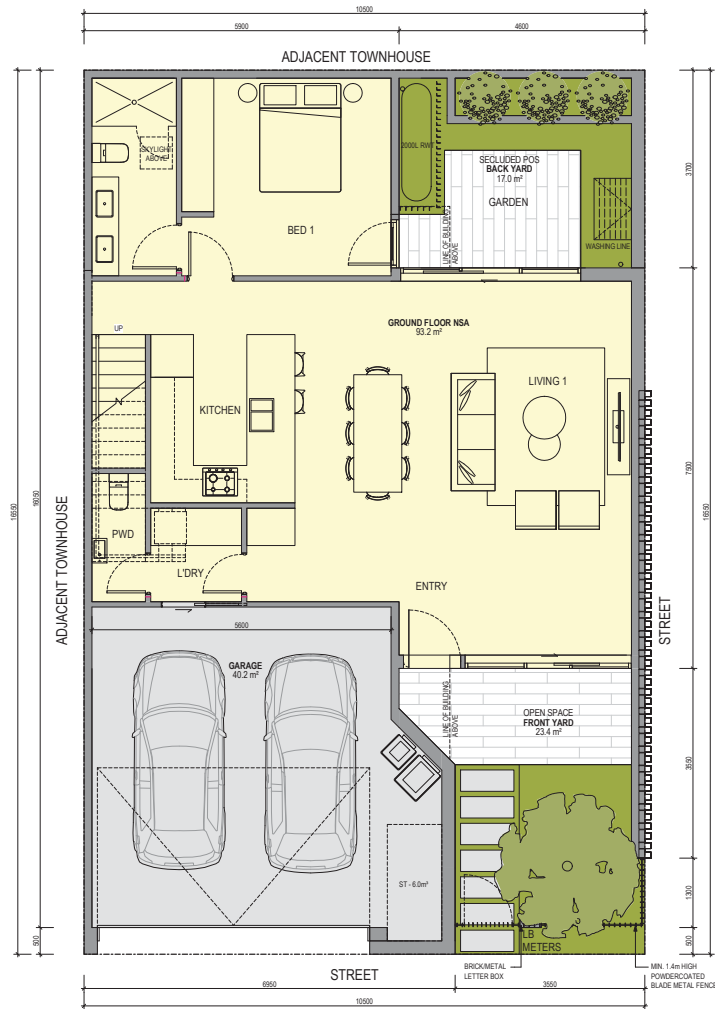
Drawing No. / **TP03.10 B**

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ABBREVIATION SCHEDULE

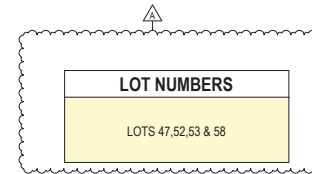
CPD	CUPBOARD
L'DRY	LAUNDRY
WIR	WALK IN ROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD
LB	LETTER BOX



GROUND



LEVEL 1



AREA SCHEDULE

GROUND FLOOR NSA	93.2 m²
LEVEL 1 NSA	91.1 m²
TOTAL NSA	184.3 m²
GARAGE	40.2 m²
TOTAL GFA	224.4 m²
SECLUDED POS	17.0 m²
POS	52.0 m²
TOTAL POS	69.0 m²
PLOT AREA	173.8 m²

*For preliminary feasibility purposes. Areas are not to be used for purpose of lease or sale agreements. Layouts may not comply with building regulations or other regulatory requirements. The information contained in this schedule is believed to be correct at the time of printing. Areas are generally measured in accordance with the Property Council of Australia Method of Measurement.

PERMIT ISSUE

Revisions	30.10.17	ISSUED FOR TOWN PLANNING	SA
A	19.01.18	RFI SUBMISSION	

Project/ **RESIDENTIAL DEVELOPMENT**
152 ANDERSON ST, DONCASTER EAST

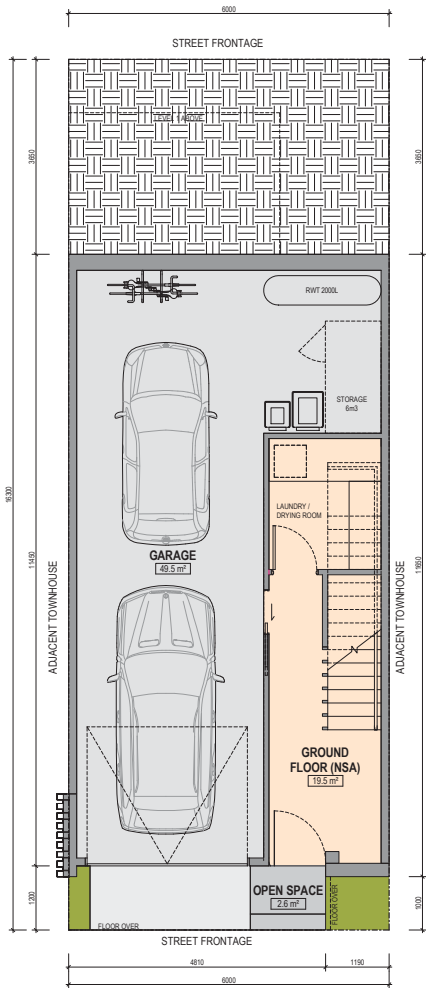
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Project No/ **217084** Date/ **26/10/17** Author/ **SA** Scale: @ A/ **1 : 50**

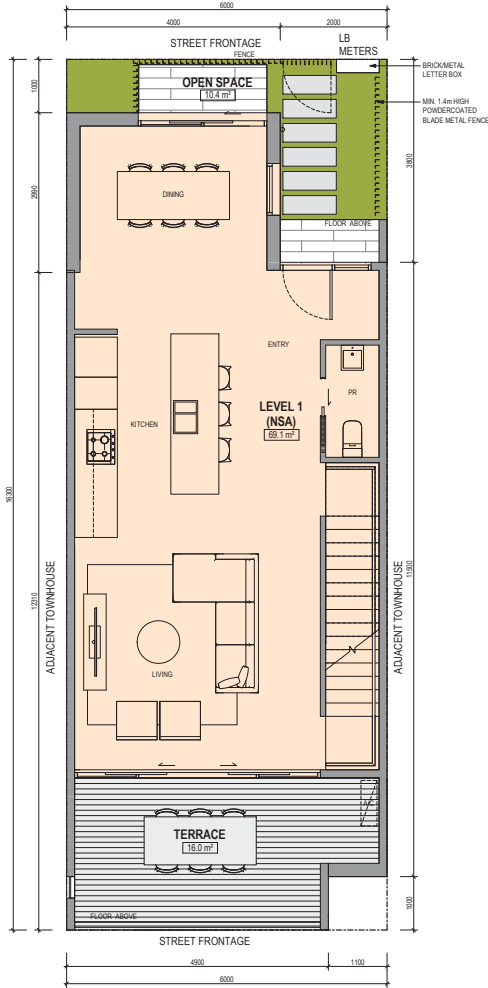
Drawing No/ **TP10.A.01A**

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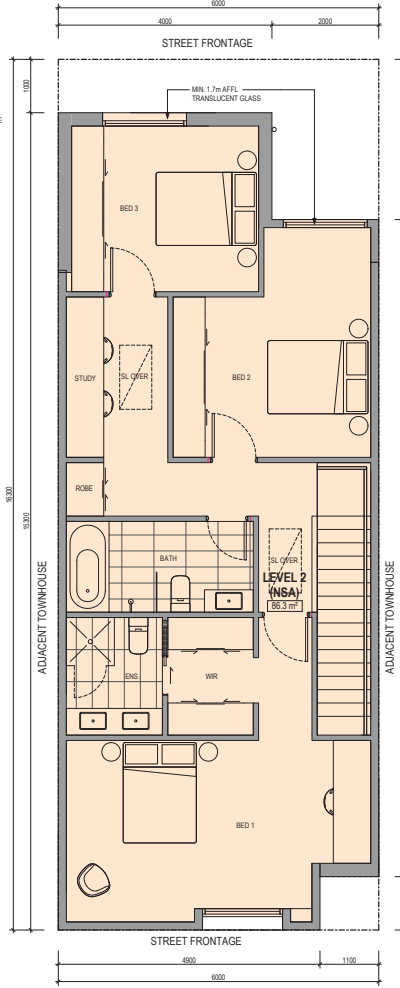
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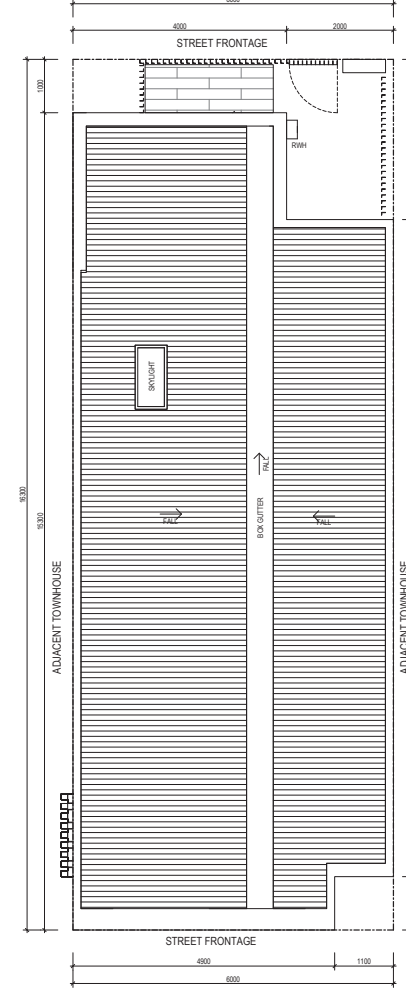
GROUND



