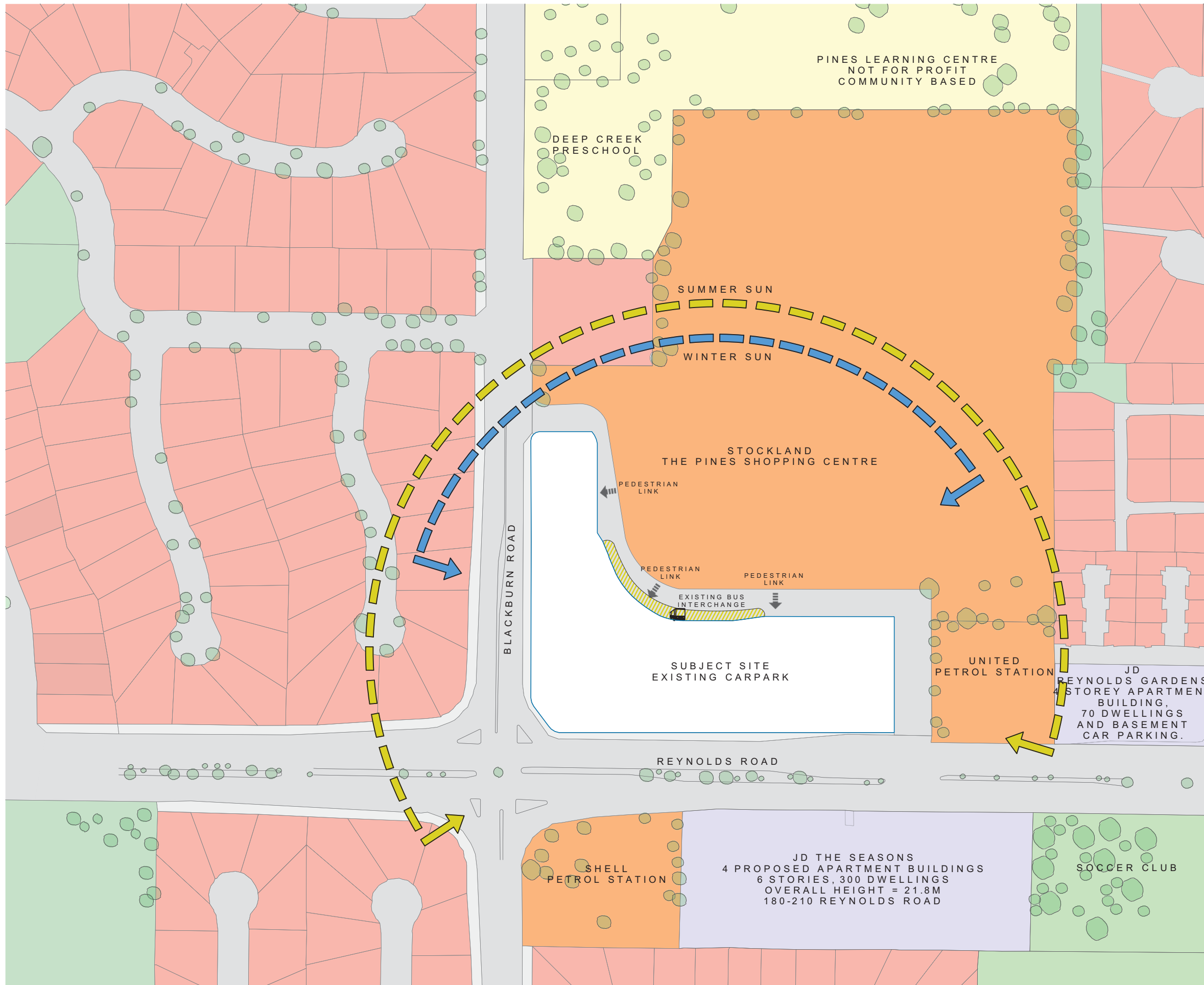










# 1.04

## SITE ANALYSIS



-  SUBJECT SITE
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  PUBLIC RECREATION
-  PARKLAND / PUBLIC OPEN SPACE
-  MIXED USE BUILDING
-  INSTITUTIONAL
-  EXISTING BUS INTERCHANGE



2.07  
PERSPECTIVE RENDER



2.08  
PERSPECTIVE RENDER





INTERNAL VIEW - LOOKING SOUTH

2.10  
PERSPECTIVE RENDER











Site Area 21438 m<sup>2</sup>  
 Site Coverage (Building footprint only) 66.0%  
 Permeability 9.0%

Area	RESIDENTIAL MIX						TOTAL APTS/FLOOR	SERVICES/CIRC & Communal Area	RETAIL Area (GFA)	MEDICAL Area (GFA)	CARPARK		BALCONIES Area	
	Ave 64m2	Ave 76m2	Ave 79m2	Ave 92 m2	Ave 102m2	Ave 121 m2					NO	Area		
	1 Bed	1 Bed + S	2 Bed + 1 Ba	2 Bed + 2 Ba	2B + 2Ba +S	3 Bed								
Basement 01 (Residential)							0	2 403	0	500	134	6 413		
Lower Ground Floor (Residential & Retail)							0	849	544		331	11 841		
Ground Floor (Retail)							0	702	459		370	12 512		
Level 01	5 902	1	5	11	26	7	12	62	1 837				2 555	
Level 02	6 514	1	3	9	35	7	13	68	935				1 385	
Level 03	6 053	1	3	8	32	6	13	63	908				1 257	
Level 04	4 455	1	2	5	25	3	10	46	815				1 031	
Level 05	4 272	1	2	5	23	3	10	44	797				643	
<b>Totals</b>	<b>27 196</b>	<b>5</b>	<b>15</b>	<b>38</b>	<b>141</b>	<b>26</b>	<b>58</b>		<b>9 246</b>	<b>1 003</b>	<b>500</b>	<b>835</b>	<b>30 766</b>	<b>6 871</b>
<b>TOTAL APARTMENTS = 283</b>												<b>sqm/car = 36.8</b>		
		2%	5%	13%	50%	9%	20%							

CAR PARK ANALYSIS								VISITORS		
RATE	1.000	1.000	1.000	1.000	1.000	2.000		0.040	10 suites	0.200
REQUIRED CARS	5	15	38	141	26	116		40	32	56.0

TOTAL STATUTORY REQUIREMENT FOR DEVELOPMENT	469
---	-----

PROPOSED TOTAL PROVISION FOR DEVELOPMENT	442
PROPOSED PROVISION FOR EXISTING RETAIL (WITHIN SUBJECT SITE)	393

PROPOSED TOTAL CAR PARKING PROVISION	835	Refer to Transport Impact Assessment Report
--------------------------------------	-----	---

