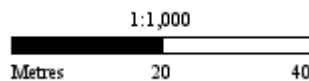
 **Subject Land** **Address:** 534-540 Doncaster Road DONCASTER VIC, 3108

Whilst all care has been taken in the preparation of this cadastral base map, Manningham and the State of Victoria accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for Demonstration only.



16/03/2018 9:54 am

RACF		
	Area (m ²)	
Lower Ground		
RACF Carpark	1270	
RACF Rooms	-	
RACF BOH + Circulation	739	
TOTAL (excl. terrace)	2009	
TOTAL CARPARKS	39	Incl. 2 x DDA
Terrace		
	0	
TOTAL (incl. terrace)	2048	
Ground		
RACF Rooms	-	32 Beds
RACF Amenity	912	
NSA Retail / Commercial	468	
RACF BOH + Circulation	423	
TOTAL (excl. terrace)	1803	
Terrace		
	79	
Café Alfresco	131	
TOTAL (incl. terrace)	2013	
Level 1		
RACF Rooms	742	32 Beds
RACF Amenity	650	
RACF BOH + Corridor	542	
TOTAL (excl. terrace)	1934	
Terrace		
	458	
TOTAL (incl. terrace)	2392	
Level 2		
RACF Rooms	742	32 Beds
RACF Amenity	650	
RACF BOH + Corridor	542	
TOTAL (excl. terrace)	1934	
Terrace		
	209	
TOTAL (incl. terrace)	2143	
Level 3		
RACF Rooms	741	32 Beds
RACF Amenity	559	
RACF BOH + Corridor	450	
TOTAL (excl. terrace)	1750	
Terrace		
	447	
TOTAL (incl. terrace)	2197	
Level 4		
RACF Rooms	741	32 Beds
RACF Amenity	541	
RACF BOH + Corridor	450	
TOTAL (excl. terrace)	1732	
Terrace		
	44	
TOTAL (incl. terrace)	1776	
TOTAL GFA (excl. Terrace)	11162.0	
TOTAL GFA (incl. Terrace)	12569.0	
Total GFA for RACF Carpark	2009	(excl. Terrace)
Total GFA for RACF	7350	(excl. Terrace)
Total GFA for Ground Floor	1803	(excl. Terrace)
Total GFA for RACF	8508	(incl. Terrace)
Total GFA for Ground Floor	2013	(incl. Terrace)

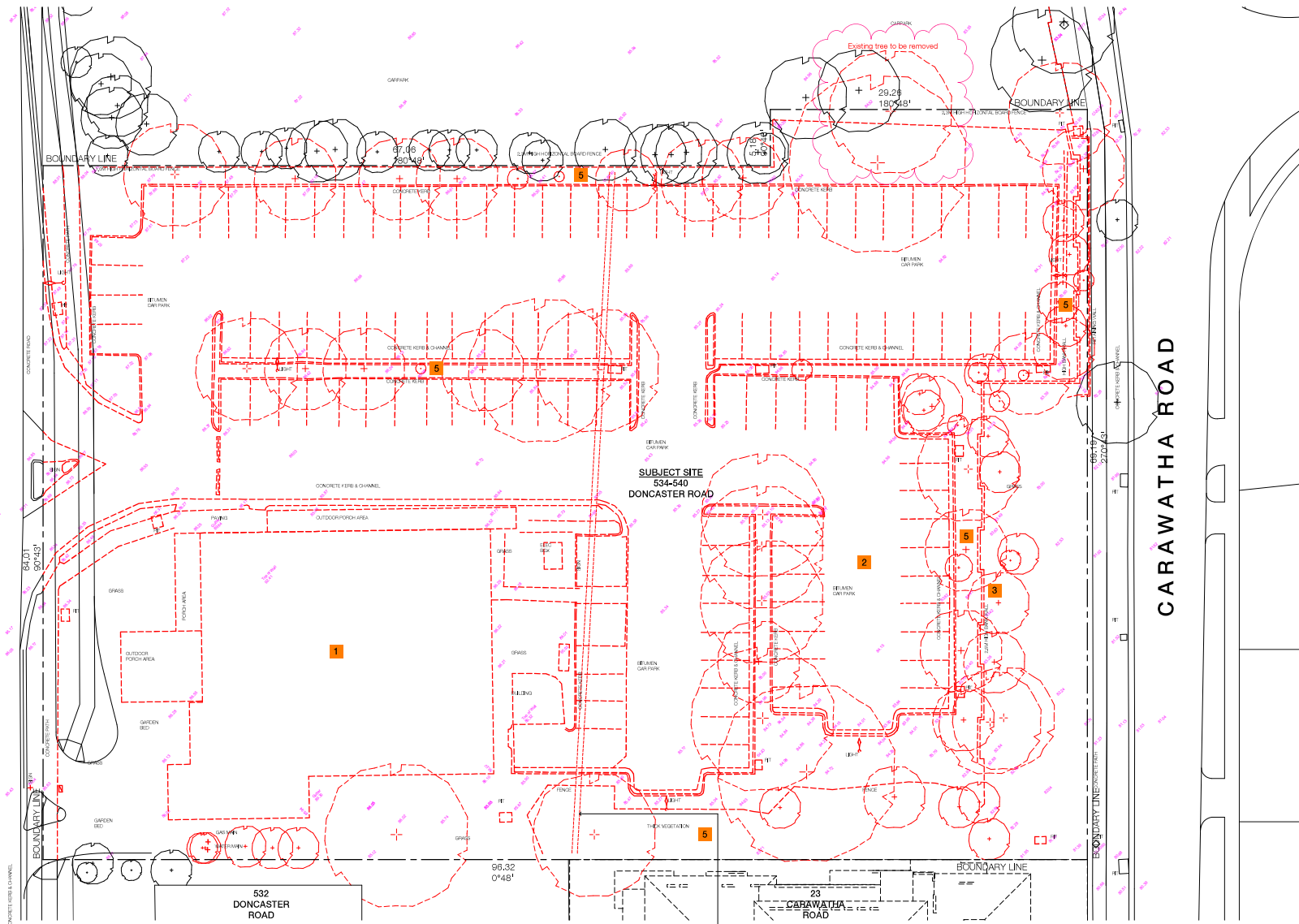
ILA			
	Apt Name	Area (m ²)	Balcony (m ²)
Basement			
Carpark		4281	
Services / BOH / Vertical Circulation		659	
TOTAL (excl. Balcony)		4940	
Total Carparks		119	(Incl 2 x DDA)
Lower Ground			
1 Bed	LG3	72	16
	LG8	72	27
2 Bed	LG5	81	16
	LG6	82	13
2 Bed + Study	LG1	118	15
	LG2	118	49
	LG9	117	33
2 Bed + Study Alcove	LG7	98	22
	LG10	95	14
3 Bed	LG4	121	33
Total Apartment Area		974	
Apartment Amenities		777	
Apartment BOH + Circulation		352	
TOTAL (excl. Balcony)		2103	
Total ILA Balcony Area		238	
Courtyards		342	
TOTAL GFA (incl. Balcony)		2683	
Ground			
2 Bed	G4	82	14
	G7	81	11
	G8	82	12
	G11	81	14
2 Bed + Study	G1	118	9
	G2	111	24
	G3	118	12
	G10	107	36
	G12	117	23
	G13	112	34
2 Bed + Study Alcove	G6	100	61
	G14	95	12
3 Bed	G5	121	34
	G9	110	56
Total Apartment Area		1435	
Apartment Amenities		-	
Apartment BOH + Circulation		219	
TOTAL (excl. Balcony)		1654	
Total ILA Balcony Area		352	
Courtyards		56	
TOTAL GFA (incl. Balcony)		2062	

Apt Name Area (m ²) Balcony (m ²)			
Level 1			
2 Bed	103	82	15
	106	82	13
	107	82	14
	108	88	51
	109	88	46
	110	82	14
2 Bed + Study Alcove	101	99	22
	102	96	18
	105	100	28
	111	100	28
	112	92	14
	104	121	32
3 Bed			
Total Apartment Area		1112	
Apartment Amenities		-	
Apartment BOH + Circulation		163	
TOTAL (excl. Balcony)		1275	
Total ILA Balcony Area		295	
TOTAL GFA (incl. Balcony)		1570	
Level 1a			
1 Bed	103A	63	17
	106A	63	16
2 Bed	107A	82	11
	108A	88	30
	109A	88	27
2 Bed + Study Alcove	110A	82	14
	101A	99	9
	102A	96	10
	105A	100	47
	111A	100	14
	112A	92	11
	104A	121	47
3 Bed			
Total Apartment Area		1074	
Apartment Amenities		-	
Apartment BOH + Circulation		163	
TOTAL (excl. Balcony)		1237	
Total ILA Balcony Area		253	
TOTAL GFA (incl. Balcony)		1490	
Level 2			
1 Bed	206	63	14
	207	63	11
	210	63	11
2 Bed	203	81	12
2 Bed + Study	208	112	31
	209	112	28
2 Bed + Study Alcove	201	99	11
	202	95	10
	204	96	35
	205	100	19
	211	100	14
	212	92	10
Total Apartment Area		1076	
Apartment Amenities		-	
Apartment BOH + Circulation		163	
TOTAL (excl. Balcony)		1239	
Total ILA Balcony Area		206	
TOTAL GFA (incl. Balcony)		1445	

Apt Name Area (m ²) Balcony (m ²)			
Level 3			
1 Bed	306	63	12
2 Bed	303	81	12
2 Bed + Study Alcove	301	99	11
	302	96	10
	304	96	23
	305	100	18
	309	100	15
	310	92	11
3 Bed	307	134	62
	308	133	66
Total Apartment Area		994	
Apartment Amenities		-	
Apartment BOH + Circulation		150	
TOTAL (excl. Balcony)		1144	
Total ILA Balcony Area		240	
TOTAL GFA (incl. Balcony)		1384	
Level 4			
2 Bed + Study Alcove	401	99	11
	402	96	10
3 Bed	403	133	81
	404	133	66
Total Apartment Area		461	
Apartment Amenities		-	
Apartment BOH + Circulation		68	
TOTAL (excl. Balcony)		529	
Total ILA Balcony Area		168	
TOTAL GFA (incl. Balcony)		697	
Roof Level			
Apartment Amenities		170	
Apartment BOH + Circulation		89	
TOTAL (excl. Balcony)		259	
Outdoor Terrace		285	
TOTAL GFA (incl. Balcony)		544	
TOTAL GFA (excl. Basement, Balcony)		9440	
TOTAL GFA (incl. Balcony/ Courtyard)		11875	
TOTAL NSA for Apartments		7126	
Total NSA for Amenities		947	
Total NSA		8073	
% Amenities vs GFA		10.0%	
% Amenities vs NSA		11.7%	
TOTAL TERRACE		2435	
Overall Summary			
	No.	Area (m ²)	%
Total Site Area		6317	
Number of ILA Apartment	74		
Number of RACF Bed	128		
Number of Car Parking Spaces	158		
Building Site Coverage		3800	60.2%
Impervious Site Coverage		5697	90.2%
Public Open Space		1721	27.2%

DONCASTER ROAD

CARAWATHA ROAD



Approximate location of existing underground sewer pipe. It is to be terminated and removed for the proposed development.

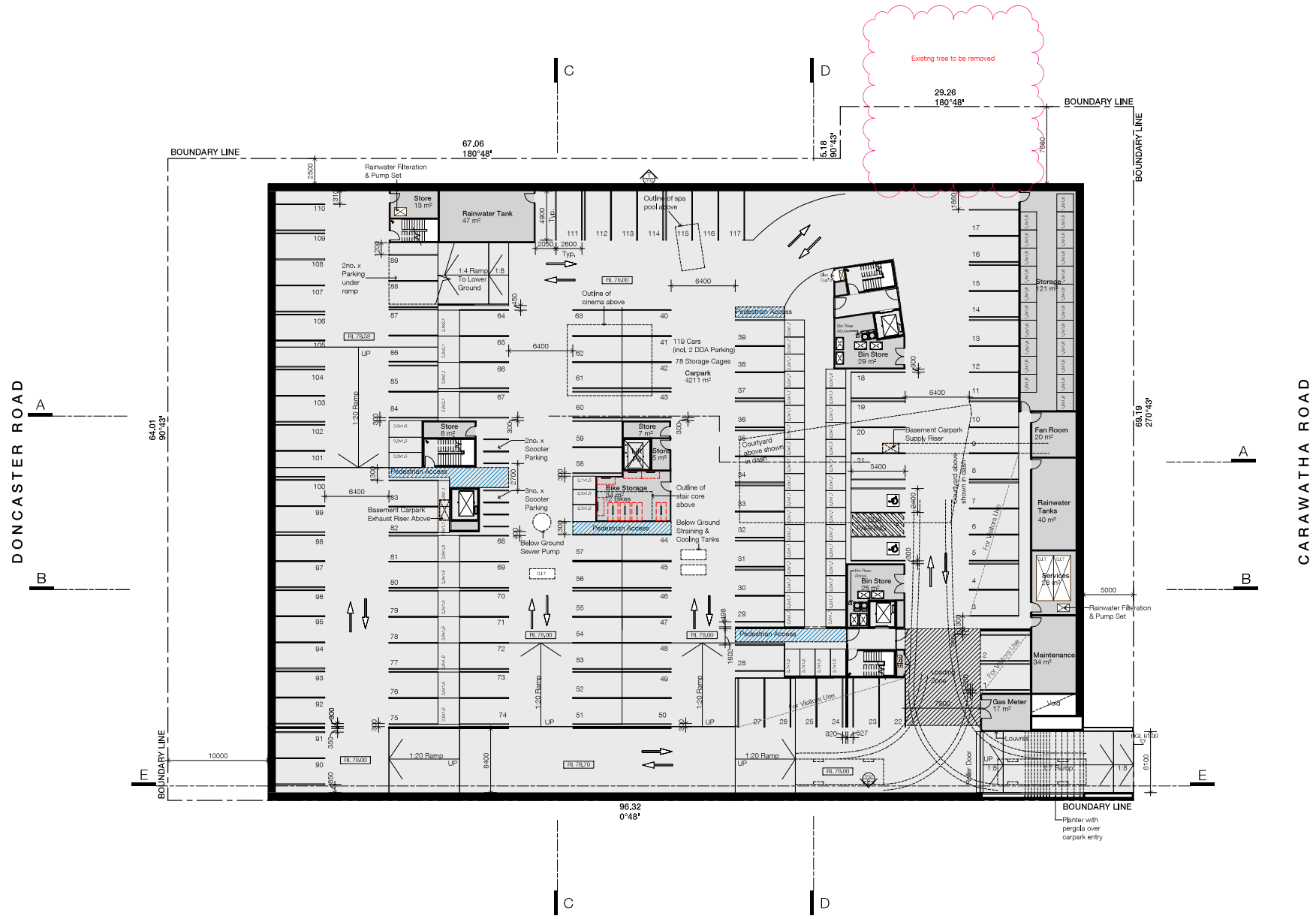
Demolition Notes

1. EXISTING SINGLE STOREY BUILDING TO BE DEMOLISHED
2. EXISTING GRUEN CARPARK TO BE DEMOLISHED
3. EXISTING 2.5M RETAINING WALLS TO BE DEMOLISHED
4. EXISTING TREES AND VEGETATION TO BE REMOVED
5. EXISTING TREES AND VEGETATION TO BE REMOVED