LEVEL 1



LEVEL 2



5 - ROOF

ABBREVIATION SCHEDULE

CPD	CUPBOARD
L'DRY	LAUNDRY
WIR	WALK IN ROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD
LB	LETTER BOX

LOT NUMBERS

LOTS 22, 23, 24, 25, 26, 27, 28, 29 & 30

AREA SCHEDULE

GROUND FLOOR (NSA)	19.5 m ²
LEVEL 1 (NSA)	69.1 m ²
LEVEL 2 (NSA)	86.3 m ²
TOTAL NSA	174.9 m²
GARAGE	49.5 m ²
TOTAL GFA	224.4 m²
POS	29.0 m ² *
TOTAL OPEN SPACE	29.0 m² *
PLOT AREA	97.8 m² *

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* NOTE: Area based on LOT 87. Individual POS & plot areas may vary depending on location. Refer Site Plans for further information.

PERMIT ISSUE

Revisions	30.10.17	ISSUED FOR TOWN PLANNING	SA
A	19.01.18	RFI SUBMISSION	

Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing / **TYPE B_FLOOR PLANS**

Project No / **217084** Date / **27/10/2017** Author / **SA**

Scale: @ A / **1 : 50**

Drawing No. / **TP10.B.01A**

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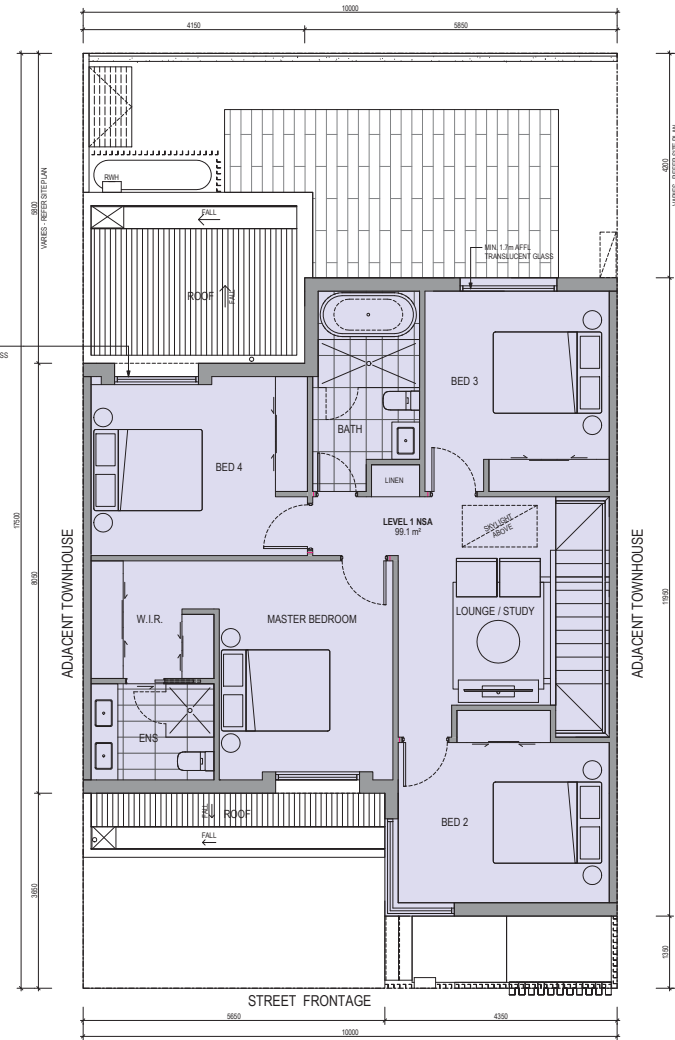
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ABBREVIATION SCHEDULE

CPD	CUPBOARD
L'DRY	LAUNDRY
WIR	WALK IN ROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD
LB	LETTER BOX



MIN 1.7m AFEL TRANSLUCENT GLASS



▲

LOT NUMBERS

LOTS 43,44,45 & 46

AREA SCHEDULE

GROUND FLOOR NSA	75.3 m²
LEVEL 1 NSA	99.1 m²
TOTAL NSA	174.4 m²
GARAGE	44.8 m²
TOTAL GFA	219.2 m²
SECLUDED POS	35.1 m²
POS	5.9 m²
TOTAL POS	41.0 m²
PLOT AREA	175.0 m²

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GROUND

LEVEL 1

PERMIT ISSUE

Revisions	30.10.17	ISSUED FOR TOWN PLANNING	SA
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Project / **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD
DONCASTER EAST

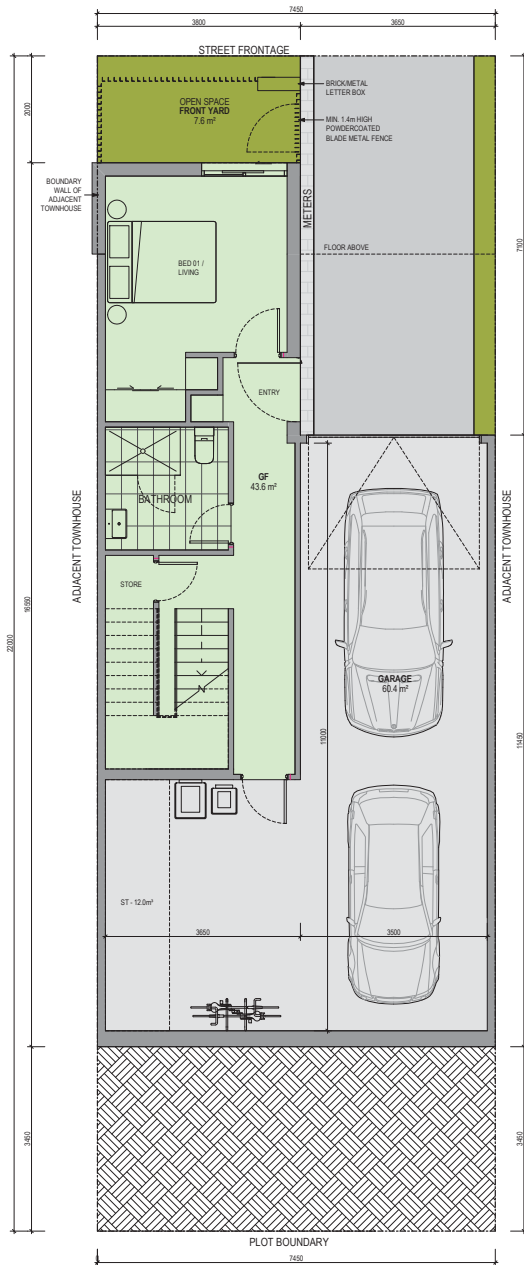
Drawing / **TYPE C_FLOOR PLANS**

Project No / **217084** Date / **27/10/17** Author / **SA** Scale @ A / **1 : 50**