Accessible Bays (included in above totals)	Public	Residential	Total
Basement		4	4
Lower Ground	4	4	8
Ground Floor	8		8
<b>Total</b>	<b>12</b>	<b>8</b>	<b>20</b>

Residential Visitor Parking (included in above totals)	
Basement	16
Lower Ground	12
<b>Total</b>	<b>28</b>

Bicycle Parking	Public	Residential	Total
Basement	8		8
Lower Ground	8	30	38
Ground Floor	12		12
<b>Total</b>	<b>28</b>	<b>30</b>	<b>58</b>

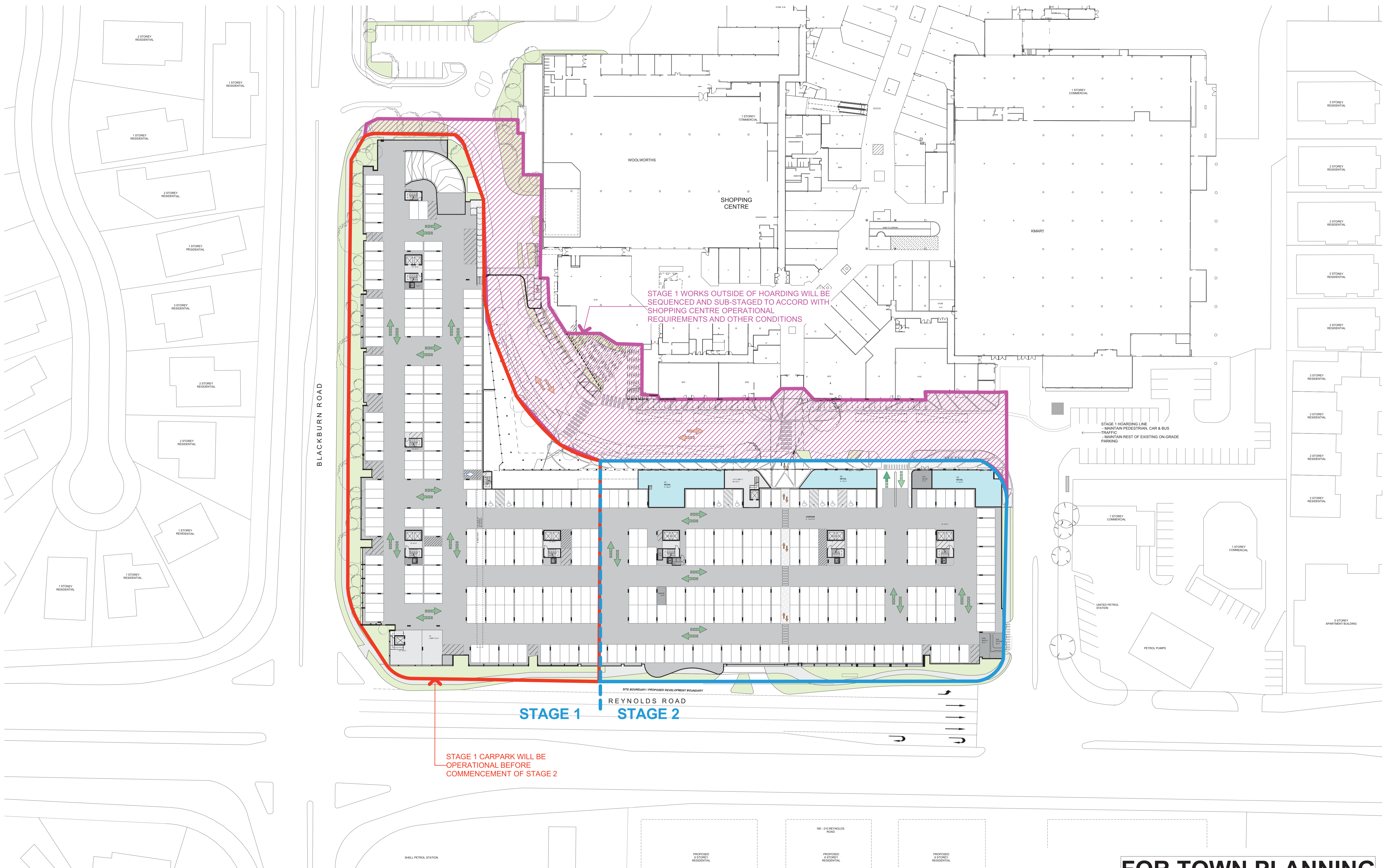
Storage Cages	
Basement	234
Lower Ground	41
Level 04	4
Level 05	4
<b>Total</b>	<b>283</b>

# 3.02

APARTMENT MIX

	Area	Ave 64m2	Ave 76m2	Ave 79m2	Ave 92 m2	Ave 102m2	Ave 121 m2	APTS PER BUILDING
		1 Bed	1Bed + S	2 Bed + 1 Ba	2 Bed + 2 Ba	2 B + 2 Ba + S	3 Bed	
A	10 117	5	11	6	58	5	21	106
B	3 996	0	0	10	23	0	9	42
C	9 079	0	4	16	47	7	20	94
D	4 003	0	0	6	13	14	8	41
<b>Totals</b>	<b>27 195</b>	<b>5</b>	<b>15</b>	<b>38</b>	<b>141</b>	<b>26</b>	<b>58</b>	
<b>TOTAL APARTMENTS =</b>								<b>283</b>
		2%	5%	13%	50%	9%	20%	

STAGE 1 ONLY	RESIDENTIAL							TOTAL APTS/FLOOR	CARPARK
	Area	MIX					3 Bed		NO
		1 Bed	1 Bed + S	2 Bed + 1 Ba	2 Bed + 2 Ba	2B + 2Ba + S			
Basement 01 (Residential)								0	115
Lower Ground Floor (Residential & Retail)								0	143
Ground Floor (Retail)								0	188
Level 01	3 418	0	2	7	15	6	6	36	
Level 02	3 433	0	1	6	17	6	6	36	
Level 03	2 973	0	1	5	14	5	6	31	
Level 04	1 629	0	0	2	7	2	5	16	
Level 05	1 629	0	0	2	7	2	5	16	
<b>Totals</b>	<b>13 082</b>	<b>0</b>	<b>4</b>	<b>22</b>	<b>60</b>	<b>21</b>	<b>28</b>		<b>446</b>
<b>TOTAL APARTMENTS =</b>							<b>135</b>		



# FOR TOWN PLANNING

DATE	REVISION	BY	CHK	NO.
-	NO PREVIOUS ISSUE	-	-	-
19.12.17	ISSUED FOR TOWN PLANNING RFI	AH	NM	2
11.01.18	ISSUED FOR TOWN PLANNING RFI - NO CHANGE	AH	NM	3