Legend - General

- BOH
- Circulation

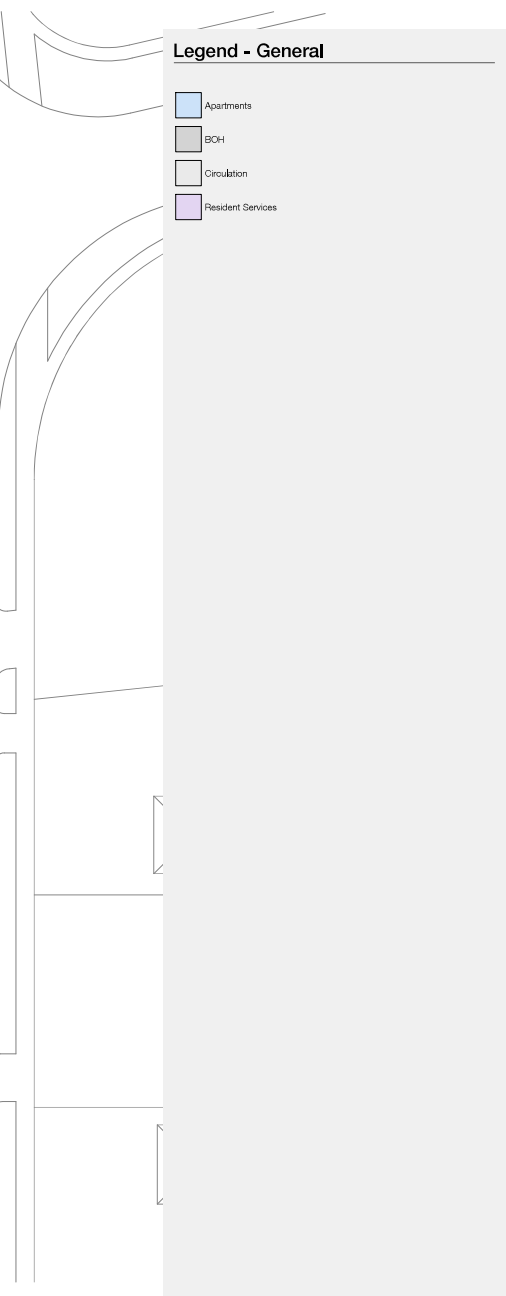
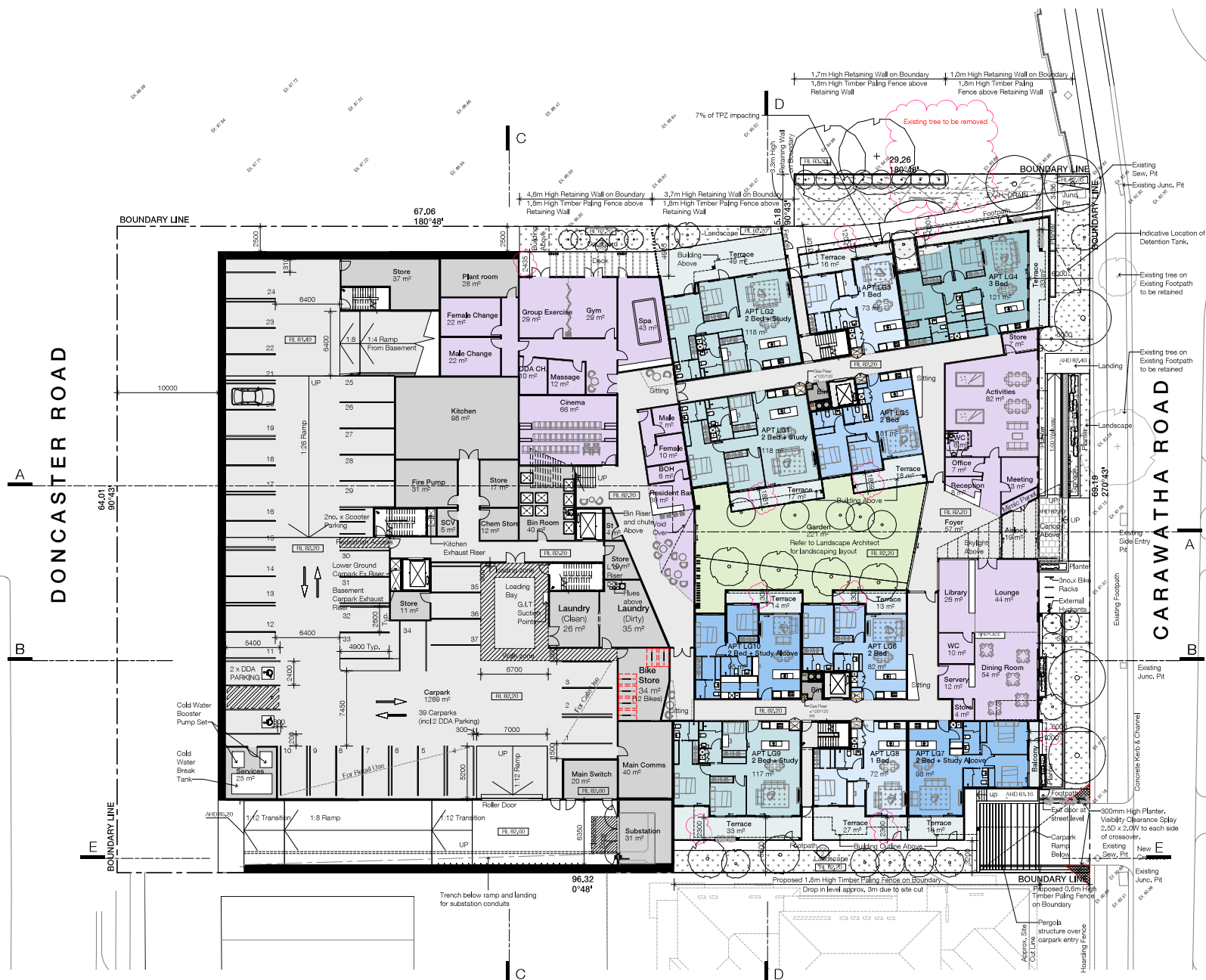


DONCASTER ROAD

CARAWATHA ROAD

Legend - General

- Apartments
- BOH
- Circulation
- Resident Services





- Legend - General**
- Amenities
 - Apartments
 - BOH
 - Circulation
 - Staff Areas
 - Commercial
 - Cafe
 - Fitness & Health

Legend - General

- Amenities
- BOH
- Circulation
- Living & Dining
- Units
- Staff Areas
- DDA Bedroom
- Garden





Legend - General

- Amenities
- BOH
- Circulation
- Living & Dining
- Units
- Staff Areas
- DDA Bedroom
- Garden

Legend - General

- Amenities
- BOH
- Circulation
- Living & Dining
- Units
- Staff Areas
- DDA Bedroom
- Garden



DONCASTER ROAD

CARAWATHA ROAD



Legend - General

- Amenities
- BDH
- Circulation
- Living & Dining
- Units
- Staff Areas
- DDA Bedroom
- Garden



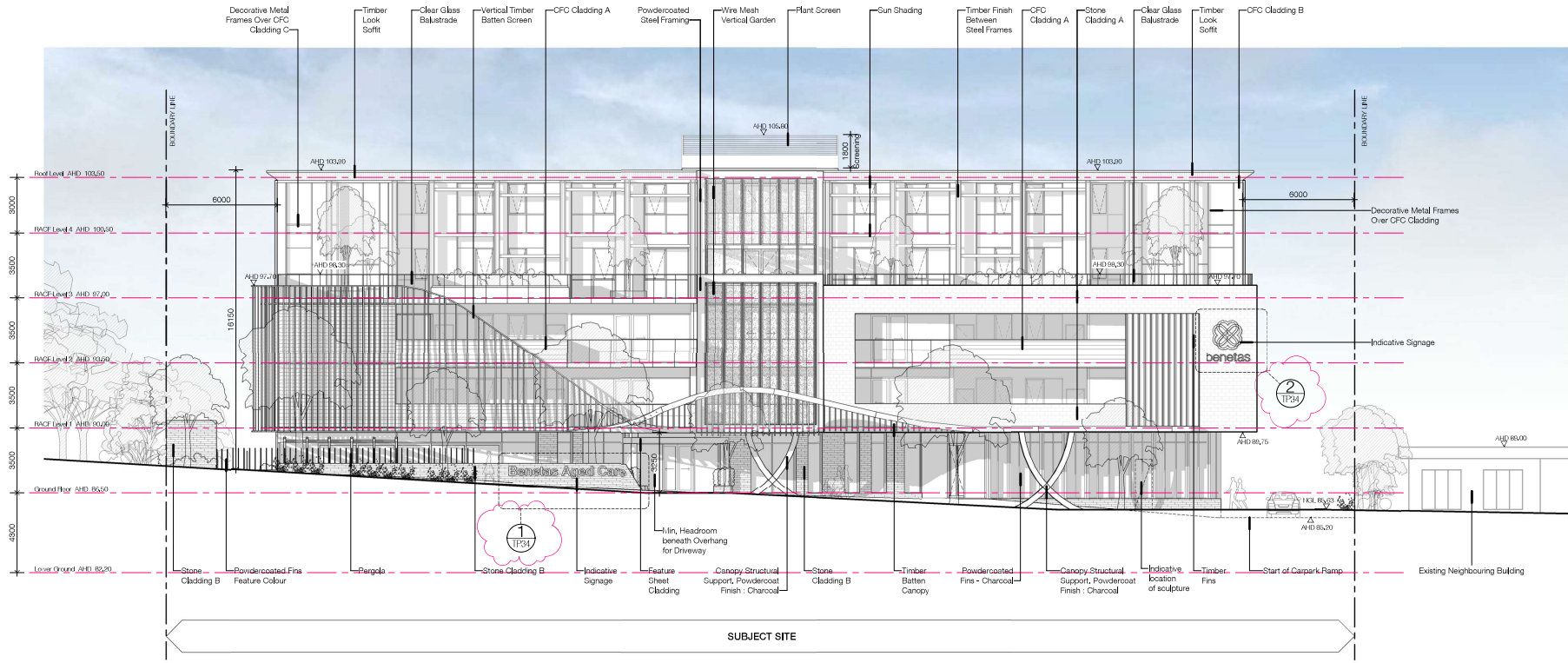
DONCASTER ROAD

CARAWATHA ROAD

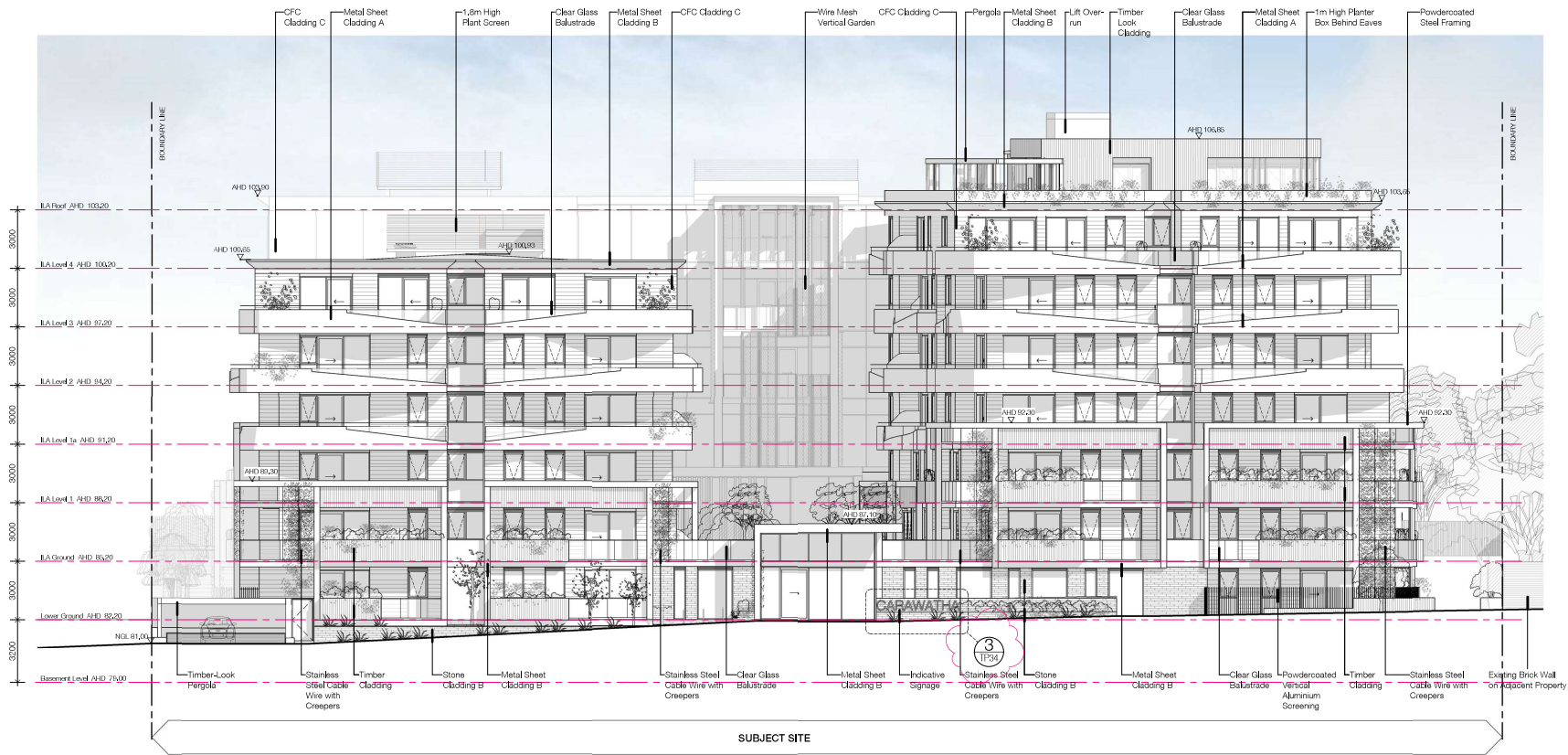


Legend - General

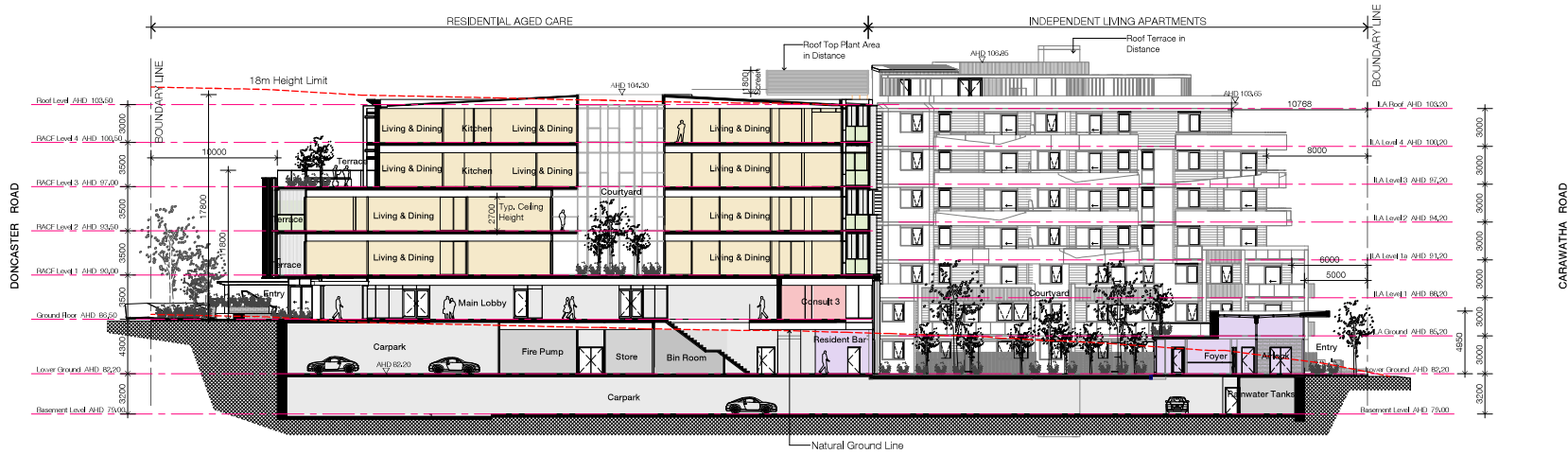
- Amenities
- BCH
- Circulation
- Living & Dining
- Units
- Staff Areas
- DDA Bedroom
- Garden