Drawing No. / **TP10.C.01A**



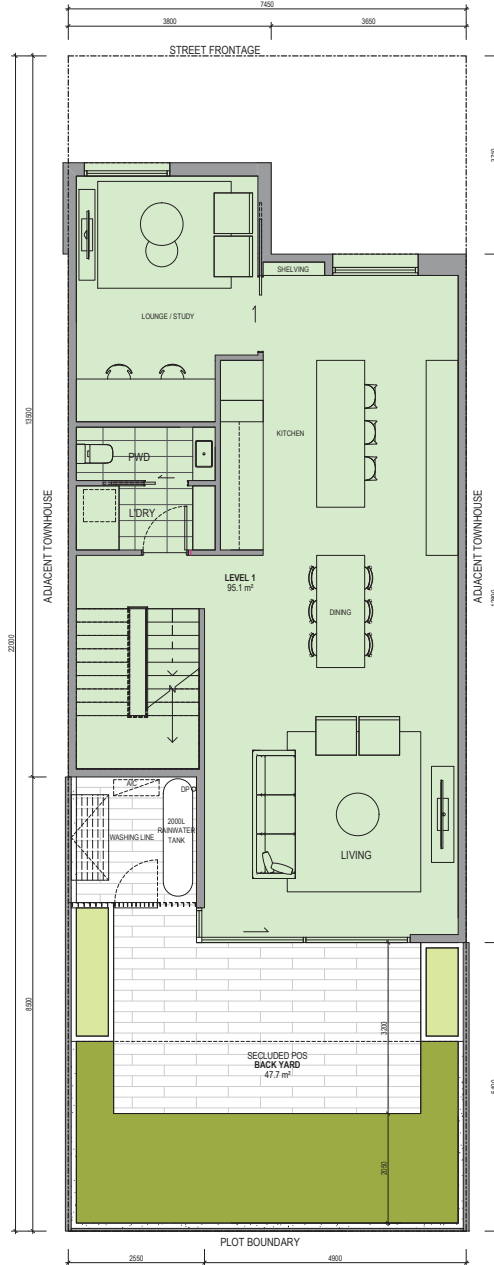
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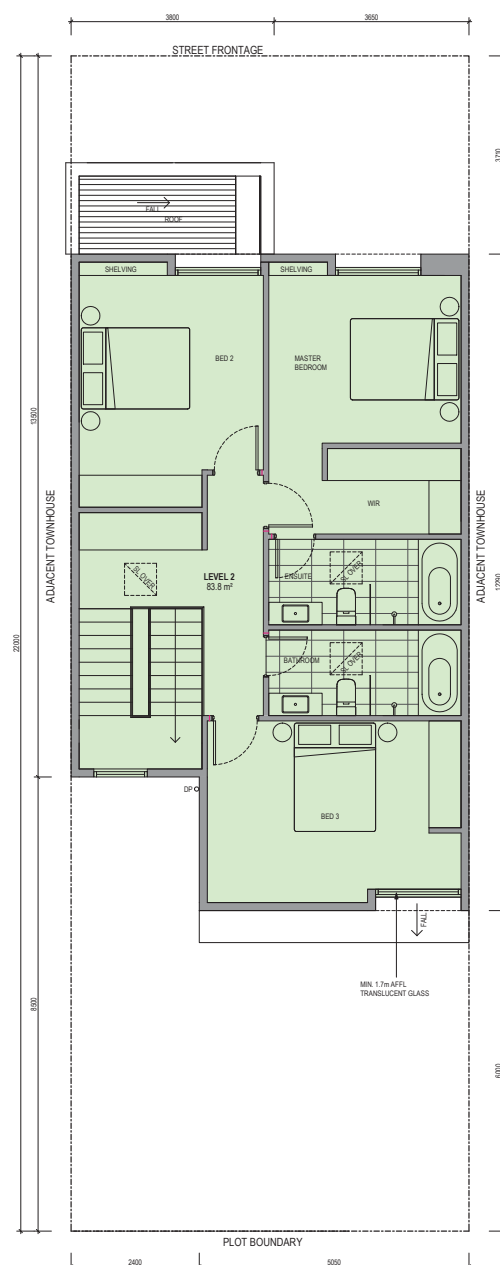
GROUND

PERMIT ISSUE

Revisions / 30.10.17 ISSUE FOR TOWN PLANNING SA
A 19.01.18 RFI SUBMISSION



LEVEL 1



LEVEL 2

ABBREVIATION SCHEDULE

CPD	CUPBOARD
L'DRY	LAUNDRY
WIR	WALK IN ROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD
LB	LETTER BOX

LOT NUMBERS

LOTS 31, 32, 36, 37, 41 & 42

AREA SCHEDULE

GROUND (NSA)	43.6 m²
LEVEL 1 (NSA)	95.1 m²
LEVEL 2 (NSA)	83.8 m²
TOTAL NSA	222.5 m²
GARAGE	60.4 m²
TOTAL GFA	282.9 m²
POS	7.6 m²
SECLUDED POS	47.7 m²
TOTAL OPEN SPACE	55.3 m²
PLOT AREA	163.9 m²

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Project/ Residential Development
15/2 Anderson Street,
Doncaster East

Drawing/ TYPE D_FLOOR PLANS

Project No/ 217084 Date/ 27.10.17 Author/ SA Scale: @ A/ 1 : 50

Drawing No/ TP10.D.01A

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ABBREVIATION SCHEDULE

CPD	CUPBOARD
L'DRY	LAUNDRY
WIR	WALK IN ROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD
LB	LETTER BOX

ROOF

PRELIMINARY

Revisions / 19.01.18 RFI SUBMISSION

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Project / Residential Development
152 Anderson Street,
Dorchester East

Drawing / TYPE D_FLOOR PLANS

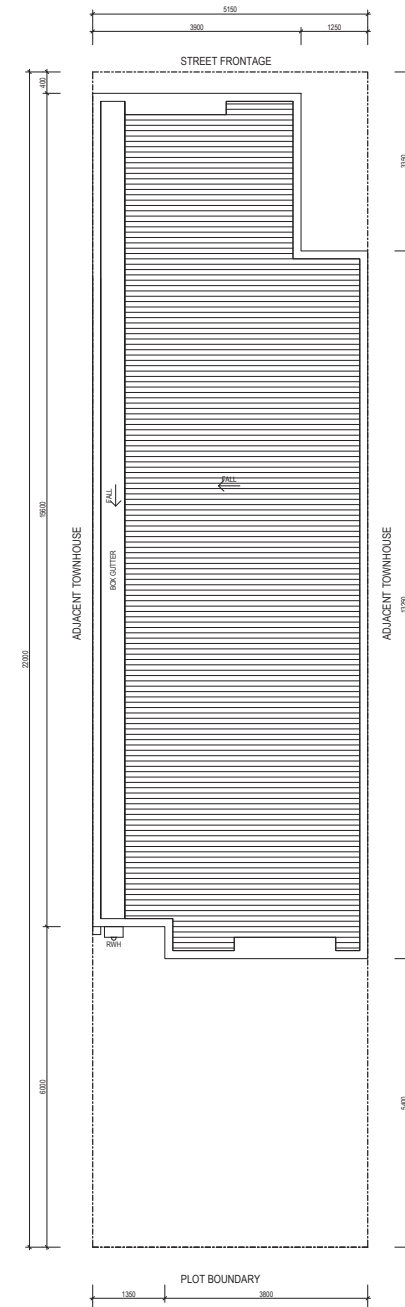
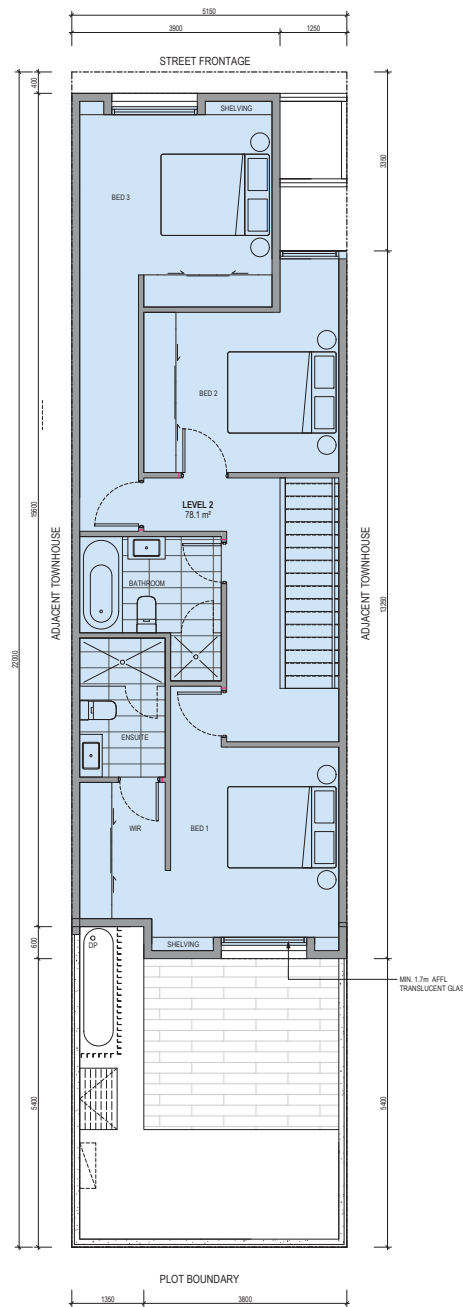
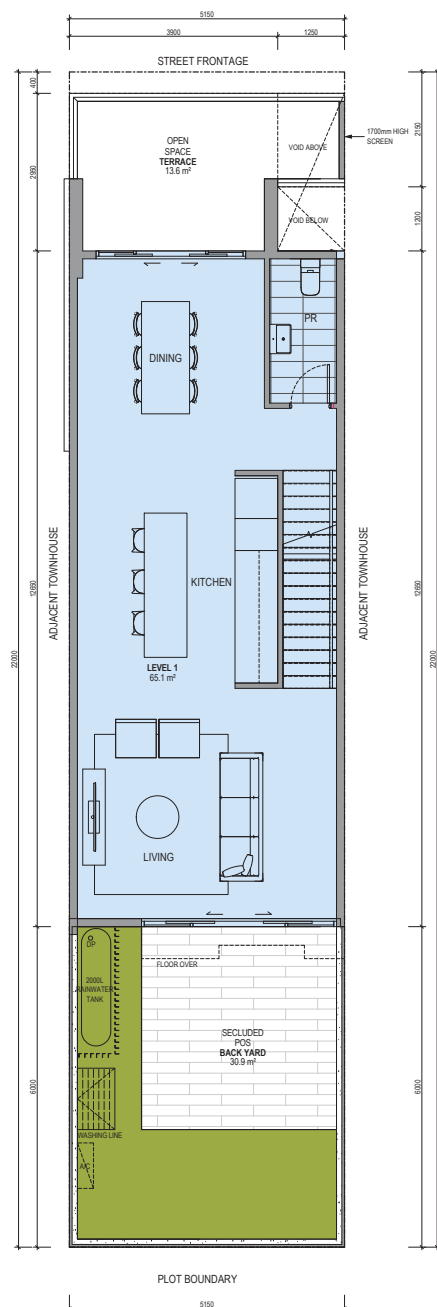
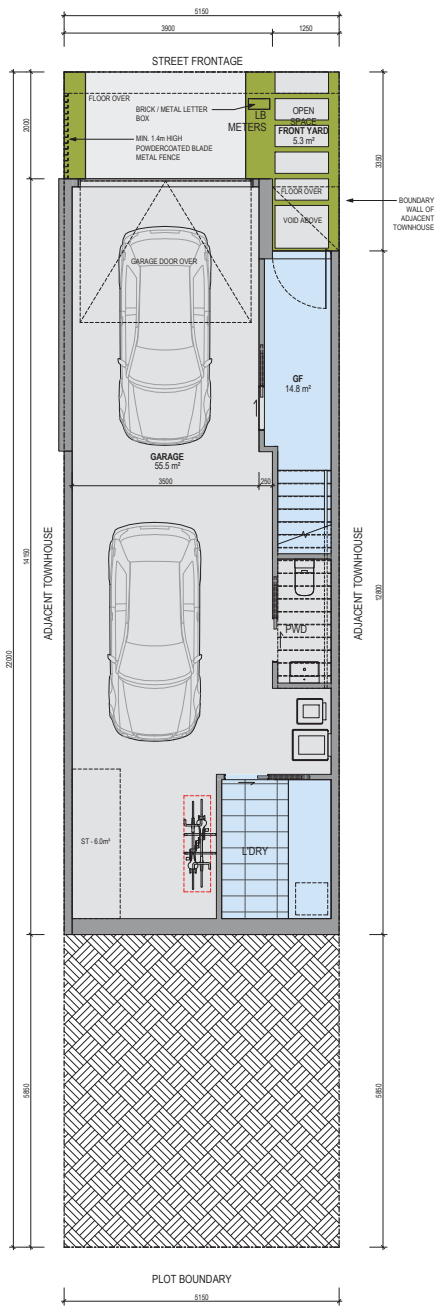
Project No / 217084 Date / 20/12/17 Author / SA Scale @ A / 1 : 50