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
STRUCTURAL ENGINEER	<input type="checkbox"/> Bonaccol Group	T 03 9418 4000	
SERVICES ENGINEER	<input type="checkbox"/> Simpson Kotzman	T 03 9603 3030	
BUILDING SURVEYOR	<input type="checkbox"/> Mackenzie Group Consulting	T 03 9247 0400	
FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 9073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9603 3030	

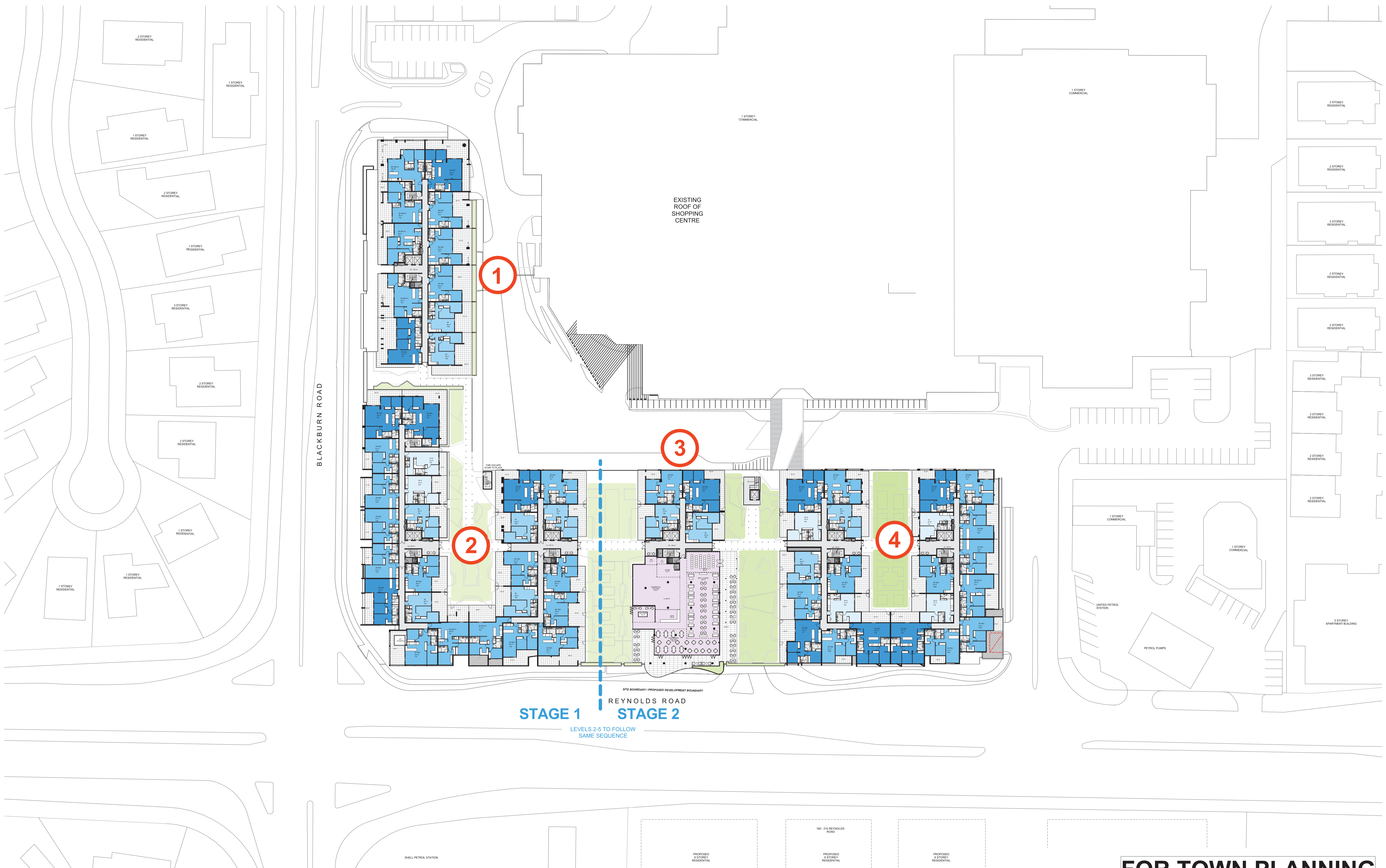


PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**STAGING PLAN -**  
**GROUND**

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:500 @A1 / 1:400 @A3	11/01/2018	NM	<b>12026</b>	<b>TP091</b>	<b>3</b>

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**STAGE 1**      **STAGE 2**  
 LEVELS 2-5 TO FOLLOW  
 SAME SEQUENCE

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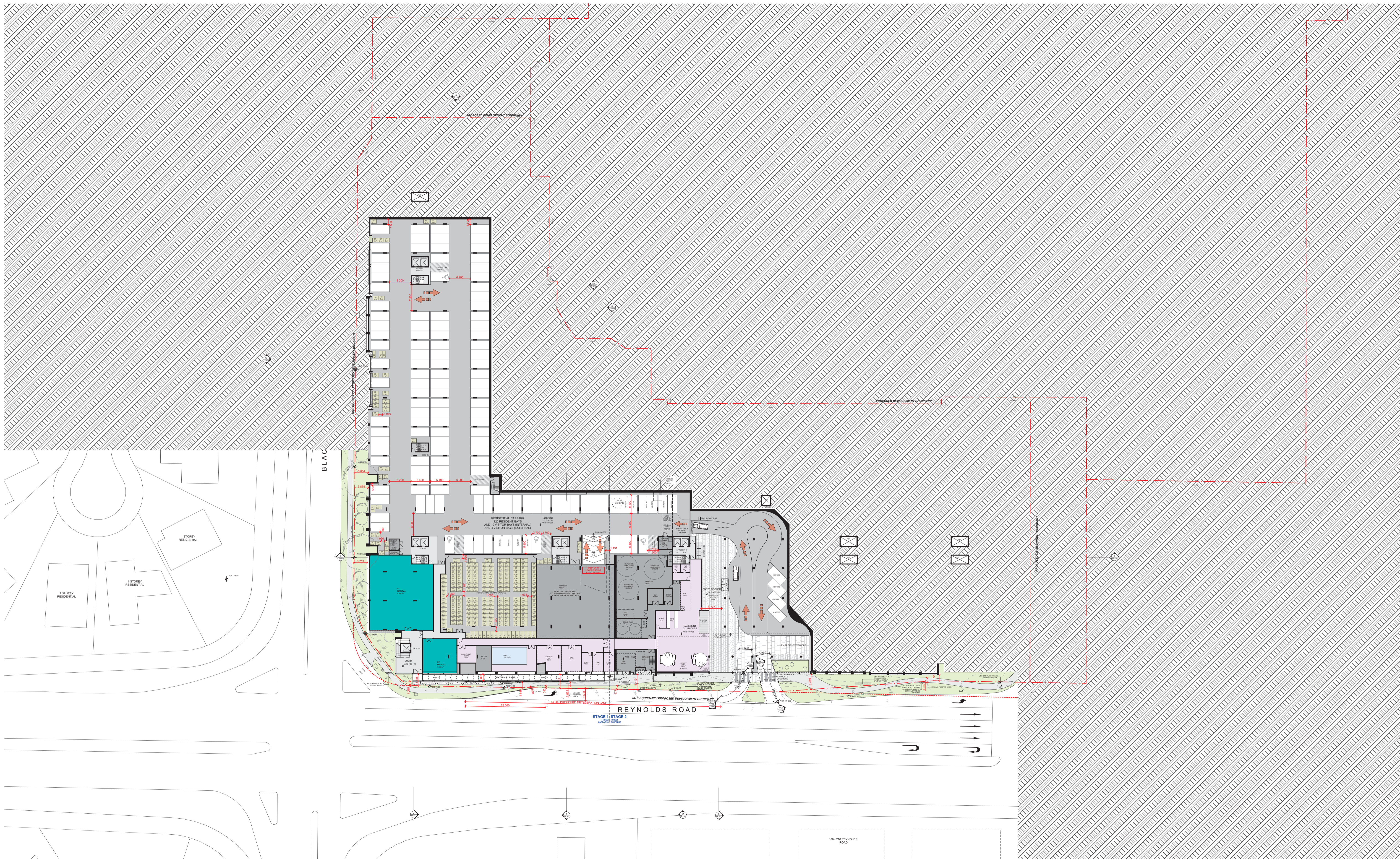