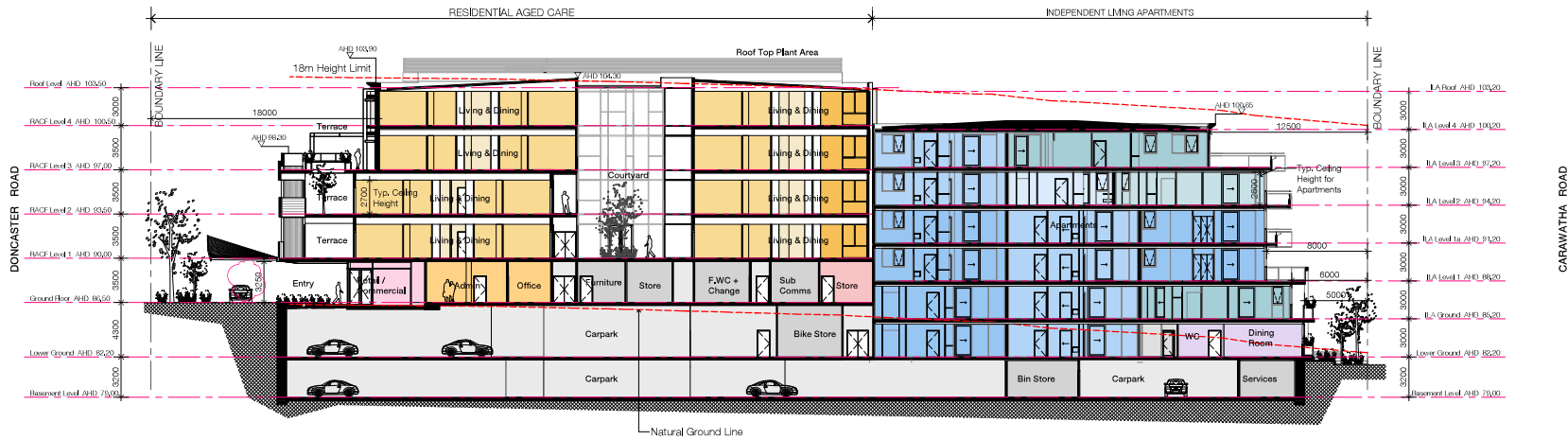
1 North Elevation
Scale 1 : 125



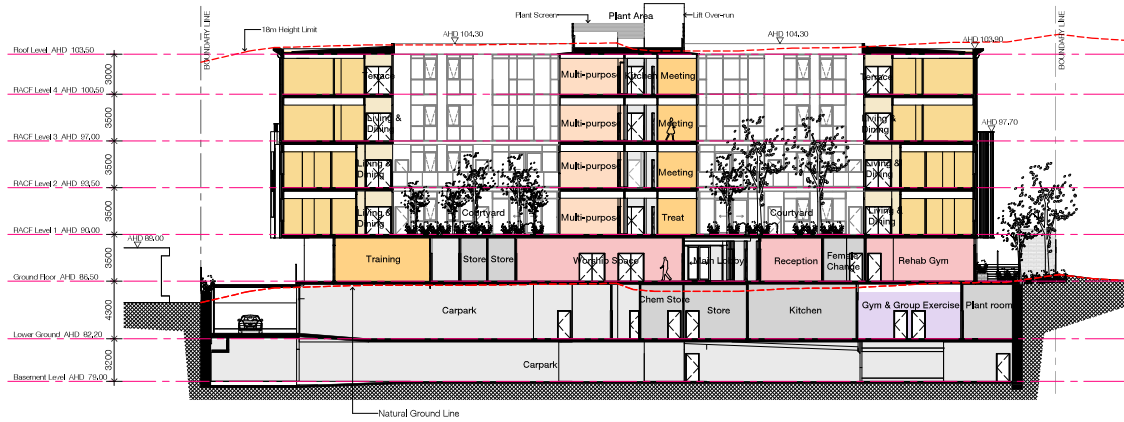
1 South Elevation
Scale 1 : 125



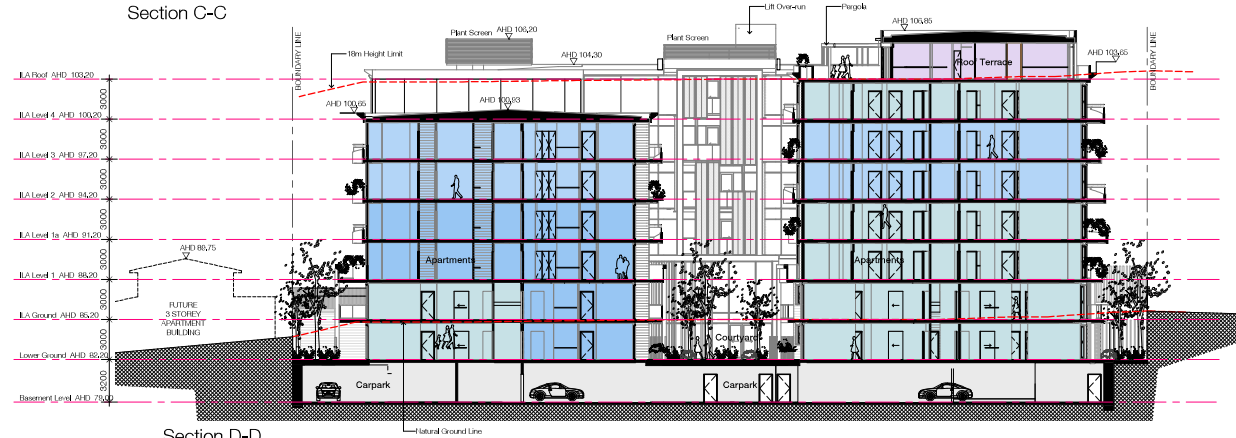
Section A-A



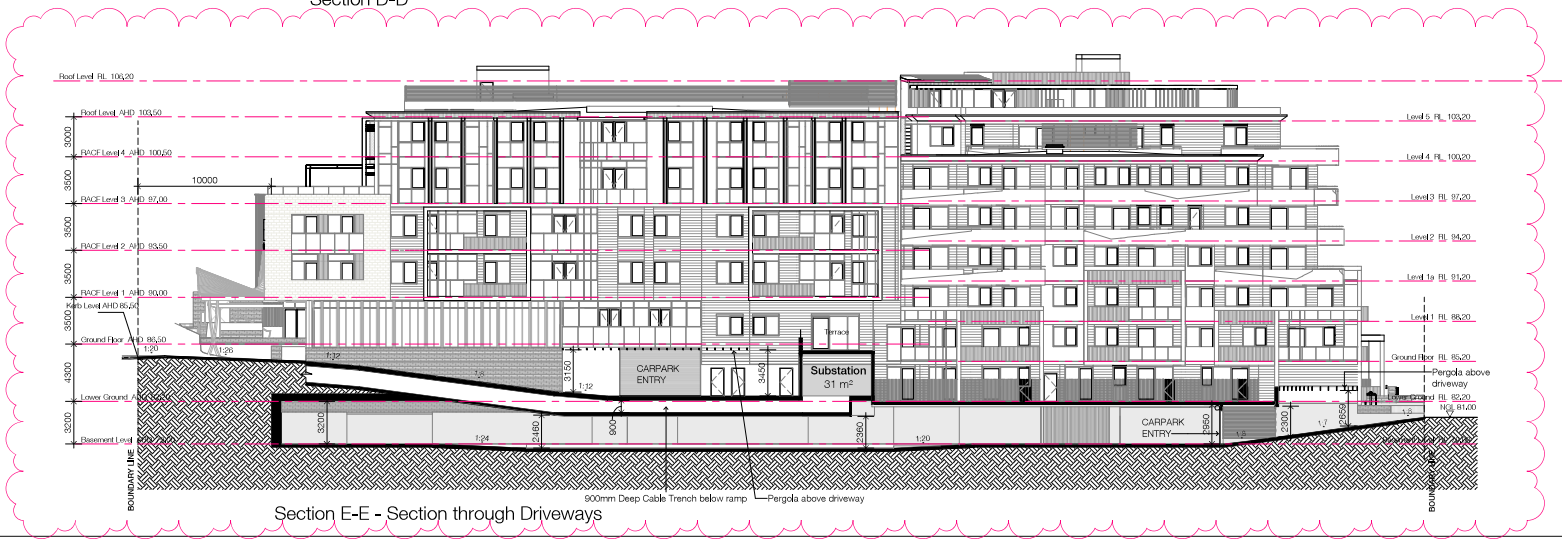
Section B-B



Section C-C



Section D-D



Section E-E - Section through Driveways



Sept 22 - 9am



Sept 22 - 10am



Sept 22 - 11am



Sept 22 - 12pm



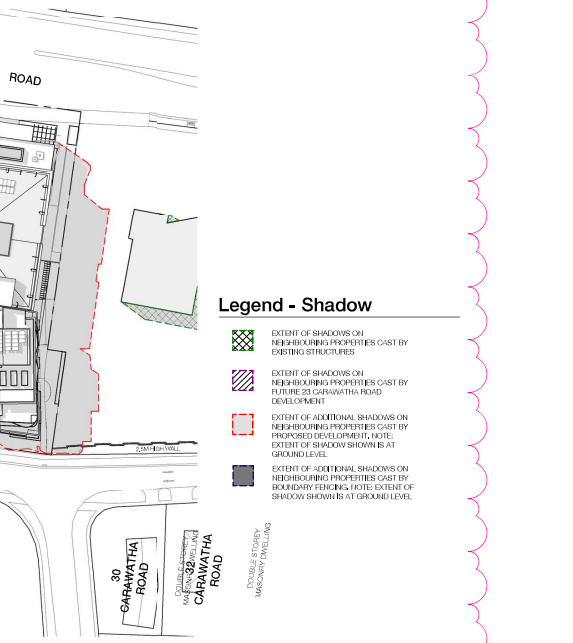
Sept 22 - 1pm



Sept 22 - 2pm



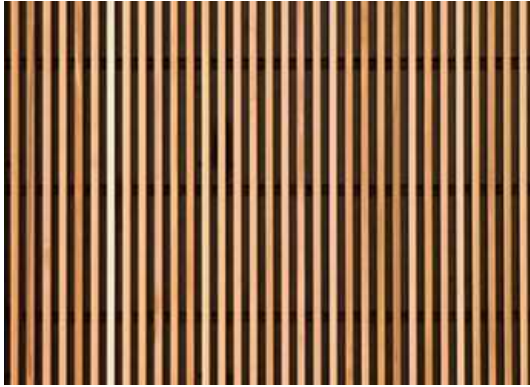
Sept 22 - 3pm



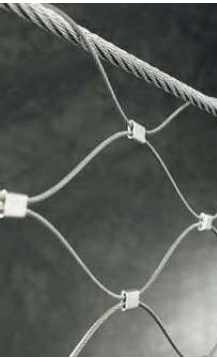
Sept 22 - 3pm

- Legend - Shadow**
- EXTENT OF SHADOWS ON NEIGHBOURING PROPERTIES CAST BY EXISTING STRUCTURES
 - EXTENT OF SHADOWS ON NEIGHBOURING PROPERTIES CAST BY FUTURE 30 CARAWATHA ROAD DEVELOPMENT
 - EXTENT OF ADDITIONAL SHADOWS ON NEIGHBOURING PROPERTIES CAST BY PROPOSED DEVELOPMENT. NOTE: EXTENT OF SHADOW SHOWN AT GROUND LEVEL.
 - EXTENT OF ADDITIONAL SHADOWS ON NEIGHBOURING PROPERTIES CAST BY BOUNDARY FENCING. NOTE: EXTENT OF SHADOW SHOWN AT GROUND LEVEL.
 - DOUBLE FENCING MASONRY WALLING