Drawing No / TP10.D.02

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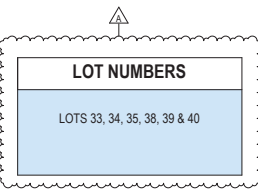
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ABBREVIATION SCHEDULE

CPD	CUPBOARD
L'DRY	LAUNDRY
WIR	WALK IN ROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD
LB	LETTER BOX



AREA SCHEDULE

GROUND (NSA)	14.8 m²
LEVEL 1 (NSA)	65.1 m²
LEVEL 2 (NSA)	78.1 m²
TOTAL NSA	158.0 m²
GARAGE	55.5 m²
TOTAL GFA	213.6 m²
SECLUDED POS	30.9 m²
POS	18.9 m²
TOTAL OPEN SPACE	49.8 m²
PLOT AREA	113.3 m²

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GROUND
PERMIT ISSUE

LEVEL 1

LEVEL 2

ROOF LEVEL

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Project / **Residential Development**
152 Anderson Street, Doncaster East

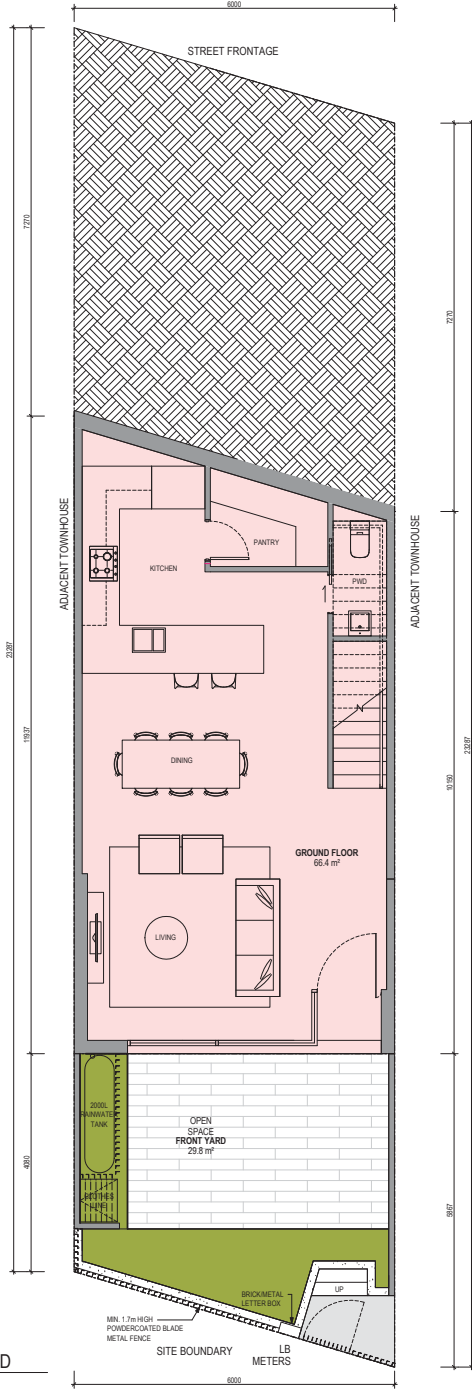
Drawing / **TYPE E_FLOOR PLANS** Project No / **217084** Date / **27.10.17** Author / **SA**

Scale: @ A / **1 : 50** Drawing No. / **TP10.E.01A**

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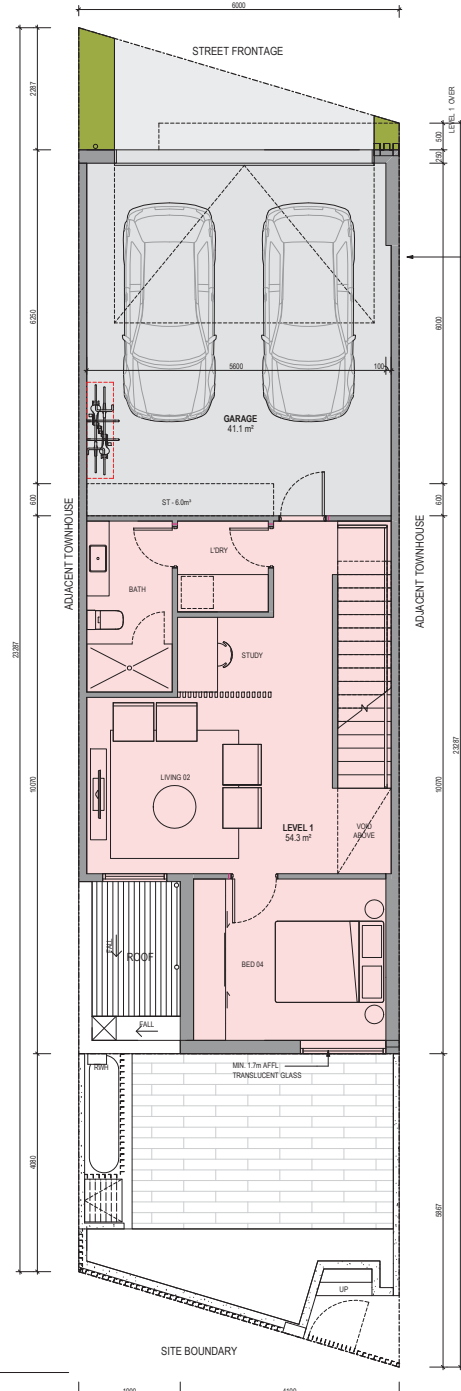
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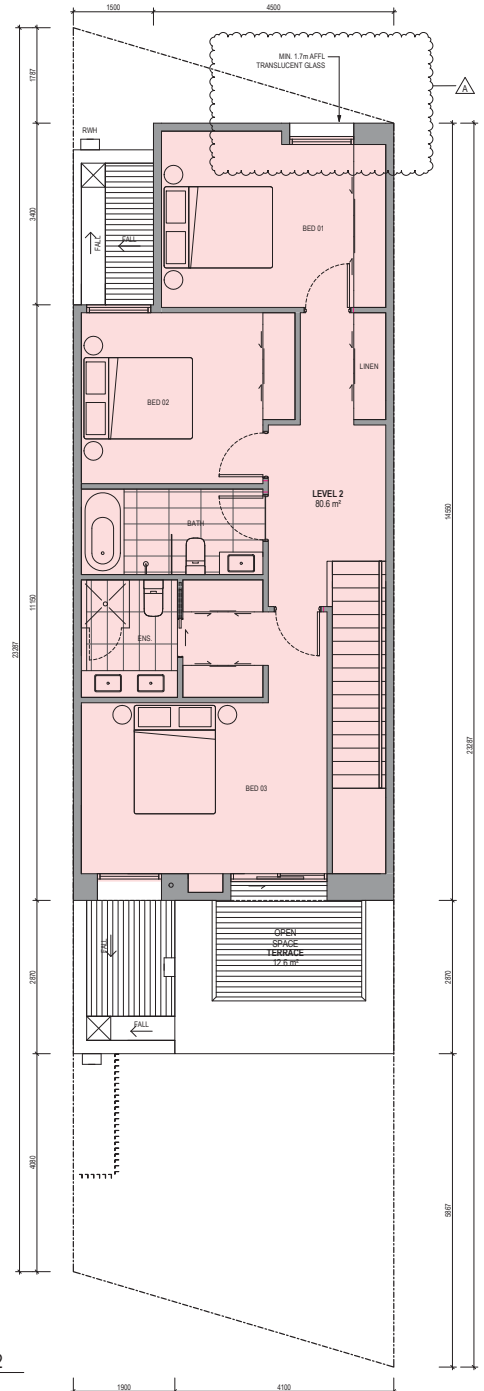