PROJECT  
**THE PINES**  
 181 REYNOLDS RD  
 DONCASTER EAST  
 3109

DRAWING TITLE  
**STAGING PLAN - LEVEL 1**  
 (LEVELS 2-5 SIMILAR)

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
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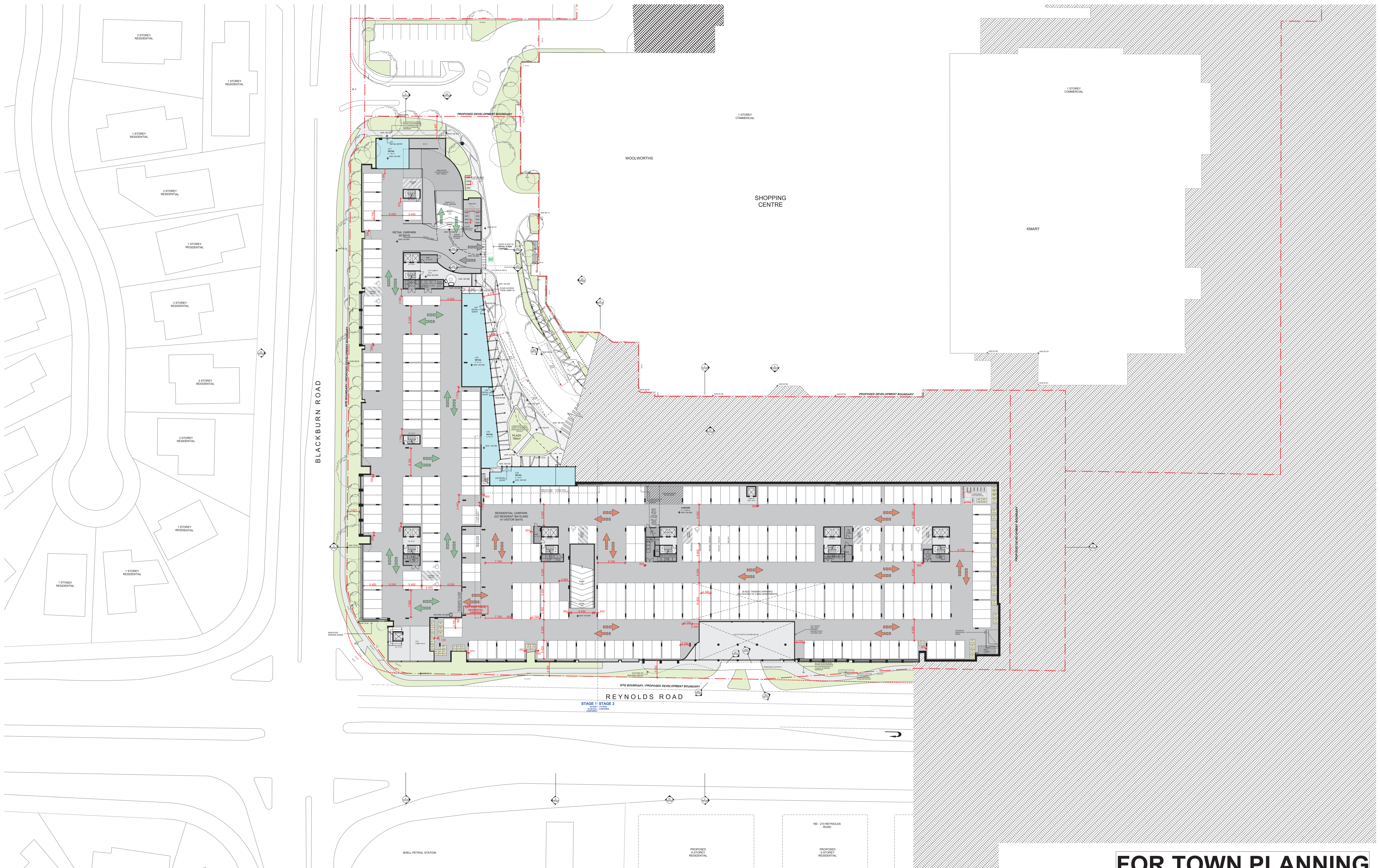


PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**BASEMENT FLOOR PLAN**

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:500 @A1 / 1:400 @A3	11/01/2018	NM	12026	TP098	3

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CONSULTANTS			
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ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9603 3030	



PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**LOWER GROUND FLOOR**  
**PLAN**

SCALE  
**1:500 @A1 / 1:400 @A3**

DATE  
**11/01/2018**

DRAWN  
**NM**

JOB NO.  
**12026**

PLOT DATE  
**10/11/2017**

CHECKED  
**MY**

DRAWING NO.  
**TP099**

REVISION  
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ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	



PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**GROUND FLOOR PLAN**

SCALE  
**1:500 @A1 / 1:400 @A3**

DATE  
**11/01/2018**

DRAWN  
**NM**

JOB NO.  
**12026**

PLOT DATE  
**10/11/2017**

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**MY**

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REVISION  
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ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	