SCREENING



VERTICAL TIMBER BATTEN SCREEN



WIRE MESH VERTICAL GARDEN



POWDERCOATED STEEL FRAMING (CHARCOAL) FOR CREEPERS

"STREET LEVEL" ELEMENTS



STONE CLADDING TYPE A: SANDSTONE OR SIMILAR WARM TONED COLOUR



STONE CLADDING TYPE A: SANDSTONE



CFC CLADDING TYPE A: LIGHT GREY



STONE CLADDING TYPE B: BLUESTONE



POWDERCOATED FINS: CHARCOAL



POWDERCOATED FINS: FEATURE COLOUR



ALUMINIUM WINDOW & DOOR FRAMES: CHARCOAL

"UPPER LEVEL" ELEMENTS



METAL SHEET CLADDING A: WHITE



METAL SHEET CLADDING B: CHARCOAL



TIMBER LOCK SOFFIT AND CLADDING



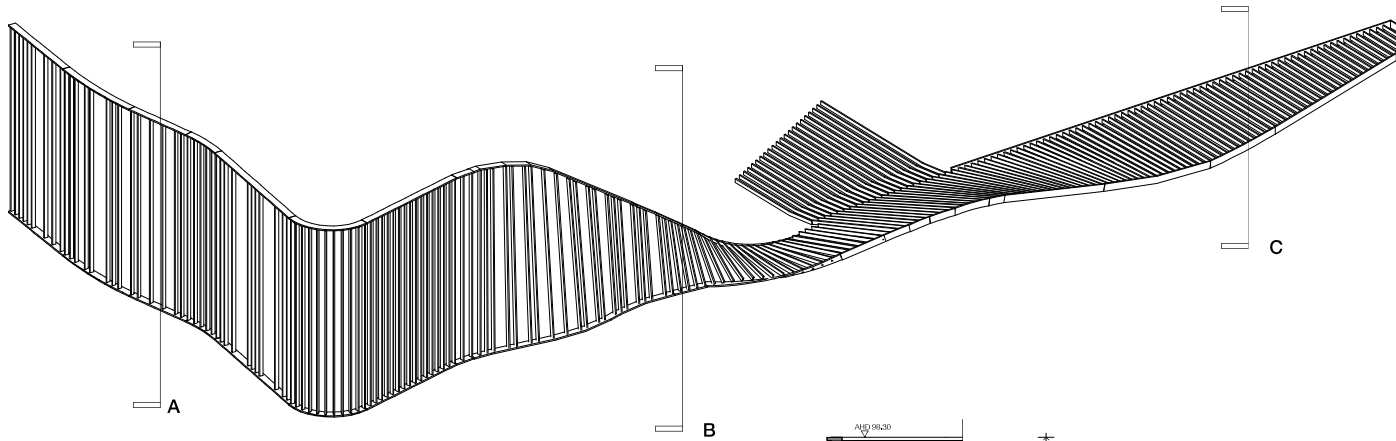
PROFILED METAL ROOFING IN SHALE GREY



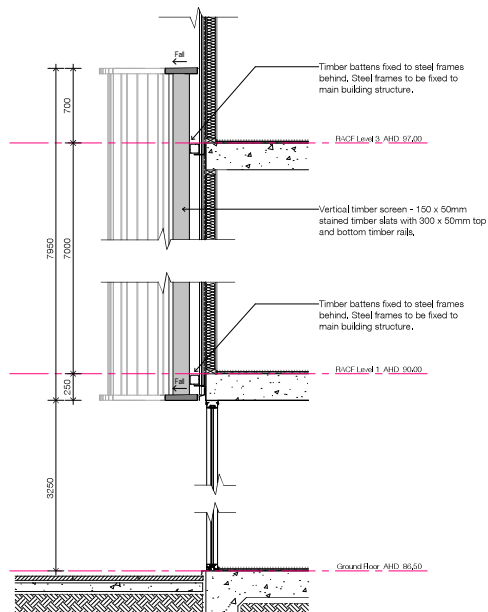
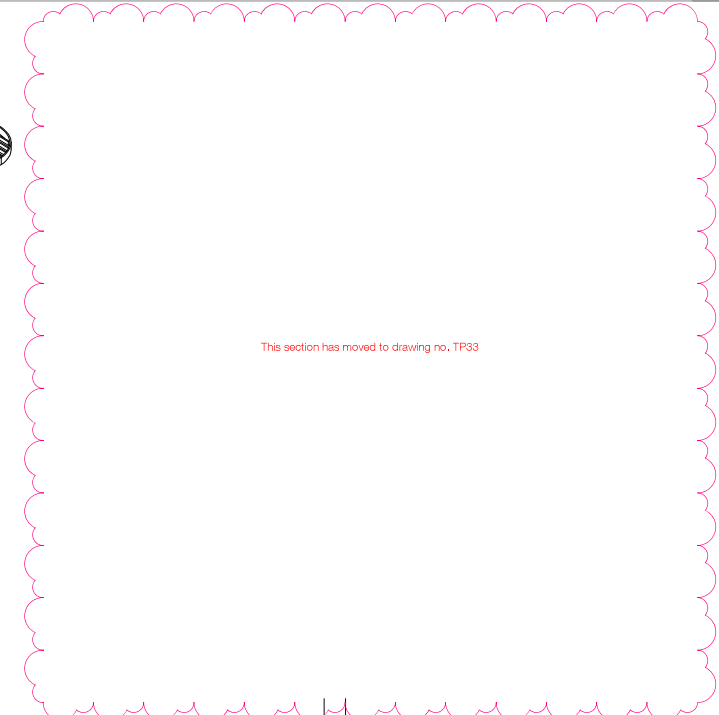
CFC CLADDING B: LIGHT GREY



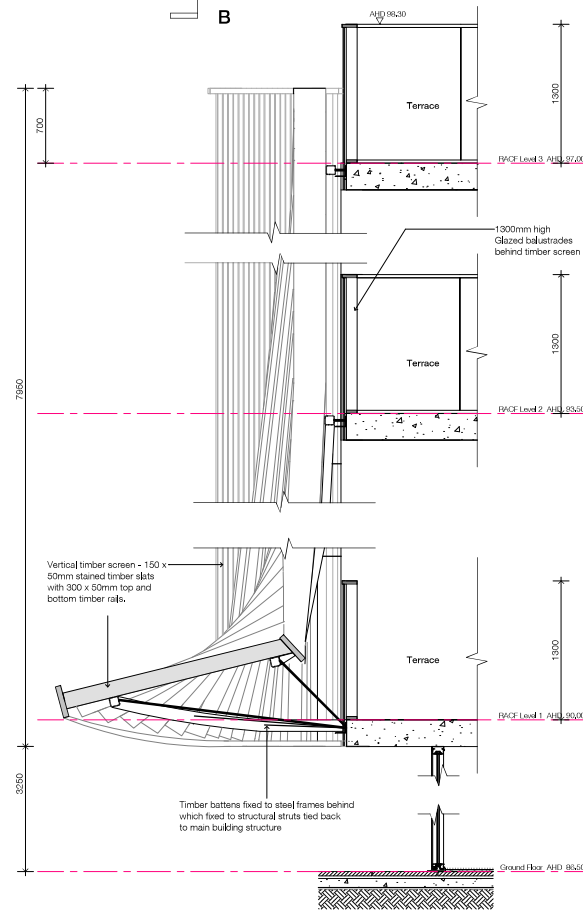
CFC CLADDING C: CHARCOAL



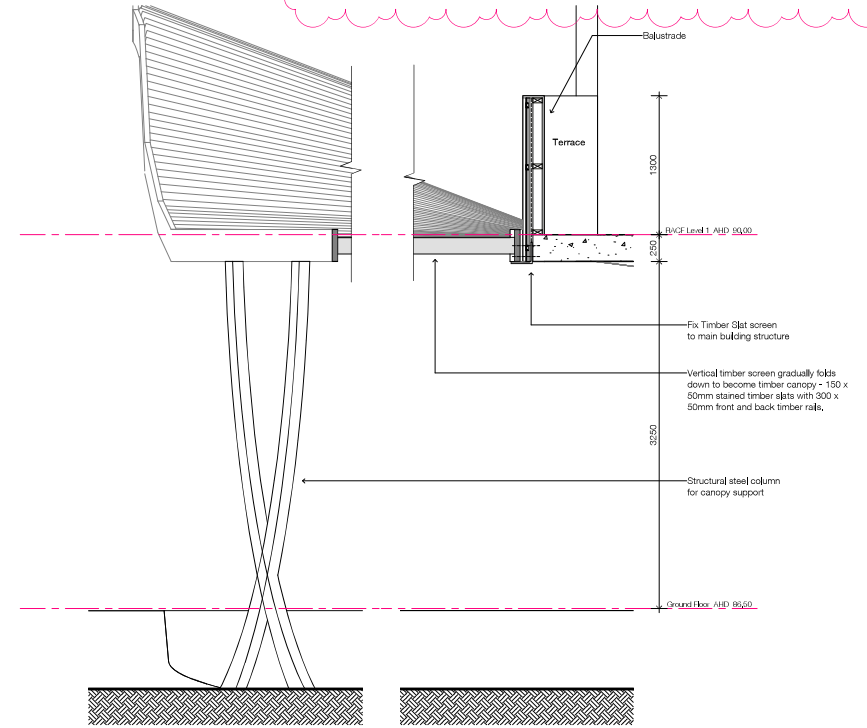
Axonometric view of Vertical Timber Screen



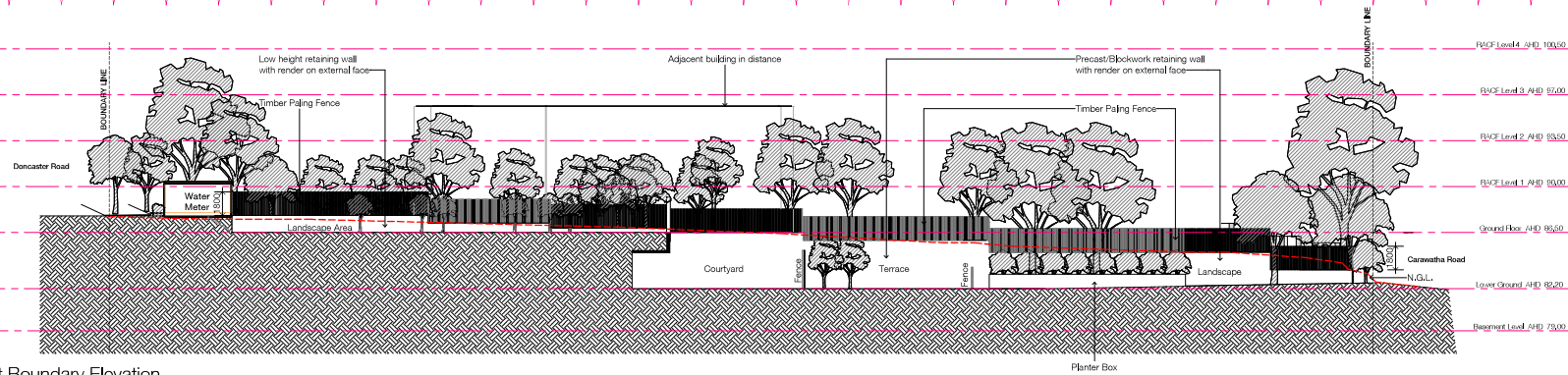
Vertical Timber Screen Section A



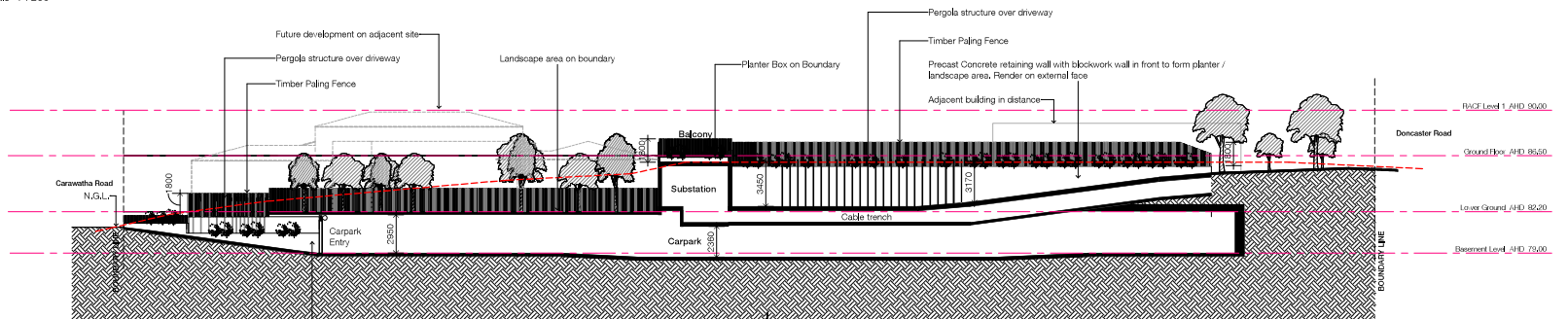
Vertical Timber Screen Section B



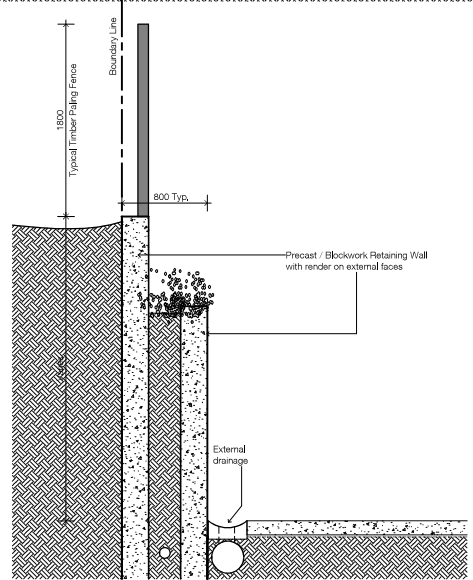
Vertical Timber Screen Section C



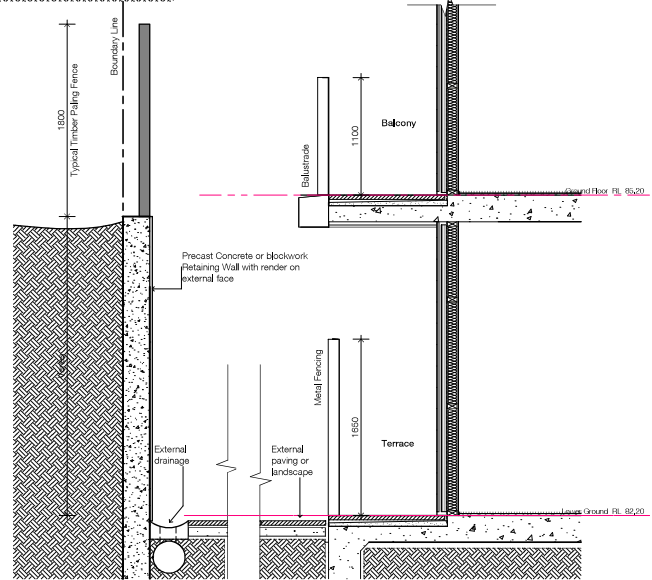
1 East Boundary Elevation
Scale 1 : 200



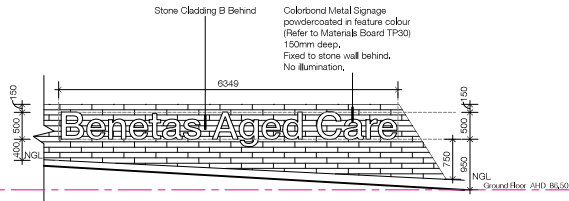
2 West Boundary Elevation
Scale 1 : 200



Typical Section of Retaining Wall on West Boundary

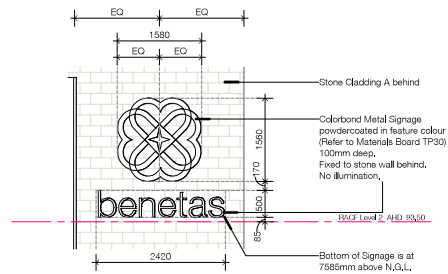


Typical Section of Retaining Wall on East Boundary



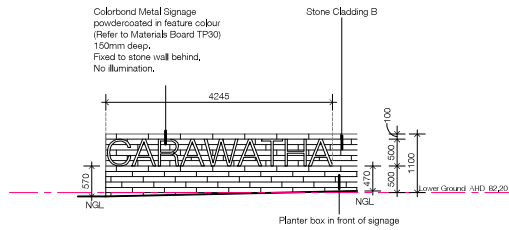
TOTAL AREA OF SIGNAGE: 3.2 m²

Signage 1 - Doncaster Road Signage at Main Entry



TOTAL AREA OF SIGNAGE: 3.7 m²

Signage 2 - Doncaster Road Signage on Building Facade



TOTAL AREA OF SIGNAGE: 2.1 m²

Signage 3 - Carawatha Road Signage

PROPOSED PLANT SCHEDULE - LOWER GROUND LEVEL

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
street trees					
PLA of	<i>Platanus orientalis</i> 'Autumn Glory'	Autumn Glory Plane tree	15 x 10	as shown	200L1, 3.5m high, 50mm cal
PYR cha	<i>Pyrus calleryana</i> 'Chantrelle'	Ornamental Pear	11 x 6	as shown	200L1, 3.5m high, 50mm cal
trees					
ACA imp	<i>Asacia implexa</i>	Lightwood	10 x 6	as shown	45L pot, 2.5 m high
ACE rub	<i>Acer rubrum</i> 'October Glory'	Red Maple	9 x 5	as shown	150L, 3.0m high, 50mm cal
BRa ace	<i>Brachyotum acerifolius</i>	Bobwhite	8 x 7	as shown	150L, 3.0m high, 50mm cal
EUC man	<i>Eucalyptus mannifera</i> sub <i>mauculosa</i>	Red Spotted Gum	15 x 9	as shown	45L pot, 2.2 m high
HYM fla	<i>Hymenocarpum flavum</i>	Native Frangipani	10 x 5	as shown	45L pot, 2.0 m high
MAG gra	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	6 x 3.5	as shown	45L, 2.0m high
MAL spp	<i>Malus spp</i>	Ballerina 'Apples'	6 x 0.5	as shown	as shown
PYR cal	<i>Pyrus calleryana</i> 'Capit'	Ornamental Pear	8 x 3	as shown	45L pot, 2.0m high
TRI lau	<i>Tristanopsis laurina</i> 'Lucious'	Water Gum	8 x 4	as shown	45L pot, 2.5 m high
WAT flo	<i>Waterhousea forbesiana</i>	Weeping Lilyilly	15 x 8	as shown	45L, 2.4m high