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A 19.01.18 RFI SUBMISSION



LEVEL 1



LEVEL 2

ABBREVIATION SCHEDULE

CPD	CUPBOARD
L'DRY	LAUNDRY
WIR	WALK IN ROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD

LOT NUMBERS

LOTS 12, 13, 14, 15, 16, 17, 18, 19, 20 & 21

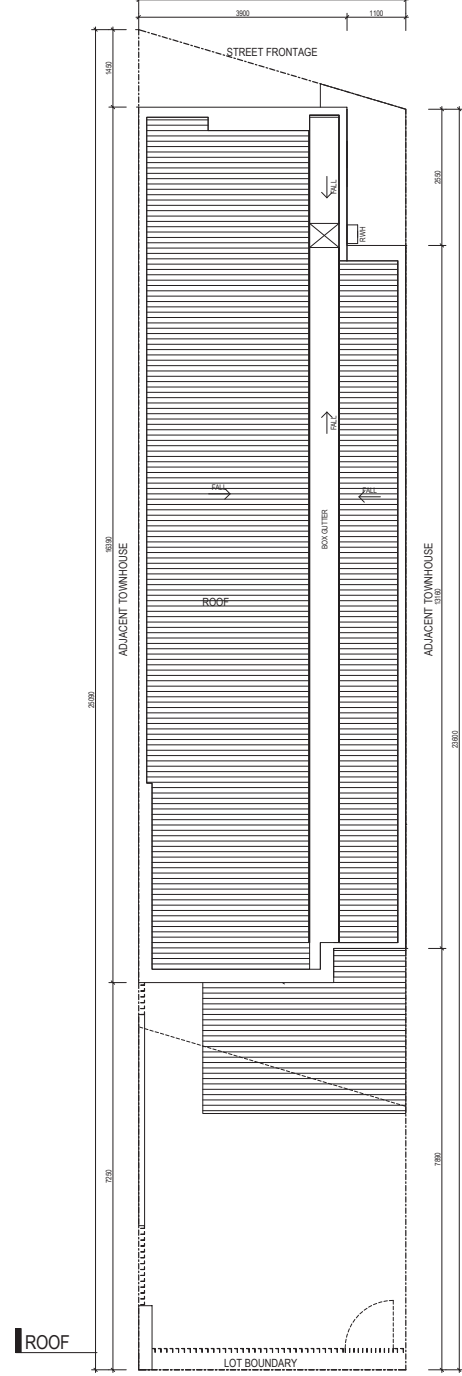
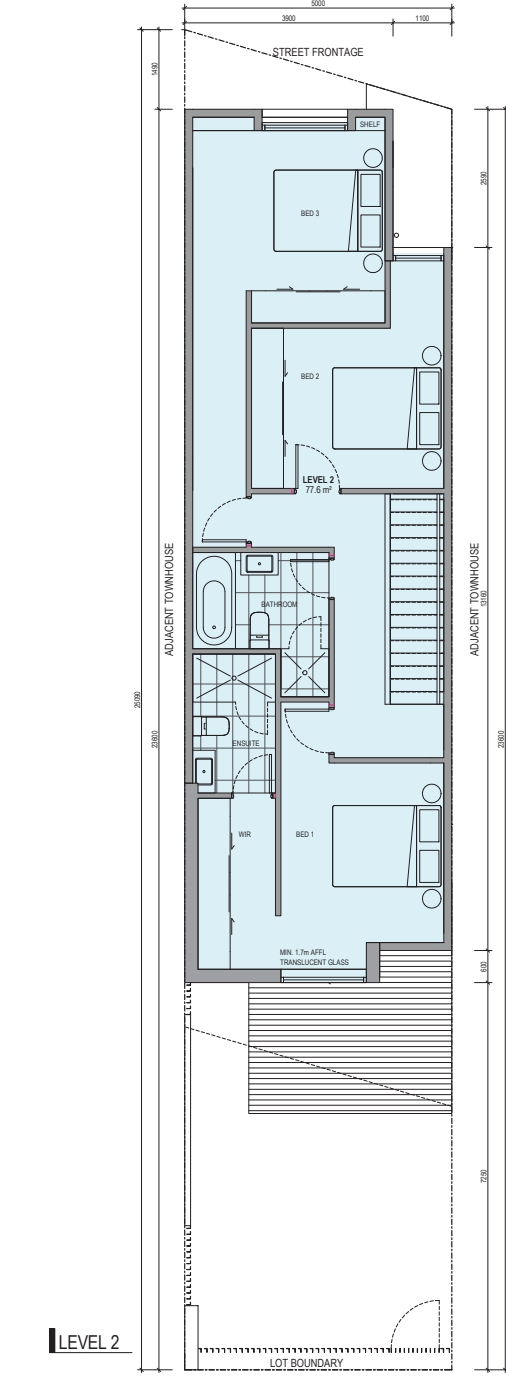
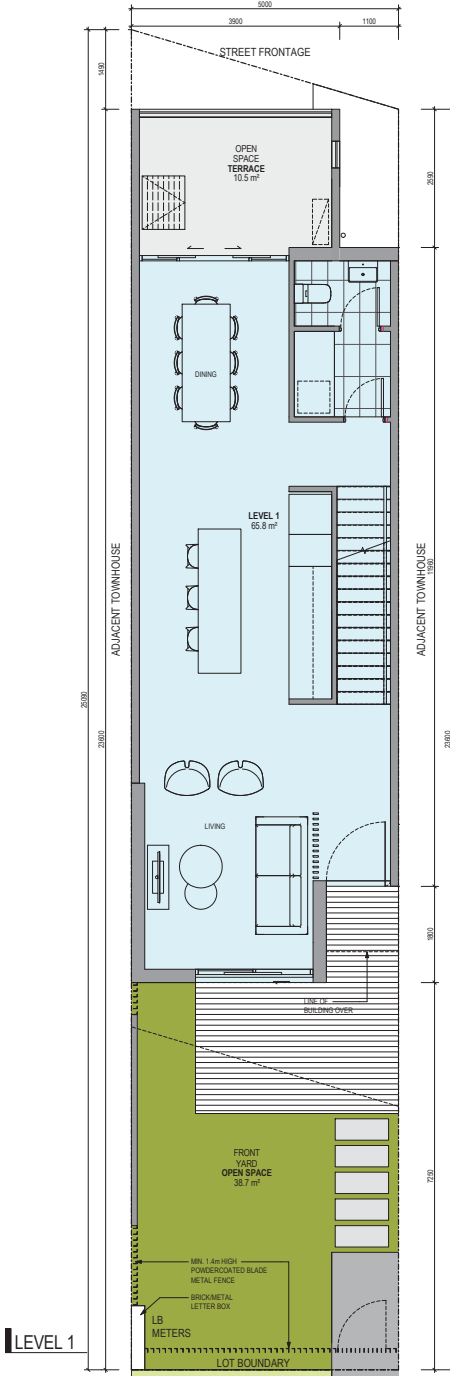
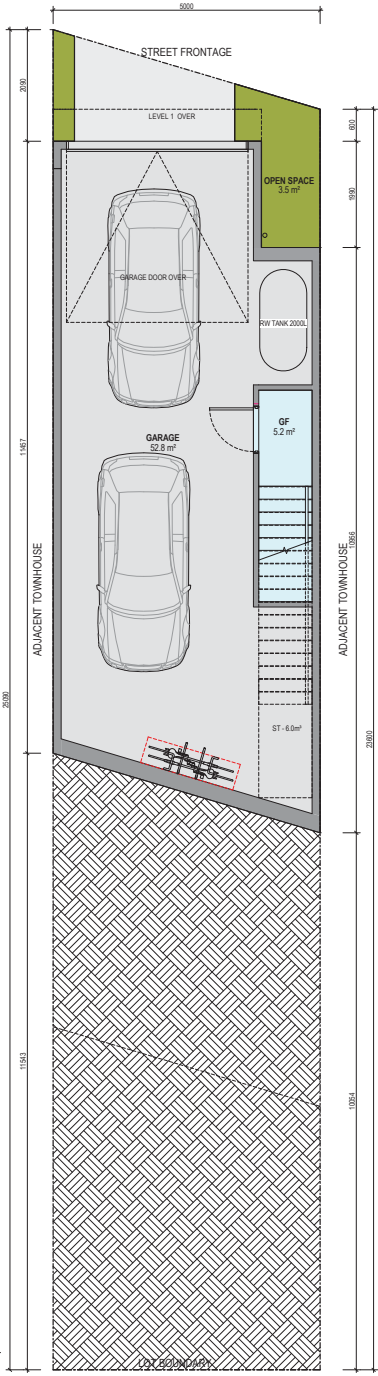
AREA SCHEDULE