PROJECT  
**THE PINES**  
 181 REYNOLDS RD  
 DONCASTER EAST  
 3109

DRAWING TITLE  
**LEVEL 01 FLOOR PLAN**

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:500 @A1 / 1:400 @A3	11/01/2018	NM	12026	TP101	3

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PROJECT	DRAWING TITLE	SCALE
THE PINES 181 REYNOLDS RD DONCASTER EAST 3109	LEVEL 02 FLOOR PLAN	1:500 @A1 / 1:400 @A3
DATE 11/01/2018	PLOT DATE 10/11/2017	
DRAWN NM	CHECKED MY	
JOB NO. 12026	DRAWING NO. TP102	REVISION 3

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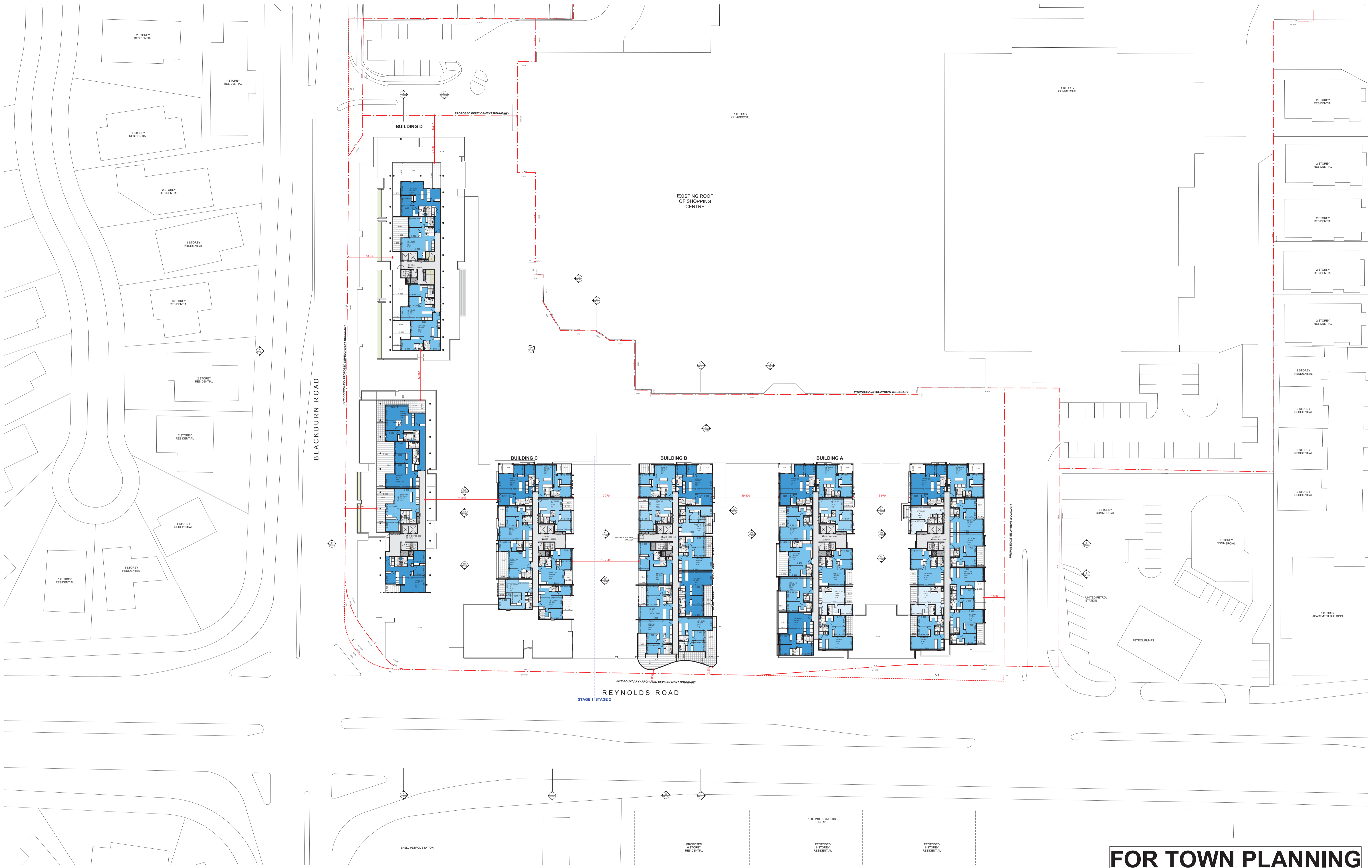
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FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 8073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9603 3030	



PROJECT <b>THE PINES 181 REYNOLDS RD DONCASTER EAST 3109</b>	DRAWING TITLE <b>LEVEL 03 FLOOR PLAN</b>	SCALE <b>1:500 @A1 / 1:400 @A3</b>	
DATE <b>11/01/2018</b>	PLOT DATE <b>10/11/2017</b>	CHECKED <b>MY</b>	
DRAWN <b>NM</b>	CHECKED <b>MY</b>	JOB NO. <b>12026</b>	DRAWING NO. <b>TP103</b>
			REVISION <b>3</b>