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
low shrubs, groundcovers and tufting plants					
COR pul	<i>Correa pulchella</i> 'Little Cat'	Correa	0.5 x 1.0	3 per m2	150mm pot
COR ref	<i>Correa reflexa</i>	Common Correa	0.5 x 1.0	as shown	150mm pot
DIA rev	<i>Dianella revoluta</i>	Black-anther Flax-Lily	0.6 x 0.6m	4 per m2	150mm pot
DIA tas	<i>Dianella tasmanica</i>	Tasman Flax Lily	0.9 x 0.6m	3 per m2	150mm pot
DIE gra	<i>Dietes grandiflora</i>	Wild Iris	1 x 1m	2 per m2	150mm pot
HEB gre	<i>Hebe 'Prudy's Pink'</i>	Hebe	0.6 x 0.6	4 per m2	150mm pot
LAV avo	<i>Lavandula 'Avenue'</i>	Avenue Lavender	0.7 x 0.7	4 per m2	150mm pot
LOM tan	<i>Lomandra longifolia</i> 'Tanika'	Tanika	0.6 x 0.5m	4 per m2	150mm pot
MYO par	<i>Myoporum parvifolium</i>	Creeping Boobiala	pros x 1.0	2 per in m	150mm pot
ROS flo	<i>Rosa 'Flower Carpet'</i>	Carpet Rose	0.6 x 0.6m	4 per m2	200mm pot
ROS off	<i>Rosmarinus officinalis</i> 'Prostrate'	Rosemary 'Blue Lagoon'	0.3 x 1.5	2 per m2	150mm pot
SCA mas	<i>Scariosia 'Mauee Clusters'</i>	Fan Flower	0.3 x 0.6	4 per m2	150mm pot
SYZ bus	<i>Syzygium australe</i> 'Bush Xmas'	Dwarf Lily Pili (clipped)	1 x 1	2 per m2	250mm pot
VIO hed	<i>Viola hederacea</i>	Australian Native Violet	pros x 1.0	2 per in m	150mm pot

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
all shrubs >1.0m high					
BAC cit	<i>Banksia ciliolata</i>	Lemon myrtle (hedge)	5 x 1.5	1 per in m	250mm pot
PHI myo	<i>Phithecia myrsinoides</i> 'Flower Girl'	Waxflower	1.2 x 1	3 per m2	200mm pot
SYZ aus	<i>Syzygium australe</i> 'Pinnada'	Pinnada Brush Cherry (hedge)	5 x 1.2	as shown	250mm pot
WES fru	<i>Westringia fruticosa</i> 'Jervis Gem'	Coast Rosemary (hedge)	1.4 x 0.7	2 per in m	200mm pot

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
climbers					
CIS ant	<i>Cissus antarctica</i>	Kangaroo Vine	climber	as shown	200mm pot
PAN pan	<i>Pandorea pandorana</i>	Wonga-Wonga Vine	climber	as shown	200mm pot

WARNING
BEWARE OF UNDERGROUND SERVICES. THE LOCATIONS OF UNDERGROUND SERVICES ARE INDICATIVE ONLY. THEIR EXACT POSITION SHOULD BE PROVIDED ON SITE DATA LOGS PER 1100.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO SUPERINTENDENT PRIOR TO CONSTRUCTION. FIGURE DIMENSIONS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT PRIOR PERMISSION FROM THE LANDSCAPE ARCHITECT.

STATUS
FOR TOWN PLANNING
NOT FOR CONSTRUCTION

NO.	REVISION	DATE
P	FOR CLIENT REVIEW	21/07/2017
P1	FOR CLIENT REVIEW	21/07/2017
P2	FOR TOWN PLANNING	21/08/2017



- LEGENDS**
- OUTLINE OF BUILDING ABOVE
 - EXISTING TREE TO BE RETAINED
 - PROPOSED DECIDUOUS TREES
 - PROPOSED EVERGREEN TREES
 - PROPOSED SHRUBS
 - PROPOSED GARDEN BED PLANTING
 - PROPOSED RAISED PLANTER BOXES
 - STRUCTURE FOR CLIMBING VINES
 - PROPOSED DECK
 - PROPOSED PAVED AREA - TYPE 1
 - PROPOSED PAVED AREA - TYPE 2
 - PROPOSED PAVED AREA - TYPE 4
 - PROPOSED EXPOSED AGGREGATE CONCRETE - TYPE 1
 - PROPOSED EXPOSED AGGREGATE CONCRETE - TYPE 2
 - PROPOSED SEATING
 - PROPOSED FEATURE DESTINATIONS
 - PROPOSED SCULPTURE

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hansen
CLIENT

Benetas
1/78 Toorak Rd
Hawthorn East

PROJECT
534-540 Doncaster Road, Doncaster

DRAWING TITLE
Landscape Plan
Lower Ground Floor

DRAWN CS CHECKED KJ SCALE A1 1:200 A3 1:400



PLOT DATE 21/08/2017 JOB NUMBER 17.088 CLIENT REF - DRAWING NUMBER - REV -

LCD-001 **P2**

WARNING
 BEFORE UNDERTAKING WORK, THE LOCATION OF UNDERGROUND SERVICES ARE INDICATED BY THE POSITION SHOWN ON THIS DRAWING. THE ACTUAL POSITION SHOULD BE CHECKED ON SITE.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO SUPPLIER IMMEDIATELY. TO CONSTRUCTORS: PLANTING DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ALL DRAWINGS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.

STATUS
FOR TOWN PLANNING
NOT FOR CONSTRUCTION

NO.	REVISION	DATE
P	FOR CLIENT REVIEW	21/07/2017
P1	FOR TOWN PLANNING	21/08/2017

LEGENDS

- OUTLINE OF BUILDING ABOVE
- EXISTING TREE TO BE RETAINED
- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS
- PROPOSED GARDEN BED PLANTING
- PROPOSED RAISED PLANTER BOXES
- STRUCTURE FOR CLIMBING VINES
- PROPOSED DECK
- PROPOSED PAVED AREA - TYPE 1
- PROPOSED PAVED AREA - TYPE 2
- PROPOSED EXPOSED AGGREGATE CONCRETE - TYPE 1
- PROPOSED SEATING



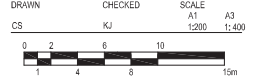
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CLIENT
Benetas
 17/83 Toorak Rd
 Hawthorn East

PROJECT
534-540 Doncaster Road, Doncaster

DRAWING TITLE
Landscape Plan
Ground Level Floor



PLOT DATE	JOB NUMBER	CLIENT REF
21/08/2017	17,288	-

DRAWING NUMBER: REV:

DONCASTER ROAD



WARNING
 BEWARE OF UNDERGROUND SERVICES. THE LOCATION OF UNDERGROUND SERVICES ARE INDICATED BY THE GREEN DOT POSITION. IT SHOULD BE PROVEN ON SITE.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO SUPPLIER IMMEDIATELY. TO CONSTRUCTION. PLANNING DRAWINGS TO BE TAKEN IN PREFERENCE TO SCALED DIMENSIONS. ALL DRAWINGS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT PERMISSION FROM THE LANDSCAPE ARCHITECT.

STATUS
FOR TOWN PLANNING
 NOT FOR CONSTRUCTION

NO.	REVISION	DATE
P.	FOR TOWN PLANNING	21/08/2017

LEGENDS

- OUTLINE OF BUILDING ABOVE
- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS
- 1.2M NATURE STRIP
- RAISED PLANTER BOXES
- STRUCTURE FOR CLIMBING VINES
- TIMBER DECK
- 300 X 300 QUARTZSTONE PAVER
- 600 X 300 BLUESTONE PAVER
- 100 X 100 COBBLESTONE BORDER PAVER
- EXPOSED AGGREGATE CONCRETE
- SEATING WITH TIMBER SLATS
- PROPOSED SCULPTURE

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hansen
 CLIENT
Benetas
 17/83 Toorak Rd
 Hawthorn East

PROJECT
 534-540 Doncaster Road, Doncaster

DRAWING TITLE
Boulevard Detail Plan
 Ground Level Floor

DRAWN: CS CHECKED: KJ SCALE: A1 1:100 A3 1:200

PLOT DATE: 21/08/2017 JOB NUMBER: 17,088 CLIENT REF: -
 DRAWING NUMBER: REV: -

LCD-003 **P**

PROPOSED PLANT SCHEDULE - LEVEL 1

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
trees					
ACEpal	<i>Acer palmatum 'Elegant'</i>	Upright Japanese maple	4 x 3	as shown	45L pot, 2.0m high
ACEfru	<i>Acer vitaceum 'October Glory'</i>	Red Maple	9 x 6	as shown	150L, 3.0m high, 50mm cal
FICmic	<i>Ficus microcarpa 'hill Flash'</i>	Hill Fig	6 x 3	as shown	2.4m in '00B pot
LAGstr	<i>Lagerstrœmia indica x. faunei 'Sioux'</i>	Crape Myrtle	4 x 3	as shown	2.2m in '00B pot
PHYcal	<i>Pyrus salweena 'Copial'</i>	Ornamental Pear	8 x 3	as shown	45L pot, 2.3m high
TRIba	<i>Tridentata laevis 'Luscous'</i>	Water Gum	8 x 4	as shown	45L pot, 2.4m high
LIVAus	<i>Larocsa australis</i>	Cabbage-tree Palm	20 x 6	as shown	

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
Tall Shrubs >1.8m high					
S'Zaus	<i>Syzygium australe 'Pinnacle'</i>	Pinnacle Bush Cherry	5 x 1.2	750mm	250mm pot
JUNchi	<i>Juniperus chinensis 'Spartan'</i>	Spartan Juniper	9 x 3	as shown	300mm pot
BAMtee	<i>Bambusa nuda 'Breviflora'</i>	Bamboo	5 x 1	750mm	200mm bag
MURpan	<i>Murraya paniculata</i>	Orange Jessamine (clipped)	1.8 x 1.5	500mm	200mm pot

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
low shrubs, groundcovers and tufting plants					
CLIlin	<i>Clivia miniata</i>	Kaffir Lily	0.4 x 0.5	4 per m ²	150mm pot
CORalb	<i>Corea abacomyad 'White Cores'</i>	Dwarf White Correa	0.3 x 1.0	4 per m ²	150mm pot
C'Yrev	<i>Cycas revoluta</i>	Sago Palm	3 x 2	as shown	400mm pot
DA'Posto	<i>Daphne genkwa</i>	Water Dogwood	1 x 1	2 per m ²	200mm pot
DIA'las	<i>Daveya tomentosa 'Tasard'</i>	Tasard Flax Lily	0.6 x 0.6	4 per m ²	150mm pot
HEBpre	<i>Helleborus 'Pink'</i>	Helle	0.6 x 0.6	4 per m ²	150mm pot
HOSblu	<i>Hosta 'Blue Hawaii'</i>	Hosta	0.6 x 0.9	4 per m ²	150mm pot
LIRrus	<i>Liriodendron 'Narrow White'</i>	White Liriodendron	0.4 x 0.4	6 per m ²	100mm pot
PLEarg	<i>Platanus argentifolia</i>	Silver Platanus	0.4 x 0.6	3 per m ²	150mm pot
S'Zbus	<i>Syzygium australe 'Buen Xinas'</i>	Dwarf Lily Pilly (clipped)	1 x 1	500mm	250mm pot
S'Rreg	<i>Struthio reginae</i>	Dwarf Bird of Paradise	1 x 1.5m	2 per m ²	250mm pot
WESdwa	<i>Wandoo 'Grey Box'</i>	Dwarf Wandoo	0.3 x 0.3	5 per m ²	150mm pot
VIDled	<i>Viburnum 'Luscous'</i>	Naive Viburnum	0.1 x 1.0	4 per m ²	150mm pot

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
climbers					
PARtr	<i>Parthenocissus tricuspidata</i>	Bobbin Ivy	to height	as shown	200mm pot
TRA'as	<i>Trachelospermum jasminoides</i>	Chinese Star Jasmine	to height	as shown	200mm pot

SENSORY PLANTING

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
plants					
PLTom	<i>Petalostemum tomentosum</i>	Peppermint geranium	0.8 x 0.8	2 per m ²	150mm pot
B'RMes	<i>Brickellia megastylis</i>	Brown Brickellia	0.7 x 0.7	3 per m ²	150mm pot
MURpas	<i>Murraya paniculata</i>	Orange Jessamine (clipped)	1.8 x 1.5	2 per in m	200mm pot
C'JRpla	<i>Calceolaria speciosa</i>	Curry plant	0.5 x 0.5	3 per m ²	150mm pot
SIAbye	<i>Stachys byzantina</i>	Lamb's Ears	0.3 x 0.5	3 per m ²	150mm pot
ONImer	<i>Origanum onites</i>	Majoram	0.5 x 0.5	4 per m ²	150mm pot
SALoff	<i>Salvia officinalis</i>	Sage	0.5 x 0.5	2 per m ²	150mm pot
MENvir	<i>Mentha viridis</i>	Common Mint	0.45 x 0.9	4 per m ²	150mm pot
TYTvir	<i>Thymus vulgaris 'Argentea'</i>	Silver Thyme	0.3 x 0.5	6 per m ²	150mm pot
ROSoff	<i>Rosmarinus officinalis 'Prostratus'</i>	Prostrate Rosemary	prostr x 1.0	2 per in m	150mm pot
TYTpra	<i>Thymus praecox</i>	Creeping Thyme	prostr x 1.0	4 per m ²	150mm pot
ONIval	<i>Origanum vulgare</i>	Origano	0.2 x 0.5	4 per m ²	150mm pot



WARNING
 BEFORE ANY UNDERGROUND SERVICES, THE LOCATION OF UNDERGROUND SERVICES ARE INDICATED BY THE DOTTED LINE POSITION SHOULD BE CHECKED ON SITE.
 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. VERIFY ALL DIMENSIONS TO EXISTING CONCRETE WORK TO CONSTRUCTION. MARKS ON DRAWINGS TO BE CHECKED BEFORE TO BE CALLED. DIMENSIONS ALL DIMENSIONS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT THE PERMISSION FROM THE LANDSCAPE ARCHITECT.