GROUND (NSA)	66.4 m ²
LEVEL 1 (NSA)	54.3 m ²
LEVEL 2 (NSA)	80.6 m ²
TOTAL	201.3 m²
GARAGE	41.1 m ²
TOTAL GFA	242.4 m²
POS	29.8 m ²
TERRACE POS	12.6 m ²
TOTAL OPEN SPACE	42.5 m²
PLOT AREA	139.7 m²

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Project / **Residential Development** Drawing / **TYPE F_FLOOR PLANS** Project No. / **217084** Date / **27/10/17** Author / **SA** Scale: @ A / **1 : 50** Drawing No. / **TP10.F.01A**

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ABBREVIATION SCHEDULE

CPD	CUPBOARD
L'DRY	LAUNDRY
WR	WARDROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD
LB	LETTER BOX

LOT NUMBERS

LOTS 01, 02, 03, 04, 05, 06, 07, 08, 09, 10 & 11

AREA SCHEDULE

GROUND (NSA)	52.8 m²
LEVEL 1 (NSA)	65.8 m²
LEVEL 2 (NSA)	77.6 m²
TOTAL NSA	148.6 m²
TOTAL GFA	201.5 m²
GARAGE	52.8 m²
PRIVATE OPEN SPACE	10.5 m²
SECLUDED POS	42.2 m²
ADDITIONAL POS	52.7 m²
TOTAL OPEN SPACE	121.7 m²
PLOT AREA	121.7 m²

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Project / **Residential Development**
15/2 Anderson Street, Doncaster East

Drawing / **TYPE G_FLOOR PLANS**

Project No / **217084** Date / **27.10.17** Author / **SA**

Scale: @ A / **1 : 50**

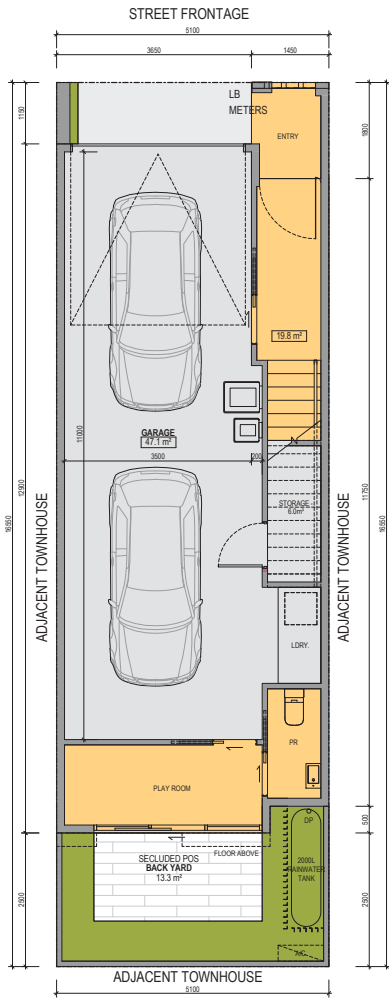
Drawing No. / **TP10.G.01**

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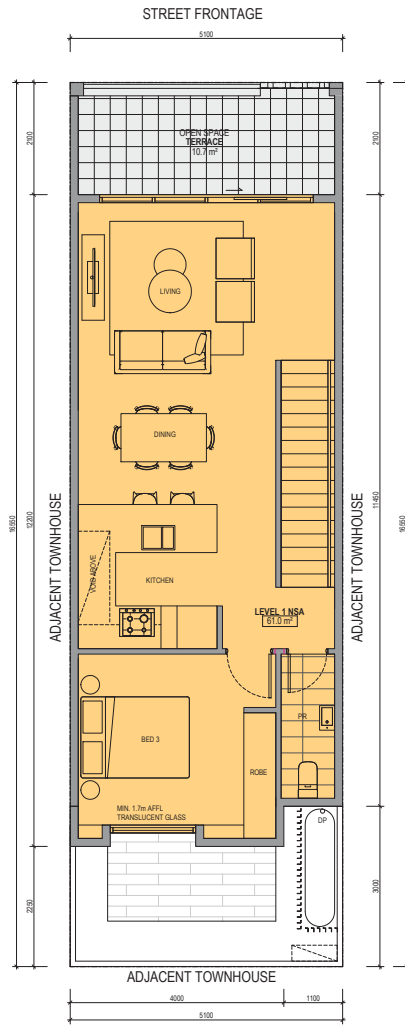
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ABBREVIATION SCHEDULE

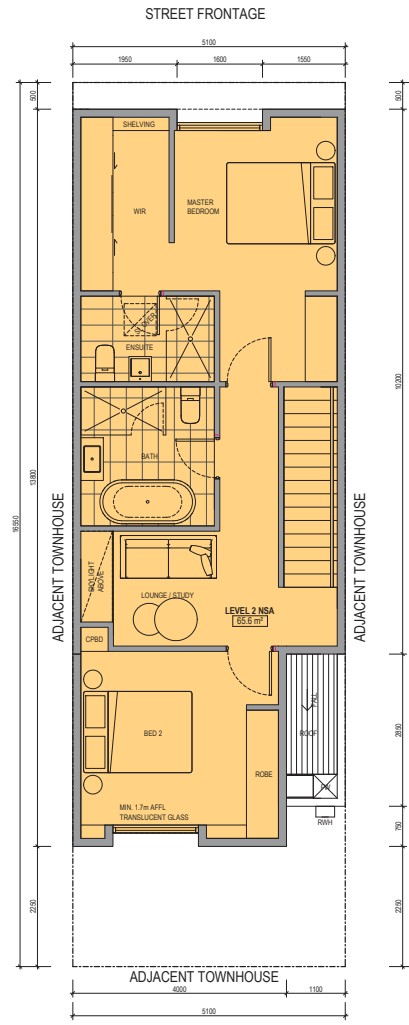
CPD	CUPBOARD
L'DRY	LAUNDRY
WIR	WALK IN ROBE
ENS	ENSUITE
POS	PRIVATE OPEN SPACE
PWD	POWDER ROOM
LINEN	LINEN CUPBOARD
BATH	BATHROOM
HLW	HIGH LEVEL WINDOW
STORE	STORAGE
RWT	RAIN WATER TANK
RWH	RAIN WATER HEAD



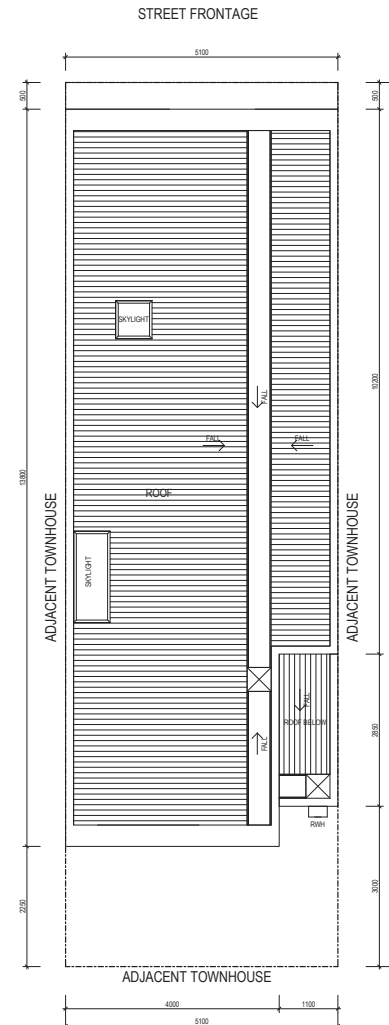
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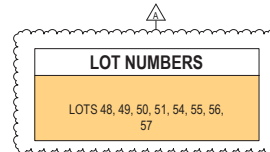
LEVEL 1