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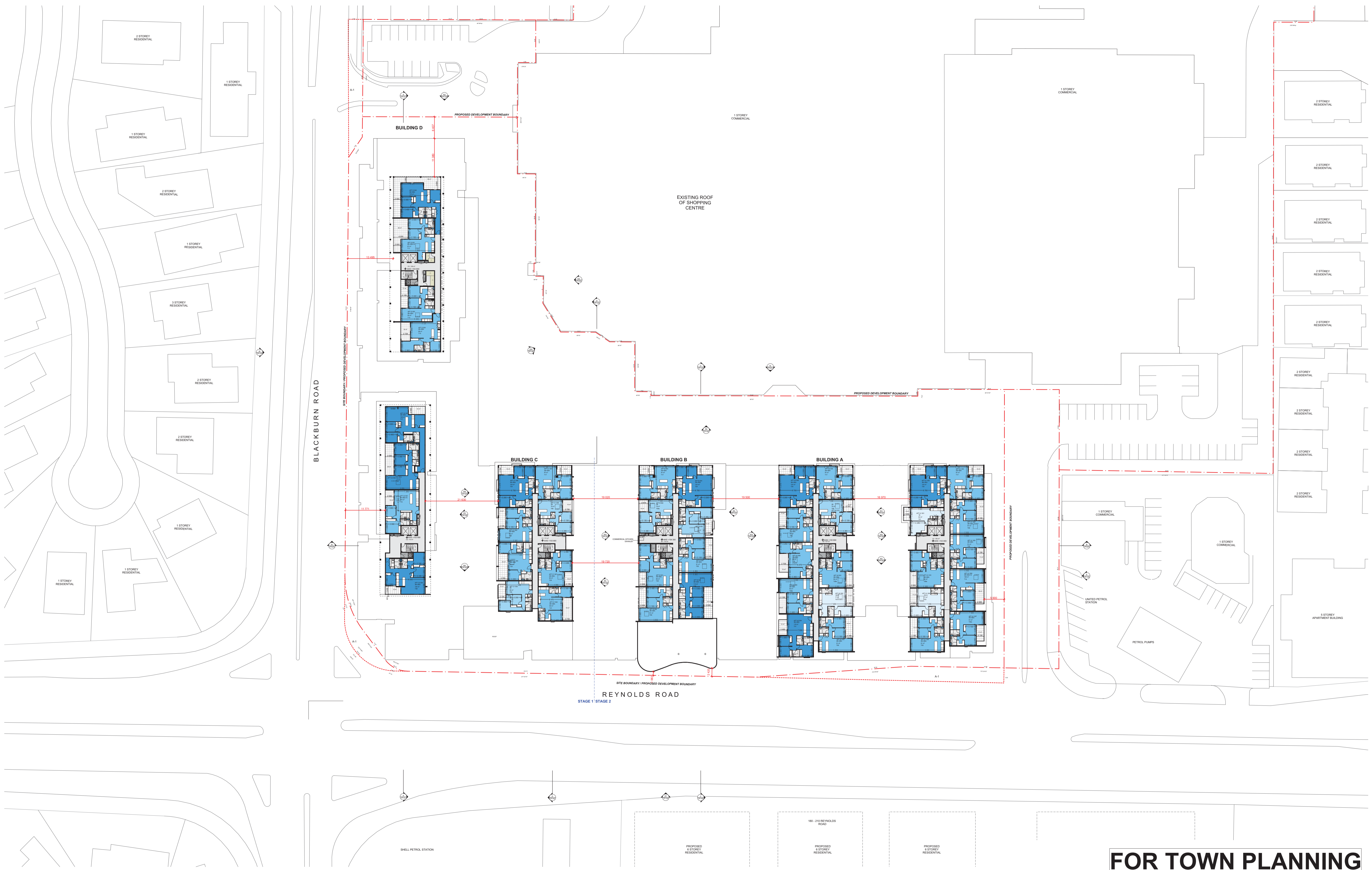
DATE	REVISION	BY	CHK	NO.

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FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 8073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9603 3030	



PROJECT <b>THE PINES 181 REYNOLDS RD DONCASTER EAST 3109</b>	DRAWING TITLE <b>LEVEL 04 FLOOR PLAN</b>	SCALE 1:500 @A1 / 1:400 @A3	
DATE 11/01/2018	DATE 10/11/2017	PLOT DATE 10/11/2017	
DRAWN NM	CHECKED MY	JOB NO. <b>12026</b>	DRAWING NO. <b>TP104</b>
			REVISION <b>3</b>

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# FOR TOWN PLANNING

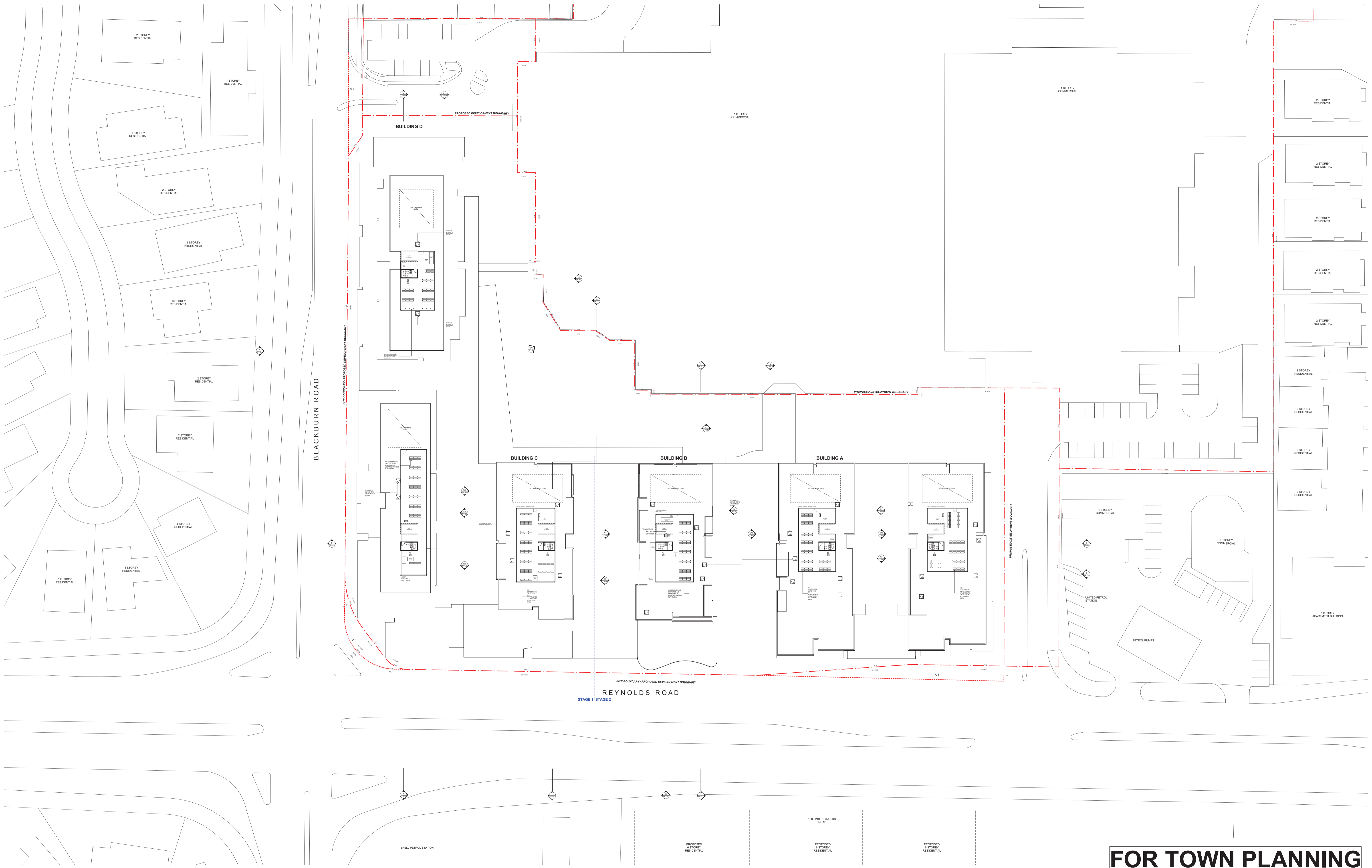
DATE	REVISION	BY	CHK	NO.
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FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 8073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9603 3030	