STATUS
FOR TOWN PLANNING
NOT FOR CONSTRUCTION

NO.	REVISION	DATE
P	FOR CLIENT REVIEW	21/07/2017
P1	FOR CLIENT REVIEW	27/07/2017
P2	FOR TOWN PLANNING	21/08/2017

- LEGENDS**
- OUTLINE OF BUILDING ABOVE
 - EXISTING TREE TO BE RETAINED
 - PROPOSED DECIDUOUS TREES
 - PROPOSED EVERGREEN TREES
 - PROPOSED SHRUBS
 - PROPOSED GARDEN BED PLANTING
 - PROPOSED RAISED PLANTER BOXES
 - STRUCTURE FOR CLIMBING VINES
 - PROPOSED DECK
 - PROPOSED PAVED AREA - TYPE 1
 - PROPOSED PAVED AREA - TYPE 2
 - PROPOSED PAVED AREA - TYPE 4
 - PROPOSED EXPOSED AGGREGATE CONCRETE - TYPE 1
 - PROPOSED EXPOSED AGGREGATE CONCRETE - TYPE 2
 - PROPOSED SEATING

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 CLIENT
Benetas
 17/82 Toorak Rd
 Hawthorn East

PROJECT
 534-540 Doncaster Road, Doncaster

DRAWING TITLE
Landscape Plan
Level 1

DRAWN	CHECKED	SCALE
CS	KJ	A1 1:200
		A3 1:400

PLOT DATE	JOB NUMBER	CLIENT REF
21/08/2017	17288	

DRAWING NUMBER: LCD-004
 REV: P2

PROPOSED PLANT SCHEDULE - LEVEL 2

Climbers				
PAR 1H	<i>Parthenocissus tricuspidata</i>	Boston Ivy	to 6m height as shown	200mm pot
TRA 1A	<i>Trachelospermum jasminoides</i>	Chinese Star Jasmine	climber as shown	200mm pot



WARNING
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CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO SUPERINTENDENT PRIOR TO CONSTRUCTION. PLANTER DIMENSIONS TO BE FROM EXTERIOR FACE TO SCALD DIMENSIONS. ALL DIMENSIONS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT PRIOR PERMISSION FROM THE LANDSCAPE ARCHITECT.

STATUS
FOR TOWN PLANNING
 NOT FOR CONSTRUCTION

NO.	REVISION	DATE
P	FOR CLIENT REVIEW	21/07/2017
P1	FOR TOWN PLANNING	21/08/2017

LEGENDS

- OUTLINE OF BUILDING ABOVE
- EXISTING TREE TO BE RETAINED
- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS
- PROPOSED GARDEN BED PLANTING
- PROPOSED RAISED PLANTER BOXES
- STRUCTURE FOR CLIMBING VINES
- PROPOSED DECK
- PROPOSED PAVED AREA - TYPE 1
- PROPOSED PAVED AREA - TYPE 2
- PROPOSED PAVED AREA - TYPE 4
- PROPOSED EXPOSED AGGREGATE CONCRETE - TYPE 1
- PROPOSED EXPOSED AGGREGATE CONCRETE - TYPE 2
- PROPOSED SEATING

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PROJECT
 534-540 Doncaster Road, Doncaster

DRAWING TITLE
Landscape Plan
 Level 2

DRAWN	CHECKED	SCALE
CS	KJ	A1 1:200 A3 1:400

PLOT DATE	JOB NUMBER	CLIENT REF
21/08/2017	17,088	-

DRAWING NUMBER
LCD-005

REV
P1

PROPOSED PLANT SCHEDULE - LEVEL 3

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
trees					
ACE pal	<i>Acer palmatum 'Elegans'</i>	Upright Japanese Maple	4 x 3	as shown	45L pot, 2.0 m high
ACE sub	<i>Acer rubrum 'October Glory'</i>	Red Maple	9 x 5	as shown	150L, 3.0m high, 50cm dia
FIC mic	<i>Ficus microcarpa Hilli 'Star'</i>	Hills Fig	6 x 3	as shown	2.4m in 100L pot
LAG str	<i>Lagerströmia indica x L. laurifolia 'Sibou'</i>	Creeper Myrtle	4 x 3	as shown	2.2m in 100L pot
PAR cal	<i>Pyrus calleryana 'Capital'</i>	Ornamental Pear	8 x 3	as shown	45L pot, 2.0m high
TRI lau	<i>Tristania laurina 'Luscious'</i>	Water Gum	8 x 4	as shown	45L pot, 2.5 m high
Tall Shrubs >1.0m high					
SYZ aus	<i>Syzygium australe 'Pinnade'</i>	Pinnade Brush Cherry	5 x 1.2	750mm	250mm pot
JUN chi	<i>Juniperus chinensis 'Spartan'</i>	Spartan Juniper	9 x 3	as shown	300mm pot
BAM tex	<i>Bambusa textilis 'Gracile'</i>	Bamboo	5 x 1	750mm	200mm bag
MUR pa1	<i>Murraya paniculata</i>	Orange Jessamine (clipped)	1.8 x 1.5	580mm	200mm pot
low shrubs, groundcovers and tufting plants					
CUI min	<i>Cissampelos</i>	Kaffe Lily	0.4 x 0.5	4 per m ²	150mm pot
COR alb	<i>Correa alba compact 'White Correa'</i>	Dwarf White Correa	0.3 x 1.0	4 per m ²	150mm pot
CYC ev	<i>Cycas revoluta</i>	Sago Palm	3 x 2	as shown	400mm pot
DAP ode	<i>Daphne odora</i>	Winter Daphne	1 x 1	2 per m ²	200mm pot
DIA las	<i>Dianella laevis 'Tasard'</i>	Tasard Dianella	0.6 x 0.6	4 per m ²	150mm pot
HEB jre	<i>Hebe 'Pretty/Pink'</i>	Hebe	0.6 x 0.6	4 per m ²	150mm pot
HOS blu	<i>Hosta 'Blue Hawaii'</i>	Hosta	0.6 x 0.9	4 per m ²	150mm pot
LIR mus	<i>Liriodendron muscari 'Morrice White'</i>	White Liriodendron	0.4 x 0.4	3 per m ²	100mm pot
PLE arg	<i>Plectranthus argenteus</i>	Silver Plectranthus	0.4 x 0.6	3 per m ²	150mm pot
SYZ bus	<i>Syzygium australe 'Bush Xmas'</i>	Dwarf Lily Fly (clipped)	1 x 1	580mm	250mm pot
STR reg	<i>Stralitzia reginae</i>	Dwarf Bird of Paradise	1 x 1.5m	2 per m ²	250mm pot
WIS dwa	<i>Westringia 'Grey Box'</i>	Dwarf Westringia	0.3 x 0.3	3 per m ²	150mm pot
VD red	<i>Viola hedraea</i>	Naive Violet	0.1 x 1.0	4 per m ²	150mm pot
climbers					
PAR tri	<i>Parthenocissus tricuspidata</i>	Boston Ivy	b 6m height as shown	200mm pot	
TRA ps	<i>Trachelogermium Jasminoides</i>	Chinese Star Jasmine	climber as shown	200mm pot	

SENSORY PLANTING

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
plants					
PEL tom	<i>Piper geranium 'Bonenseum'</i>	Peppermint geranium	0.8 x 0.8	2 per m ²	150mm pot
BDR neg	<i>Bacopa negundo</i>	Brown Boonah	0.7 x 0.7	3 per m ²	150mm pot
MUR pas	<i>Murraya paniculata</i>	Orange Jessamine (clipped)	1.8 x 1.5	2 per m ²	200mm pot
CJR pla	<i>Halothryum saffordii</i>	Curry plant	0.5 x 0.5	3 per m ²	150mm pot
STA byz	<i>Statice byzantina</i>	Lamb's Ears	0.3 x 0.5	3 per m ²	150mm pot
ORI mar	<i>Origanum marjorana</i>	Marjoram	prostrate	4 per m ²	150mm pot
S.M. off	<i>Salvia officinalis</i>	Sage	0.5 x 0.5	2 per m ²	150mm pot
MEN vir	<i>Mentha arvensis</i>	Common Mint	0.45 x 0.9	4 per m ²	150mm pot
TRI vul	<i>Thymus vulgaris 'Argenteus'</i>	Silver Thyme	0.3 x 0.5	6 per m ²	150mm pot
RZ off	<i>Rosmarinus officinalis 'Prostratus'</i>	Prostrate Rosemary	prostr x 1.0	2 per m ²	150mm pot
TRV pra	<i>Thymus praecox</i>	Creeeping Thyme	prostr x 1.0	4 per m ²	150mm pot
ORI vul	<i>Origanum vulgare</i>	Oregano	0.2 x 0.5	4 per m ²	150mm pot



WARNING
 BEFORE ANY UNDERGROUND SERVICES, THE LOCATION OF UNDERGROUND SERVICES ARE INDICATED BY THE RED DOTTED LINE. POSITION SHOULD BE CHECKED ON SITE.

CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. VERIFY ALL DIMENSIONS TO SURROUNDING EXISTING TO CONSTRUCTION. MARKS ON DRAWINGS TO BE CHECKED ON SITE TO VALID DIMENSIONS. ALL DIMENSIONS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT THE PERMISSION FROM THE LANDSCAPE ARCHITECT.

STATUS
**FOR TOWN PLANNING
 NOT FOR CONSTRUCTION**

NO.	REVISION	DATE
P	FOR CLIENT REVIEW	21/07/2017
P1	FOR TOWN PLANNING	21/08/2017

LEGENDS

- OUTLINE OF BUILDING ABOVE
- EXISTING TREE TO BE RETAINED
- PROPOSED DECIDUOUS TREES
- PROPOSED EVERGREEN TREES
- PROPOSED SHRUBS
- PROPOSED GARDEN BED PLANTING
- PROPOSED RAISED PLANTER BOXES
- STRUCTURE FOR CLIMBING VINES
- PROPOSED DECK
- PROPOSED PAVED AREA - TYPE 1
- PROPOSED PAVED AREA - TYPE 2
- PROPOSED PAVED AREA - TYPE 4
- PROPOSED EXPOSED AGGREGATE CONCRETE - TYPE 1
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- PROPOSED SEATING

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 1782 Toorak Rd
 Hawthorn East