LEVEL 2



ROOF



AREA SCHEDULE	
GROUND FLOOR NSA	19.8 m²
LEVEL 1 NSA	61.0 m²
LEVEL 2 NSA	65.6 m²
TOTAL NSA	146.4 m²
GARAGE	47.1 m²
TOTAL GFA	193.5 m²
POS	10.7 m²
SECLUDED POS	13.3 m²
ADDITIONAL POS	24.0 m²
TOTAL POS	48.0 m²
PLOT AREA	84.4 m²

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Project/ **RESIDENTIAL DEVELOPMENT**
152 ANDERSONS CREEK ROAD, DONCASTER EAST

Drawing/ **TYPE H_FLOOR PLANS**

Project No/ **217084** Date/ **27/10/2017** Author/ **SA**

Scale: @ A/ **1 : 50**

Drawing No./ **TP10.H.01A**



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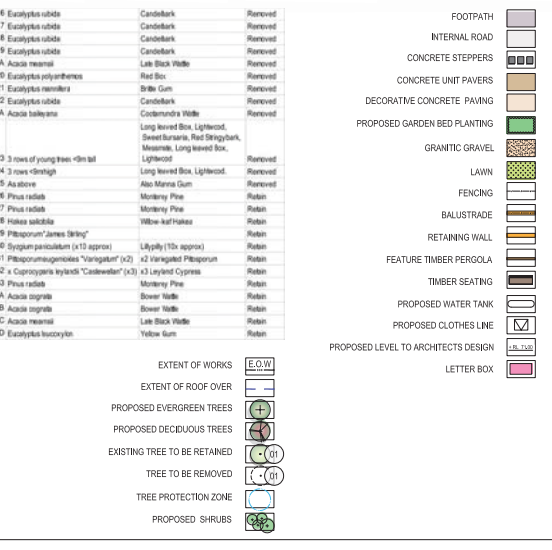


PROPOSED PLANTING SCHEDULE

Botanical Name	Common Name	Typical Mature Height & Width (m)	Installed Size
<i>Asplenium nidus</i>	Rock-creep fern	30 x 12	45L, pos. 1.8m high, 30cm caliper
<i>Callistemon citrinus</i>	Red bottlebrush	10.30 x 10.10	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	10 x 10	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	8 x 8	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	4 x 3	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	6 x 3	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	8 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	10 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	12 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	14 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	16 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	18 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	20 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	22 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	24 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	26 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	28 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	30 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	32 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	34 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	36 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	38 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	40 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	42 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	44 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	46 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	48 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	50 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	52 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	54 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	56 x 4	45L, pos. 1.8m high, 30cm caliper
<i>Exochorda argentea</i>	White star	58 x 4	45L, pos. 1.8m high, 30cm caliper

EXISTING TREE PLANTING SCHEDULE

Tree No.	Botanical Name	Common Name	Species	Remarks
1	<i>Acacia saligna</i>	Black wattle	Removed	118 Callitris saligna L2
2	<i>Acacia saligna</i>	Black wattle	Removed	119 Callitris saligna
3	<i>Acacia saligna</i>	Black wattle	Removed	120 Callitris saligna
4	<i>Acacia saligna</i>	Black wattle	Removed	121 Callitris saligna
5	<i>Acacia saligna</i>	Black wattle	Removed	122 Callitris saligna
6	<i>Acacia saligna</i>	Black wattle	Removed	123 Callitris saligna
7	<i>Acacia saligna</i>	Black wattle	Removed	124 Callitris saligna
8	<i>Acacia saligna</i>	Black wattle	Removed	125 Callitris saligna
9	<i>Acacia saligna</i>	Black wattle	Removed	126 Callitris saligna
10	<i>Acacia saligna</i>	Black wattle	Removed	127 Callitris saligna
11	<i>Acacia saligna</i>	Black wattle	Removed	128 Callitris saligna
12	<i>Acacia saligna</i>	Black wattle	Removed	129 Callitris saligna
13	<i>Acacia saligna</i>	Black wattle	Removed	130 Callitris saligna
14	<i>Acacia saligna</i>	Black wattle	Removed	131 Callitris saligna
15	<i>Acacia saligna</i>	Black wattle	Removed	132 Callitris saligna
16	<i>Acacia saligna</i>	Black wattle	Removed	133 Callitris saligna
17	<i>Acacia saligna</i>	Black wattle	Removed	134 Callitris saligna
18	<i>Acacia saligna</i>	Black wattle	Removed	135 Callitris saligna
19	<i>Acacia saligna</i>	Black wattle	Removed	136 Callitris saligna
20	<i>Acacia saligna</i>	Black wattle	Removed	137 Callitris saligna
21	<i>Acacia saligna</i>	Black wattle	Removed	138 Callitris saligna
22	<i>Acacia saligna</i>	Black wattle	Removed	139 Callitris saligna
23	<i>Acacia saligna</i>	Black wattle	Removed	140 Callitris saligna
24	<i>Acacia saligna</i>	Black wattle	Removed	141 Callitris saligna
25	<i>Acacia saligna</i>	Black wattle	Removed	142 Callitris saligna
26	<i>Acacia saligna</i>	Black wattle	Removed	143 Callitris saligna
27	<i>Acacia saligna</i>	Black wattle	Removed	144 Callitris saligna
28	<i>Acacia saligna</i>	Black wattle	Removed	145 Callitris saligna
29	<i>Acacia saligna</i>	Black wattle	Removed	146 Callitris saligna
30	<i>Acacia saligna</i>	Black wattle	Removed	147 Callitris saligna
31	<i>Acacia saligna</i>	Black wattle	Removed	148 Callitris saligna
32	<i>Acacia saligna</i>	Black wattle	Removed	149 Callitris saligna
33	<i>Acacia saligna</i>	Black wattle	Removed	150 Callitris saligna
34	<i>Acacia saligna</i>	Black wattle	Removed	151 Callitris saligna
35	<i>Acacia saligna</i>	Black wattle	Removed	152 Callitris saligna
36	<i>Acacia saligna</i>	Black wattle	Removed	153 Callitris saligna
37	<i>Acacia saligna</i>	Black wattle	Removed	154 Callitris saligna
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42	<i>Acacia saligna</i>	Black wattle	Removed	159 Callitris saligna
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49	<i>Acacia saligna</i>	Black wattle	Removed	166 Callitris saligna
50	<i>Acacia saligna</i>	Black wattle	Removed	167 Callitris saligna
51	<i>Acacia saligna</i>	Black wattle	Removed	168 Callitris saligna
52	<i>Acacia saligna</i>	Black wattle	Removed	169 Callitris saligna
53	<i>Acacia saligna</i>	Black wattle	Removed	170 Callitris saligna
54	<i>Acacia saligna</i>	Black wattle	Removed	171 Callitris saligna
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56	<i>Acacia saligna</i>	Black wattle	Removed	173 Callitris saligna
57	<i>Acacia saligna</i>	Black wattle	Removed	174 Callitris saligna
58	<i>Acacia saligna</i>	Black wattle	Removed	175 Callitris saligna



WARNING
BEWARE OF UNDERGROUND SERVICES AND INCLUSIVE ONLY. THEIR EXACT POSITION SHOULD BE PROVEN OR RETAINED BEFORE YOU BEGIN WORK.

STATUS
FOR APPROVAL NOT FOR CONSTRUCTION

NO. REVISION **DATE**
 P PRELIMINARY 13/08/17
 P1 FOR APPROVAL 20/10/17
 - FOR APPROVAL 24/10/17
 A FOR APPROVAL 19/01/18
 B FOR APPROVAL 26/02/18
 C FOR APPROVAL 01/03/18

PROJECT
152 Andersons Creek Road
Doncaster East

DRAWING TITLE
Landscape Masterplan

DRAWN **CHECKED** **SCALE**
BB KH A1 1:250 1:500

PLOT DATE **JOB NUMBER** **CLIENT REF**
01/03/2018 17.433 -

DRAWING NUMBER **REV**
LCD-001 C

REVISION C NOTES:

- LANDSCAPE MASTERPLAN AMENDED AS PER THE FOLLOWING ARCHITECTURAL CHANGES:
- ROAD ALIGNMENT AND RETAINING WALL ADJUSTED NEAR LOT 42.
- STAIRS AND RETAINING WALL ADJUSTMENTS TO REDUCE IMPACT ON TREES.
- GENERAL ALIGNMENT ADJUSTMENTS (APPLICATION REF NO. PL17027830)

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5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received and which have not been withdrawn;*
- *Any decision and comments of a referral authority which it has received;*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development; and*
- *Any significant social effects and economic effects which the responsible authority considers the use or development may have.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.07 Residential Growth Zone, Schedule 2 (RGZ2)
- Clause 42.01 Environmental Significance Overlay, Schedule 3 (ESO3)
- Clause 43.02 Design and Development Overlay, Schedule 9 (DD09)
- Clause 52.02 Easements, Restrictions and Reserves
- Clause 52.06 Car Parking
- Clause 52.17 Native Vegetation
- Clause 52.29 Land Adjacent to a Road Zone Category 1 or a Public Acquisition Overlay for a Category 1 Road
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

Zone

Clause 32.07 Residential Growth Zone, Schedule 2

The purpose of the Residential Growth Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*

- *To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.*
- *To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.*
- *To ensure residential development achieves design objectives specified in a schedule to this zone.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot.