PROJECT <b>THE PINES 181 REYNOLDS RD DONCASTER EAST 3109</b>	DRAWING TITLE <b>LEVEL 05 FLOOR PLAN</b>	SCALE 1:500 @A1 / 1:400 @A3	
DATE 11/01/2018	DATE 10/11/2017	PLOT DATE 10/11/2017	
DRAWN NM	CHECKED MY	JOB NO. <b>12026</b>	DRAWING NO. <b>TP105</b>
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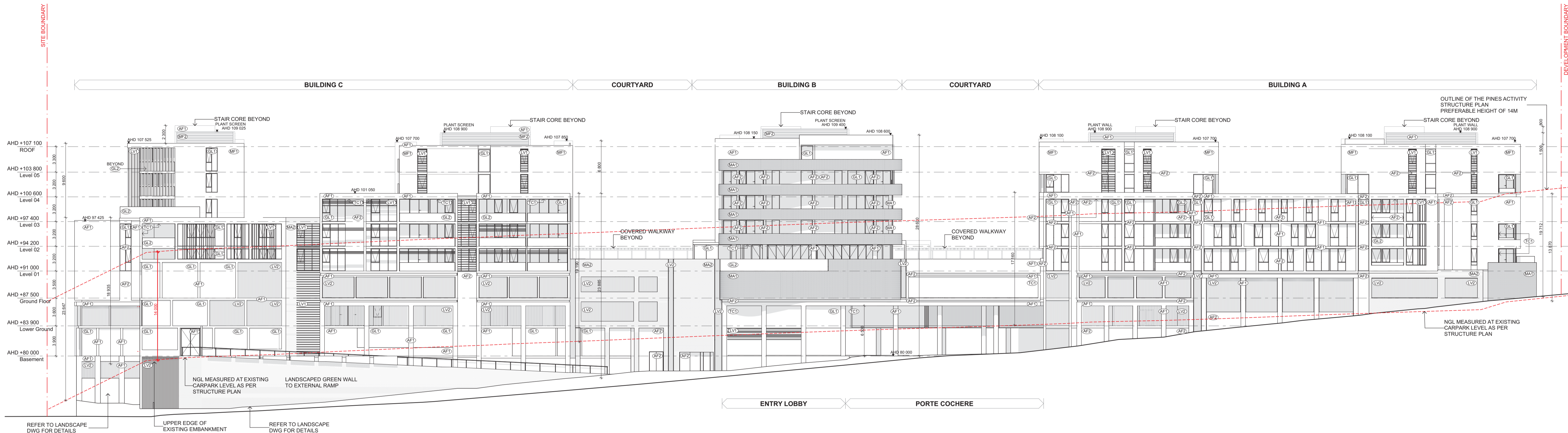


PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

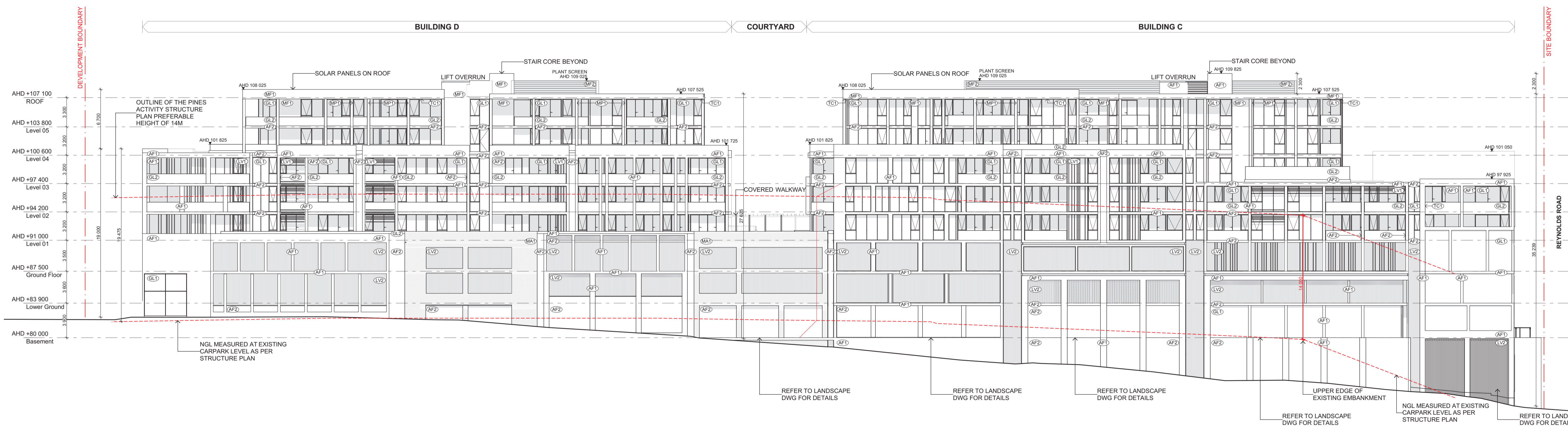
DRAWING TITLE  
**ROOF PLAN**

SCALE	DATE	DRAWN	CHECKED	JOB NO.	DRAWING NO.	REVISION
1:500 @A1 / 1:400 @A3	11/01/2018	NM	MY	<b>12026</b>	<b>TP106</b>	<b>3</b>

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**S1 SOUTH ELEVATION**  
TP100 Scale 1:250



**W WEST ELEVATION**  
TP100 Scale 1:250

**MATERIAL LEGEND: REFER 7.01 MATERIAL SCHEDULE**

- (AF1) APPLIED FINISH: LIGHT
- (MF1) METAL FINISH: DARK
- (MA1) MASONRY: LIGHT
- (GL1) GLAZING: CLEAR
- (LV1) SCREENING: LOUVRE DARK
- (TC1) SOFFITS & WALL: TIMBER LOOK
- (MP1) METAL POST: DARK FINISH
- (AF2) APPLIED FINISH: DARK
- (MF2) METAL FINISH: LIGHT
- (MA2) MASONRY: DARK
- (GL2) GLASS BALUSTRADE: CLEAR
- (LV2) SCREENING: LOUVRE DARK (CARPARK)
- (PB1) PLANTER BOX: DARK FINISH
- (PS1) PRIVACY SCREENING: DARK FINISH

**FOR TOWN PLANNING**

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI	AH	NM	2

DATE	REVISION	BY	CHK	NO.