PROJECT
534-540 Doncaster Road, Doncaster

DRAWING TITLE
**Landscape Plan
 Level 3**

DRAWN	CHECKED	SCALE
CS	KJ	A1 1:200
		A3 1:400

PLOT DATE	JOB NUMBER	CLIENT REF
21/08/2017	17288	-

DRAWING NUMBER: **LCD-006** REV

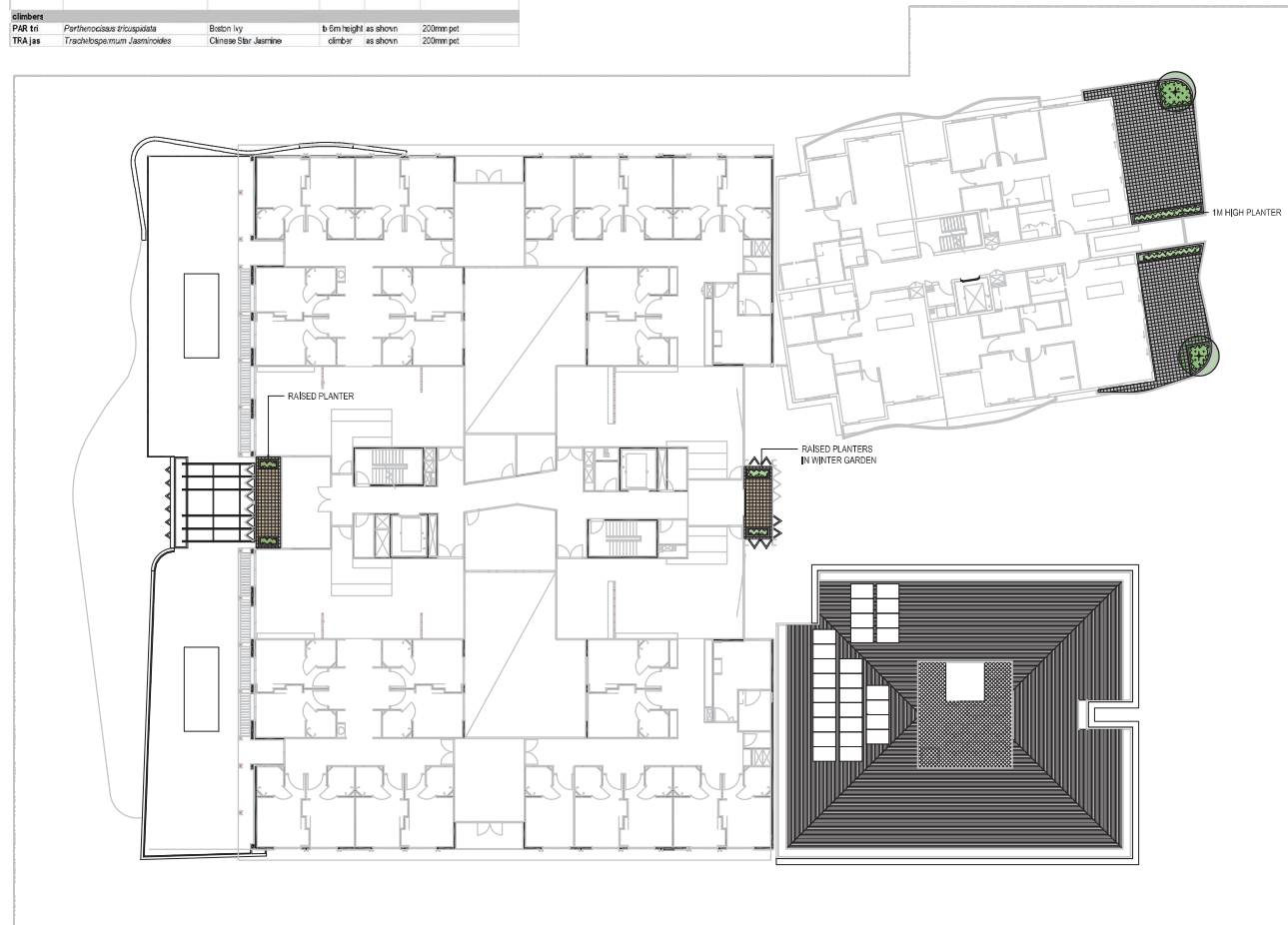
P1

PROPOSED PLANT SCHEDULE - LEVEL 4

code	botanical name	common name	typical size (h x w - m)	spacing	installed size
trees					
ACE pal	<i>Acer palmatum</i> 'Elegant'	Upright Japanese Maple	4 x 3	as shown	45L pot, 2.0m high
ACE rub	<i>Acer rubrum</i> 'October Glory'	Red Maple	9 x 5	as shown	150L, 3.0m high, 60cm cal
FIC mie	<i>Ficus microcarpa</i> 'hill Flash'	Hill Fig	6 x 3	as shown	2.4m in 100L pot
LAG str	<i>Lagerstroemia indica</i> x 'Ivorie' 'Sioux'	Cape Myrtle	4 x 3	as shown	2.2m in 100L pot
PIR cal	<i>Pyrus calleryana</i> 'Cappella'	Ornamental Pear	8 x 3	as shown	45L pot, 2.0m high
TRI lau	<i>Tristania laurina</i> 'Lustous'	Wiker Gum	8 x 4	as shown	45L pot, 2.5m high
Tall Shrubs >1.0m high					
STZ aus	<i>Syzygium australe</i> 'Parade'	Parade Bush/Cherry	5 x 1.2	750mm	250mm pot
JUN chi	<i>Jungferns chinesis</i> 'Spartan'	Spartan Juniper	9 x 3	as shown	300mm pot
BAM tex	<i>Bambusa textilis</i> 'Gracilis'	Bamboo	5 x 1	750mm	200mm bag
MUR pa1	<i>Murraya paniculata</i>	Orange Jessamine (clipped)	1.8 x 1.5	500mm	200mm pot
low shrubs, groundcovers and tufting plants					
CLI min	<i>Clivia miniata</i>	Killif Lily	0.4 x 0.5	4 per m ²	150mm pot
COR alb	<i>Correa alba</i> compact 'White Correa'	Dwarf White Correa	0.3 x 1.0	4 per m ²	150mm pot
CYC rev	<i>Cycas revoluta</i>	Sago Palm	3 x 2	as shown	400mm pot
DAP oda	<i>Daphne odora</i>	Wiker Dogbane	1 x 1	2 per m ²	200mm pot
DIA tas	<i>Dianella tasmanica</i> 'Tasend'	Tasend Flax Lily	0.6 x 0.6	4 per m ²	150mm pot
HEB pre	<i>Hebe pectinifera</i>	Hebe	0.6 x 0.6	4 per m ²	150mm pot
HOS blu	<i>Hosta Blue Hawaii</i>	Hosta	0.6 x 0.9	4 per m ²	150mm pot
LIR mus	<i>Liriodendron muscicola</i> 'Missoua White'	White Liriodendron	0.4 x 0.4	3 per m ²	100mm pot
PLE ang	<i>Plectranthus argenteus</i>	Silver Plectranthus	0.4 x 0.6	3 per m ²	150mm pot
STZ bus	<i>Syzygium australe</i> 'Bush Xmas'	Dwarf Lily Ply (clipped)	1 x 1	500mm	250mm pot
STR reg	<i>Streptocarpus reginae</i>	Dwarf Bird of Paradise	1 x 1.5m	2 per m ²	250mm pot
WES dno	<i>Westringia Grey Box</i>	Dwarf Westringia	0.3 x 0.3	3 per m ²	150mm pot
VID hed	<i>Viburnum hederae</i>	Native Violet	0.1 x 0.1	4 per m ²	150mm pot
climbers					
PAR tri	<i>Perthoocissus tricuspidata</i>	Boston Ivy	b 6m height	as shown	200mm pot
TRA jas	<i>Trachelopogon jasminoides</i>	Chinese Star Jasmine	climber	as shown	200mm pot

SENSORY PLANTING

code	botanical name	common name	typical size (h x w - m)	spacing	natural size
plants					
PEL tom	<i>Peperomia tomentosa</i>	Peperomia geranium	0.8 x 0.8	2 per m ²	150mm pot
B OR meg	<i>Boronia megastigma</i>	Brown Boronia	0.7 x 0.7	3 per m ²	150mm pot
MUR pa1	<i>Murraya paniculata</i>	Orange Jessamine (clipped)	1.8 x 1.5	2 per lin.m	200mm pot
CUR pla	<i>Curatella platensis</i>	Curry plant	0.5 x 0.5	3 per m ²	150mm pot
STA bay	<i>Stachys baylisii</i>	Lamb's Ears	0.3 x 0.5	3 per m ²	150mm pot
ORI mar	<i>Origanum marjorana</i>	Marjoram	prostrata	4 per m ²	150mm pot
SAL off	<i>Salvia officinalis</i>	Sage	0.5 x 0.5	2 per m ²	150mm pot
MEN vir	<i>Mentha viridis</i>	Common Mint	0.45 x 0.9	4 per m ²	150mm pot
THY wal	<i>Thymus vulgaris</i> 'Argenteus'	Silver Thyme	0.3 x 0.5	6 per m ²	150mm pot
ROS off	<i>Rosmarinus officinalis</i> 'Prostratus'	Prostrate Rosemary	prostr 1.0	2 per lin.m	150mm pot
THY pra	<i>Thymus praecox</i>	Creeping Thyme	prostr 1.0	4 per m ²	150mm pot
ORI vul	<i>Origanum vulgare</i>	Oregano	0.2 x 0.5	4 per m ²	150mm pot



WARNING
 BEWARE OF UNDERGROUND SERVICES. THE LOCATIONS OF UNDERGROUND SERVICES ARE INDICATED ONLY. THEIR EXACT POSITION SHOULD BE CHECKED ON SITE BY A QUALIFIED PERSON.
 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. VERIFY ALL DIMENSIONS TO SUPERINTENDENT PRIOR TO CONSTRUCTION. REQUIRED DIMENSIONS TO BE CHECKED IN PRESENCE OF DESIGNER. ALL DIMENSIONS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT PRIOR PERMISSION FROM THE LANDSCAPE ARCHITECT.
STATUS
FOR TOWN PLANNING NOT FOR CONSTRUCTION
 NO. REVISION DATE
 P FOR CLIENT REVIEW 2/10/2017
 P1 FOR TOWN PLANNING 07/08/2017
 P2 FOR TOWN PLANNING 2/10/2017

LEGENDS

 PROPOSED EVERGREEN TREES
 PROPOSED RAISED PLANTER BOXES
 PROPOSED PAVED AREA - TYPE 2
 PROPOSED PAVED AREA - TYPE 3

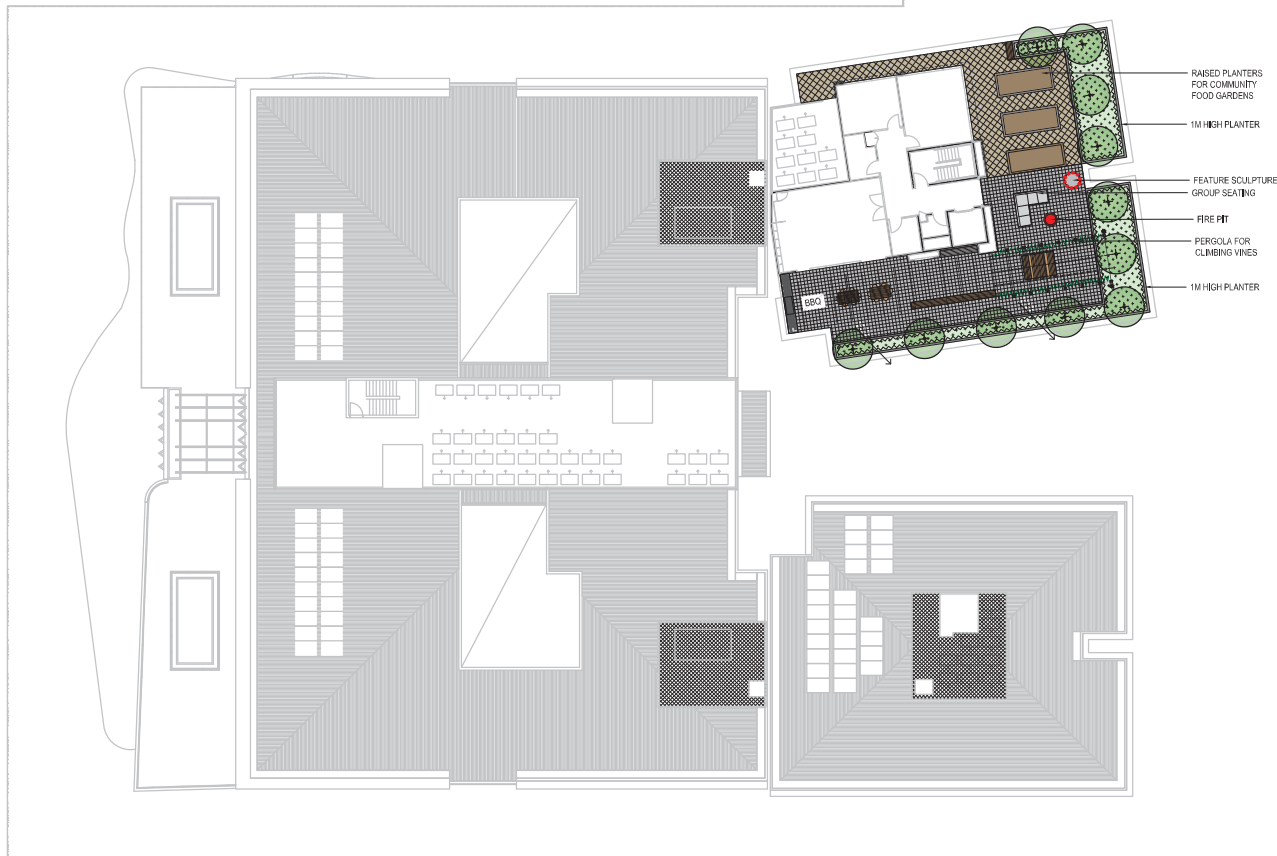
hansen
 CLIENT
 Benelas
 1/789 Toorak Rd
 Hawthorn East
 PROJECT
 534-540 Doncaster Road, Doncaster
 DRAWING TITLE
 Landscape Plan
 Level 4
 DRAWN CHECKED SCALE
 CS KJ AT A3
 1:200 1:400
 0 2 4 6 8 10 15m
 PLOT DATE JOB NUMBER CLIENT REF
 21/08/2017 17288 -
 DRAWING NUMBER REV
 LCD-007 P2

PROPOSED PLANT SCHEDULE - ROOF

code	botanical name	common name	typical size (h x w x m)	spacing	installed size
trees					
ACE pal	<i>Acer palmatum 'Elegans'</i>	Upright Japanese maple	4 x 3	as shown	45L pot, 2.0 m high
ACE rub	<i>Acer rubrum 'October Glory'</i>	Red Maple	9 x 5	as shown	150L, 3.0m high, 50mm cal
FIC fic	<i>Ficus monochroma 'hill Flaxy'</i>	Hill Fig	6 x 3	as shown	2.4m in 1000 pot
LAG str	<i>Lagerstroemia indica x L. fauriei 'Sioux'</i>	Crape Myrtle	4 X3	as shown	2.2m in 1000 pot
PYR cal	<i>Pyrus calleryana 'Capital'</i>	Ornamental Pear	8 x 3	as shown	45L pot, 2.0m high
TRI lau	<i>Tristania laurina 'Luscious'</i>	Water Gum	8 x 4	as shown	45L pot, 2.5 m high
Tall Shrubs >1.0m high					
STZ aus	<i>Syzygium australe 'Pinnacle'</i>	Pinnacle Brush Cherry	5 x 1.2	750mm	250mm pot
JUN chi	<i>Juniperus chinensis 'Spartan'</i>	Spartan Juniper	9 x 3	as shown	300mm pot
BAM tea	<i>Bambusa tootsie 'Gardol'</i>	Bamboo	5 x 1	750mm	200mm bag
MUR pa1	<i>Murraya paniculata</i>	Orange Jessamine (clipped)	1.8 x 1.5	500mm	200mm pot
low shrubs, groundcovers and lifting plants					
CLI min	<i>Clivia miniata</i>	Kaffi Lily	0.4 x 0.5	1 per m ²	150mm pot
CCF alb	<i>Cornus alba compact 'White Coveal'</i>	Dwarf White Cornea	0.3 x 1.0	1 per m ²	150mm pot
CYC rev	<i>Cycas revoluta</i>	Sago Palm	3 x 2	as shown	400mm pot
DAP oda	<i>Daphne odora</i>	Winter Daphne	1 x 1	2 per m ²	200mm pot
DIA tas	<i>Dianella tasmanica 'Tasred'</i>	Tasred Flax Lily	0.6 x 0.6	1 per m ²	150mm pot
HEB pre	<i>Hebe 'PreppyPink'</i>	Hebe	0.6 x 0.6	1 per m ²	150mm pot
HOE blu	<i>Hosta Blue Hawaii'</i>	Hosta	0.6 x 0.9	1 per m ²	150mm pot
LIR mus	<i>Liriodendron muscari 'Mozoo White'</i>	White Liriope	0.4 x 0.4	3 per m ²	100mm pot
PLE arg	<i>Plectranthus argenteus</i>	Silver Plectranthus	0.4 x 0.6	3 per m ²	150mm pot
S'Z bus	<i>Syzygium australe 'Bush Xmas'</i>	Dwarf Lily Pili (clipped)	1 x 1	500mm	250mm pot
STR reg	<i>Strelitzia reginae</i>	Dwarf Bird of Paradise	1 x 1.3m	2 per m ²	250mm pot
WES dwa	<i>Westringia 'Grey Box'</i>	Dwarf Westringia	0.3 x 0.3	5 per m ²	150mm pot
VID hed	<i>Viola hederacea</i>	Native Violet	0.1 x 0.1	1 per m ²	150mm pot
climbers					
PAR tri	<i>Parthenocissus tricuspidata</i>	Boston Ivy	b 6m height as shown		200mm pot
TRA jas	<i>Trachelospermum jasminoides</i>	Chinese Star Jasmine	climber as shown		200mm pot

SENSORY PLANTING

code	botanical name	common name	typical size (h x w x m)	spacing	installed size
plants					
PEL tom	<i>Petergorum roseotomum</i>	Peppermint geranium	0.8 x 0.8	2 per m ²	150mm pot
BOR meg	<i>Boronia megastigma</i>	Brown Boronia	0.7 x 0.7	3 per m ²	150mm pot
MUR pas	<i>Murraya paniculata</i>	Orange Jessamine (clipped)	1.8 x 1.5	2 per in m ²	200mm pot
CJR pla	<i>Helichrysum italicum</i>	Curry plant	0.5 x 0.5	3 per m ²	150mm pot
STA byz	<i>Stachys byzantina</i>	Lamb's Ears	0.3 x 0.5	3 per m ²	150mm pot
OVI mar	<i>Origanum maritima</i>	Marjoram	prostrate	4 per m ²	150mm pot
SAL off	<i>Salvia officinalis</i>	Sage	0.5 x 0.5	2 per m ²	150mm pot
MEN vir	<i>Mentha eridoides</i>	Common Mint	0.45 x 0.9	4 per m ²	150mm pot
THY vul	<i>Thymus vulgaris 'Argenteus'</i>	Silver Thyme	0.3 x 0.5	6 per m ²	150mm pot
ROS off	<i>Rosmarinus officinalis 'Prostratus'</i>	Prostrate Rosemary	prostr x 1.0	2 per in m ²	150mm pot
THY gra	<i>Thymus serpyllor</i>	Creeeping Thyme	prostr x 1.0	4 per m ²	150mm pot
OVI vul	<i>Origanum vulgare</i>	Oregano	0.2 x 0.5	4 per m ²	150mm pot



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 CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. REPORT ALL DISCREPANCIES TO SUPERVISING PROFESSIONAL DESIGNER. MAKING ANY CHANGES TO BE TAKEN IN REFERENCE TO SCALED DRAWINGS. ALL DRAWINGS MAY NOT BE REPRODUCED OR DISTRIBUTED WITHOUT PERMIT FROM THE LANDSCAPE ARCHITECT.