An assessment for buildings and works for two or more dwellings is required under the provisions of Clause 55 of the Manningham Planning Scheme.

The purpose of Clause 55 is generally to provide well designed dwellings with considered regard to internal amenity, while at the same time, maintaining the amenity and character of the locality, with particular emphasis on the amenity of adjoining residents.

Overlays

Clause 42.01 Environmental Significance Overlay, Schedule 3 (ESO3) – Covers Andersons Creek Road only.

The purpose of the ESO is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To identify areas where the development of land may be affected by environmental constraints.*
- *To ensure that development is compatible with identified environmental values.*

The Schedule, at Clause 2.0, builds on this to require the following relevant environmental objectives to be achieved:

- *To protect and enhance the ecological values of Buffer Conservation Areas.*
- *To protect the ecological values of Critical and Core Conservation Areas.*
- *To ensure that development responds to the area's environmental and landscape characteristics, including topography and waterways.*
- *To minimise earthworks*
- *To retain Australian native trees for their habitat value and landscape contribution.*
- *To protect and enhance habitat corridors and ecological stepping-stones.*

At Clause 3.0, a permit is required to construct a building or construct or carry out works specified in Clause 62.02-2 of this scheme. Earthworks within the drip line of any vegetation requiring a permit for its removal is a permit trigger.

Clause 43.02 Schedule 9 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around The Pines Activity Centre.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*

- *To support apartment style developments on larger lots which address the street frontage.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive.*
- *To implement the building form of The Pines Activity Centre Structure Plan 2011.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the associated building.*
- *To ensure the design of basement car parks complement the design of the building, minimises unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To provide built form and landscape outcomes that provide for a transition between the subject site and abutting residential properties.*

A Planning Permit is required to construct a building or construct or carry out works under this overlay.

Building Height & Setbacks

- Development should comply with the preferred heights identified in Map 1. This height is specified to be 11 metres.

State Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 11 – Settlement

Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Clause 15 – Built Environment and Heritage

Clause 15.01-1 Urban design

The objective of this policy is:

- *To create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.*

Clause 15.01-2 Urban design principles

The objective of this policy is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

Clause 15.01-4 Design for safety

The objective of this policy is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

Policy guidelines

Planning must consider as relevant:

- *Safer Design Guidelines for Victoria (Crime Prevention Victoria and Department of Sustainability and Environment, 2005).*

Clause 15.01-5 Cultural identity and neighbourhood character

The objective of this policy is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

Clause 15.02-1 Energy and resource efficiency

The objective of this policy is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

Clause 16 – Housing

Clause 16.01-1 Integrated housing

The objective of this policy is:

- *To promote a housing market that meets community needs.*

Clause 16.01-2 Location of residential development

The objective of this policy is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

Clause 16.01-4 Housing diversity

The objective of this policy is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 16.01-5 Housing affordability

The objective of this policy is:

- *To deliver more affordable housing closer to jobs, transport and services.*

Local Planning Policy Framework (LPPF)

Clause 21.02 Municipal Profile

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

The site is within “Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads”.

A substantial level of change is anticipated in Precinct 2 with these areas being a focus for higher density developments.

The Clause recognises the role of the Pines Activity Centre as a key Activity Centre within the municipality and provides a range of retail, commercial, community facilities and residential development opportunities.

The area around The Pines Activity Centre (shown on Manningham Planning Scheme maps as DDO9) is an area where development ranging in height from 11 metres to 16 metres is encouraged in designated areas, as identified in The Pines Activity Centre Structure Plan (2011).

Clause 21.05-2 Housing

The relevant objectives of this policy are:

- *To accommodate Manningham’s projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*
- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality’s population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.*
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

Clause 21.05-4 Built form and neighbourhood character

The objective of this policy is:

- *To ensure that residential development enhances the existing or preferred neighbourhood character of the residential character precincts as shown on Map 1 to this Clause.*

The strategies to achieve this objective include:

- *Require residential development to be designed and landscaped to make a positive contribution to the streetscape and the character of the local area.*
- *Ensure that where development is constructed on steeply sloping sites that any development is encouraged to adopt suitable architectural techniques that minimise earthworks and building bulk.*
- *Ensure that development is designed to provide a high level of internal amenity for residents.*
- *Require residential development to include stepped heights, articulation and sufficient setbacks to avoid detrimental impacts to the area's character and amenity.*

Clause 21.09 Activity Centres and Commercial Areas

This section applies to all activity centres and commercial areas identified in Framework Plan 5.

The Clause acknowledges that the Pines, East Doncaster is the municipality's one and only Major Activity Centre.

The vision for the Pines Activity Centre will continue to be a focus for the community and to provide for their retail, community, recreational and entertainment needs as well as providing for a diversity of residential options within its context of being on the fringe of the metropolitan area of Melbourne and its proximity to the Green Wedge.

Key Strategic Objectives are:

- Support the development of The Pines Activity Centre which meets the social, recreational and retail needs of the population at the sub-regional level.
- Ensure that any future development in The Pines Activity Centre is in keeping with its location on the fringe of the urban area and its proximity to the Green Wedge.
- Encourage apartment style development within The Pines Activity Centre to maximise the use of the commercial and social facilities provided within and to provide alternative housing options for the locality.
- Encourage greater use of public transport to and from The Pines Activity Centre and advocate for more services and for these services to be provided more frequently.
- Enhance the public realm within The Pines Activity Centre by ensuring that the public spaces meet a range of community needs, are well linked together, are easily accessible, safe and visually pleasing.
- Maximise use of the area's natural strengths such as views to surrounding rural and bushland areas in keeping with the community interest.
- Support housing choices to meet changing demographic trends, especially an ageing population.
- Support a range of health, family and professional services relevant to the role of The Pines Activity Centre.
- Support a range of education and learning activities to meet the needs and aspirations of the local community.
- Provide for well defined vehicular, bicycle and pedestrian access both with and external to all precincts, with strong pedestrian crossing points to be established on main roads.

Clause 21.10 Environmentally Sustainable Development

Council's Environmentally Sustainable Development Policy seeks to achieve best practice design, construction and operation for new development.

A number of considerations are to be made under the headings: key issues, objectives, and strategies relating to the following areas:

- Clause 21.10- 2 Energy Performance
- Clause 21.10-3 Water Sensitive design.
- Clause 21.10-4 External environmental amenity and internal healthy environment considerations
- Clause 21.10-5 Waste Management
- Clause 21.10- 6 Quality of Private and Public realm
- Clause 21.10-7 Transport
- Clause 21.10-8 Urban Ecology

Local Planning Policy

Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Particular Provisions

Clause 52.02 Easements, Restrictions and Reserves

The purpose of this policy is to enable the removal and variation of an easement or restrictions to enable a use or development that complies with the planning scheme after the interests of affected people are considered.

A permit is required before a person proceeds:

- Under Section 23 of the *Subdivision Act 1988* to create, vary or remove an easement or restriction or vary or remove a condition in the nature of an easement in a Crown grant.

Before deciding on an application, in addition to the decision guidelines in clause 65, the responsible authority must consider the interests of affected people.

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings
- 1 visitor space to every 5 dwellings for developments of 5 or more dwellings

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

Clause 52.17 Native Vegetation

The purpose of this policy is:

- *To ensure permitted clearing of native vegetation results in no net loss in the contribution made by native vegetation to Victoria's biodiversity.*
- *To manage native vegetation to minimise land and water degradation.*
- *To manage native vegetation near buildings to reduce the threat to life and property from bushfire.*

A permit is required to remove, destroy or lop native vegetation, including dead native vegetation.

(This does not apply to native vegetation that is to be removed, destroyed or lopped that was either planted or grown as a result of direct seeding).

Based on arboricultural and environmental advice, a planning permit is required for the removal of one (1) native tree – being Tree #22 a Manna Gum.

Note: the application benefits from the transitional provisions of Clause 52.17-6 as the application for the permit was lodged prior to the commencement of Amendment VC138. The requirements of Clause 52.17 in force immediately before the commencement date continue to apply to an application.

Clause 52.29 Land Adjacent to a Road Zone Category 1 (RDZ1) or a Public Acquisition Overlay for a Category 1 Road

The purpose of this provision is:

- *To ensure appropriate access to identified roads*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Road Zone, Category 1.

Clause 55 Two more dwellings on a lot and residential buildings

The development of two or more dwellings on a lot must meet the requirements of this clause. An assessment against this clause is provided in Appendix 1 of this report.

General Provisions

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*