STATUS
FOR TOWN PLANNING
 NOT FOR CONSTRUCTION

NO.	REVISION	DATE
P	FOR CLIENT REVIEW	21/07/2017
P1	FOR TOWN PLANNING	07/08/2017
P2	FOR TOWN PLANNING	21/08/2017

- LEGENDS**
- PROPOSED EVERGREEN TREES
 - PROPOSED RAISED PLANTER BOXES
 - CLIMBER
 - PROPOSED PAVED AREA - TYPE 2
 - PROPOSED PAVED AREA - TYPE 3
 - SEATING
 - PROPOSED SCULPTURE
 - PROPOSED ARBOR STRUCTURE

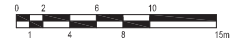
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hansen
 CLIENT
Benetas
 1789 Toorak Rd
 Hawthorn East

PROJECT
534-540 Doncaster Road, Doncaster

DRAWING TITLE
Landscape Plan
Roof

DRAWN	CHECKED	SCALE
CS	KJ	A1 1:200 A3 1:400



PLOT DATE	JOB NUMBER	CLIENT REF
21/08/2017	17288	-

DRAWING NUMBER: REV

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 37.08 Activity Centre Zone, Schedule 1
- Clause 45.06 Development Contributions Plan Overlay, Schedule 1
- Clause 45.09 Parking Overlay, Schedule 1
- Clause 52.02 Easements, Restrictions and Reserves
- Clause 52.05 Advertising signs
- Clause 52.06 Car Parking
- Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road
- Clause 52.34 Bicycle Facilities
- Clause 65 Decision Guidelines

Zone

Clause 37.08 Activity Centre Zone, Schedule 1

The purpose of the Activity Centre Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To encourage a mixture of uses and the intensive development of the activity centre:*
 - *As a focus for business, shopping, working, housing, leisure, transport and community facilities.*
 - *To support sustainable urban outcomes that maximise the use of infrastructure and public transport.*
- *To deliver a diversity of housing at higher densities to make optimum use of the facilities and services.*

- *To create through good urban design an attractive, pleasant, walkable, safe and stimulating environment.*
- *To facilitate use and development of land in accordance with the Development Framework for the activity centre.*

A permit is required to construct a building or construct or carry out works unless the schedule to this zone specifies otherwise.

This zone is in Category 1 as it relates to advertising sign requirements.

Schedule 1, relevant to Doncaster Hill Principal Activity Centre outlines the following objectives:

Land use and development objectives to be achieved

- *To advance Doncaster Hill as a sustainable and vibrant mixed-use activity centre with a strong sense of place and civic identity.*
- *To develop the centre as a focus for contemporary high density residential development incorporating a mix of complementary retail, social, commercial and entertainment uses.*
- *To ensure the activity centre enhances the social, environmental, economic and cultural elements of the municipality and region, advancing Doncaster Hill as a destination in Melbourne's East.*

Land use

- *To provide for a vibrant range of mixed uses that support the strategic role of the Doncaster Hill Principal Activity Centre.*
- *To provide for a high level of activity that attracts people, provides a focal point for the community, creates an attractive and safe urban environment, increasing opportunities for social interaction.*
- *To ensure mixed use development comprises flexible floor spaces for a range of uses.*
- *To substantially increase the provision, intensity and diversity of housing (especially affordable housing), that allows for all sectors of the community to live in the centre.*
- *To provide for high-density residential development on individual sites in conjunction with a diversity of other uses including a mix of retail, commercial, social, community and entertainment uses.*
- *To encourage commercial and small-scale retail uses at the lower level of buildings, with high-density style residential development on upper levels.*

Built form

- *To create treed boulevards framed by podiums, consistent front setbacks and a high quality landscape along Doncaster, Williamsons and Tram Roads.*
- *To encourage innovative, contemporary architecture that provides a distinctive sense of identity for the Doncaster Hill Principal Activity Centre.*
- *To emphasise the existing dramatic landform of Doncaster Hill through built form that steps down the hill.*
- *To ensure an appropriate transition in height both within the activity centre and to surrounding neighbourhoods.*
- *To encourage built form that capitalises on key views and vistas including to the middle-ground and distant features including Dandenongs, the Kinglake Ranges and the central Melbourne skyline.*
- *To encourage the provision of urban art within built form or in adjacent public areas.*
- *To encourage the built form at gateway locations identified in the Framework Plan to be designed to act as markers with distinguishing architectural or urban design treatments*

Environmental sustainability

- To ensure Australian Best Practice environmentally sustainable design is met in relation to building energy management, water sensitive urban design, construction materials, indoor environment quality, waste management and transport.

Public realm

- To encourage active street frontages and pedestrian generating activities to be located along main roads.
- To ensure public spaces are minimally impacted by overshadowing, including preserving solar access in mid-winter to the key boulevards of Doncaster Road and Williamsons Road.
- To facilitate the enjoyment of public urban spaces/plazas, streetscapes, pedestrian and bicycle paths by ensuring that these areas are not excessively overshadowed or affected by wind tunnelling.
- To encourage artwork in suitable locations to contribute to creating a distinctive sense of identity.

Open space and landscaping

- To achieve development that provides accessible, safe, attractive and functional private and public open space opportunities, which are well connected and integrated within a permeable urban environment.
- To create a healthy and consistently landscaped environment that is dominated by native and indigenous planting.
- To maximise opportunities for landscaping in the public and private realm.
- To ensure each precinct has ready access to well designed public open space.

Transport and access

- To achieve development of circulation networks that focus on providing strong linkages within the Doncaster Hill Principal Activity Centre, and enhance public transport, pedestrian and bicycle users' amenity.
- To provide for well-defined vehicular, bicycle and pedestrian access both within and external to all precincts, with strong pedestrian crossing points to be established between the north and south sides of Doncaster Road.
- To encourage the integration of car parking areas into buildings and the unique sloping landform, including providing under-croft and basement as opposed to open-lot parking.

Under the ACZ1, the subject site is located in **Precinct 7D**. The objectives for Precinct 7D (clause 5.7-2) are as follows:

- To encourage an appropriate mix of residential and commercial uses in the precinct.
- To create a vibrant and commercially viable mix of uses, generally on smaller allotments than is proposed for precincts located further east in Doncaster Hill.
- To ensure that the precinct has ready access to well designed public open space.
- To improve pedestrian access through this precinct to Doncaster Road from the residential land to the south.
- To create a landmark gateway building at the eastern and western ends of the precinct.

Table 5.7-3 of the Scheme sets out the following precinct requirements:

Maximum height (excluding basement)	Design Element Height:	Setbacks

18m	3.6m above maximum height	10m to podium edge from front boundary 8m to front tower edge from podium edge 4.5m from side boundaries 5m from rear boundary
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Overlays

Clause 45.06 Development Contributions Plan Overlay

A permit must not be granted to subdivide land, construct a building or construct or carry out works until a development contributions plan has been incorporated into this scheme.

This does not apply to the construction of a building, the construction or carrying out of works or a subdivision specifically excluded by a schedule to this overlay.

A permit granted must:

- *Be consistent with the provisions of the relevant development contributions plan.*
- *Include any conditions required to give effect to any contributions or levies imposed, conditions or requirements set out in the relevant schedule to this overlay.*

Clause 45.09 Parking Overlay

This overlay operates in conjunction with Clause 52.06. A schedule to this overlay may:

- *Vary the requirements of Clause 52.06 as allowed by this overlay.*
- *Specify additional requirements to the requirements of Clause 52.06 as allowed by this overlay.*
- *Specify requirements for the provision of a financial contribution as a way of meeting the car parking requirements of Clause 52.06 or this overlay.*

State Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 11.01-1 (Activity Centres) includes the objective to build up activity centres as a focus for high-quality development, activity and living for the whole community by developing a network of activity centres.

Clause 11.01-2 (Activity Centre Planning) includes the objective to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres which provide a variety of land uses and are highly accessible to the community.

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- *Promote good urban design to make the environment more liveable and attractive.*
- *Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.*
- *Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.*

- *Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.*
- *Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*

Clause 15.01-2 (Urban Design Principle) policy objective is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
- *The underlying natural landscape character.*
- *The heritage values and built form that reflect community identity.*
- *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*

- *Support low energy forms of transport such as walking and cycling.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*

The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Encourage housing that is both water efficient and energy efficient.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of housing in Metropolitan Melbourne to be developed within the established urban area, particularly at activity centres, employment corridors and at other strategic sites, and reduce the share of new dwellings in greenfield and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to activity centres, employment corridors and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within the established urban area to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-3 Strategic redevelopment sites

The policy objective is:

- *To identify strategic redevelopment sites for large residential development in Metropolitan Melbourne.*

Specific reference is made at clause 16.01-3 to “strategic redevelopment sites” which are described as:

- *in and around Central Activity Centres;*
- *in or within easy walking distance of Principal or Major Activity Centres;*
- *in or beside Neighbourhood Activity Centres that are well served by public transport;*
- *on or abutting tram, train, light rail and bus routes that are part of the Principal Public Transport Network and close to employment corridors, Central Activities Districts, Principal or Major Activity Centres;*
- *in or near major modal public transport interchanges that are not in Principal or Major Activity Centres;*
- *able to provide ten or more dwellings, close to activity centres and well served by public transport.*

Clause 16.01-4 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 18.01-1 integrated Transport: Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

Clause 18.02-1 Movement networks: Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

Clause 18.02-2 Cycling

The policy objective is:

- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

The clause includes several strategies to achieve this objective including to:

Require the provision of adequate bicycle parking and related facilities to meet demand at education, recreation, shopping and community facilities and other major attractions when issuing planning approvals.

Clause 18.02-4 Management of the road system

The policy objective is:

- *To manage the road system to achieve integration, choice and balance by developing and efficient and safe network and making the most of existing infrastructure.*

Clause 18.02-5 Car parking

The policy objective is:

- *To ensure an adequate supply of car parking that is appropriately designed and located.*

The policy is relevant to the proposal because the application seeks a reduction in the standard car parking requirement of the Scheme. The objective is to ensure an adequate supply of car parking that is appropriately designed and located. It is also required to allocate or require land to be set aside for car parking subject to the existing and potential modes of access including public transport, the demand for off-street car parking, road capacity and the potential for demand management of car parking. Proposals are also encouraged to facilitate the use of public transport.

Local Planning Policy Framework (LPPF)

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.09 (Activity Centre and Commercial Areas) outlines that *principal, major and identified neighbourhood activity centres will be the focus of increased residential growth and development*. In particular, Doncaster Hill Principal Activity Centre will:

- *Challenges mainstream community planning and building design to achieve desired environmental outcomes.*
- *Provides more local jobs to reduce journey to work trips.*
- *Provides housing where residents may walk to facilities and services.*
- *Encourages reduced levels of car ownership and increased public transport usage.*

The vision for Doncaster Hill Principal Activity Centre is outlined in Council's *Doncaster Hill Strategy (2002)* and includes:

- *To implement the objectives of Melbourne 2030 in respect of Principal Activity Centres as a focus for retail, social, commercial, entertainment, civic and residential uses.*
- *To integrate ecologically sustainable development principles and techniques into every facet of the design, construction and operation/occupancy stages of new development to raise the aspirations of all users, appropriate for a city looking towards a long-term, responsible and sustainable future.*
- *To ensure that built form outcomes demonstrate the use of contemporary architecture combined with innovative urban design and building techniques that incorporate ecologically sustainable design principles.*
- *To emphasise the existing dramatic landform of Doncaster Hill through built form that steps down the hill.*
- *To encourage high density, high rise residential development.*
- *To provide a greater diversity of dwelling types.*
- *To alleviate pressure for more intense residential development in established urban areas.*
- *To reduce travel demand and change travel behaviour.*
- *To promote the development of sustainable transport options.*
- *To meet the future infrastructure requirements of Doncaster Hill in a comprehensive, timely and equitable way.*
- *To develop an integrated mixed-use precinct for Doncaster Hill Activity Centre which provides for an appropriate mix of uses and functions on a location specific level, including the provision of:*
 - *mixed uses within buildings, particularly along boulevard locations*
 - *small scale retail opportunities at ground floor level in conjunction with other mixed use developments*
 - *additional commercial/office floor space*
 - *flexible floor spaces within buildings to ensure life cycle adaptability.*

Within Doncaster Hill Principal Activity Centre there are various precincts delineated in accordance with their topographic orientation and aspect on Doncaster Hill, their relationship to main roads, and their present and future uses.

Clause 21.10 (Ecologically Sustainable Development) highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

In relation to sustainability, the ACZ1 requires applicants to submit a Sustainability Management Plan that *demonstrates the application of Australian best practice rating tools and design principles, use of emerging technology, and a commitment to 'beyond compliance' throughout the construction period and subsequent operation of the development.*

Local Planning Policy

Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Particular Provisions

Clause 52.05 Advertising Signs

Pursuant to Clause 52.05, a permit is required to erect or display a business identification sign if the total advertisement area of all signs to each premises must not exceed 8 m². This does not include a sign with an advertisement area not exceeding 1.5 m² that is below a verandah or, if no verandah, that is less than 3.7 m above pavement level.

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings.
- 2 spaces for 3 or more bedroom dwellings.
- 1 visitor space to every 10 dwellings (varied by the Parking Overlay, Schedule 1).

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road

The purpose of this clause is:

- *To ensure appropriate access to identified roads.*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Road Zone, Category 1. A permit is required to create or alter access to land in a Public Acquisition Overlay if the purpose of acquisition is for a Category 1 road.

Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, for a development of four or more storeys, the following number of bicycle spaces are required for an aged care facility:

- 1 space for every 7 beds for employees.
- 1 space for every 60 beds for visitors.

The following number of bicycle spaces are required for a retirement village:

- 1 space for every 10 lodging rooms for residents.
- 1 space for every 10 lodging rooms for visitors.

General Provisions

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*

Legend - General

- Amenities
- Apartments
- BOH
- Circulation
- Staff Areas
- Commercial
- Cafe
- Fitness & Health