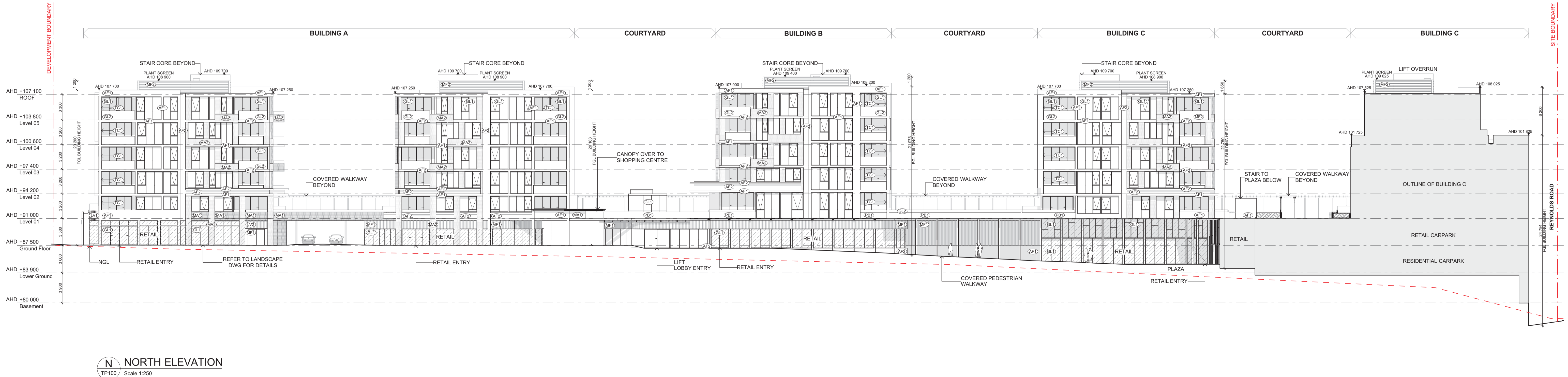
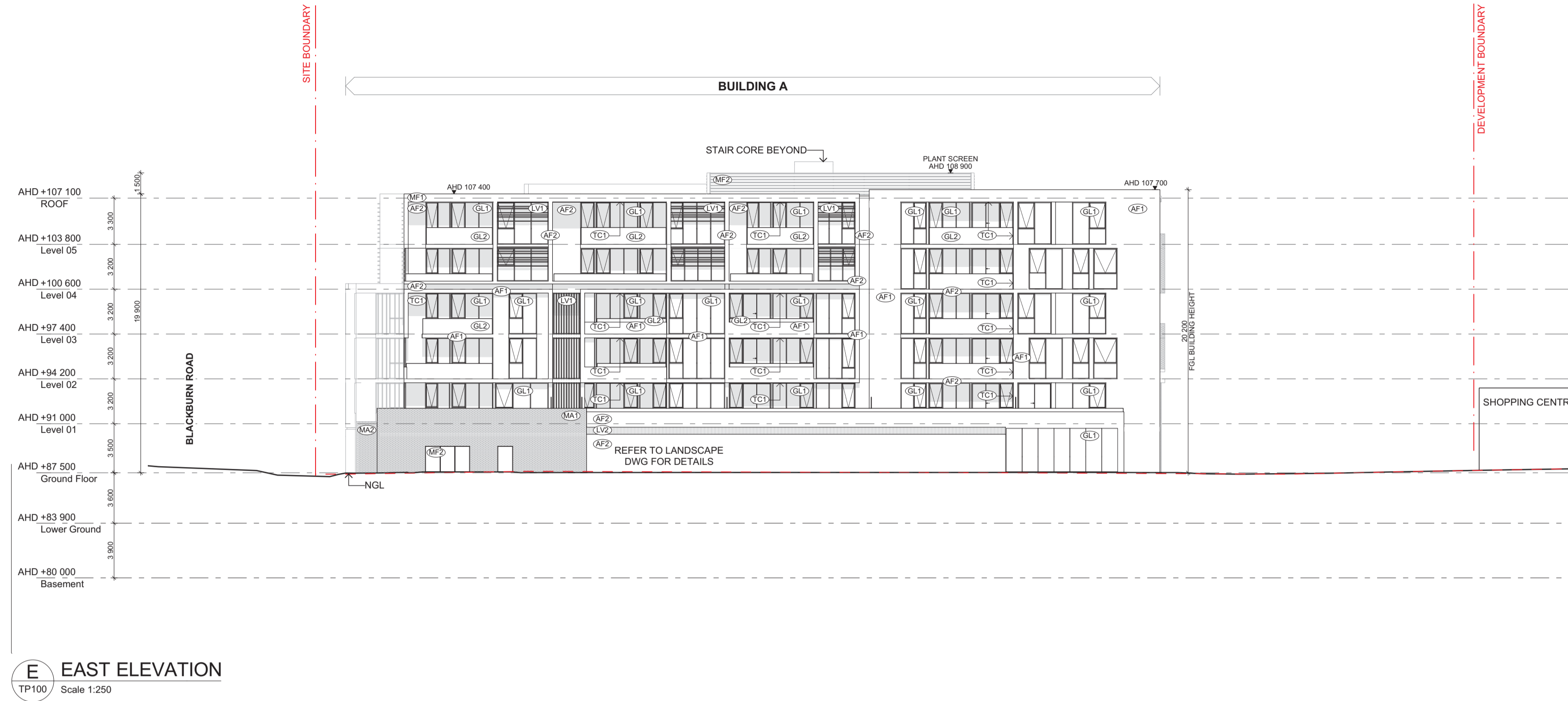
CONSULTANTS			
STRUCTURAL ENGINEER	<input type="checkbox"/> Bonacci Group	T 03 9418 4000	
SERVICES ENGINEER	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	
BUILDING SURVEYOR	<input type="checkbox"/> Mackenzie Group Consulting	T 03 9247 9400	
FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 9073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	



PROJECT		DRAWING TITLE	
<b>THE PINES</b>		<b>WEST &amp; SOUTH ELEVATION</b>	
181 REYNOLDS RD DONCASTER EAST 3109		SCALE	1:250 @A1 / 1:500 @A3
DATE	10/11/2017	PLOT DATE	10/11/2017
DRAWN	NM	CHECKED	MY
JOB NO.	12026	DRAWING NO.	TP134
		REVISION	3

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**MATERIAL LEGEND: REFER 7.01 MATERIAL SCHEDULE**

- (AF1) APPLIED FINISH: LIGHT
- (MF1) METAL FINISH: DARK
- (MA1) MASONRY: LIGHT
- (GL1) GLAZING: CLEAR
- (LV1) SCREENING: LOUVRE DARK
- (TC1) SOFFITS & WALL: TIMBER LOOK
- (MP1) METAL POST: DARK FINISH
- (AF2) APPLIED FINISH: DARK
- (MF2) METAL FINISH: LIGHT
- (MA2) MASONRY: DARK
- (GL2) GLASS BALUSTRADE: CLEAR
- (LV2) SCREENING: LOUVRE DARK (CARPARK)
- (PB1) PLANTER BOX: DARK FINISH
- (PS1) PRIVACY SCREENING: DARK FINISH

**FOR TOWN PLANNING**

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI	AH	NM	2

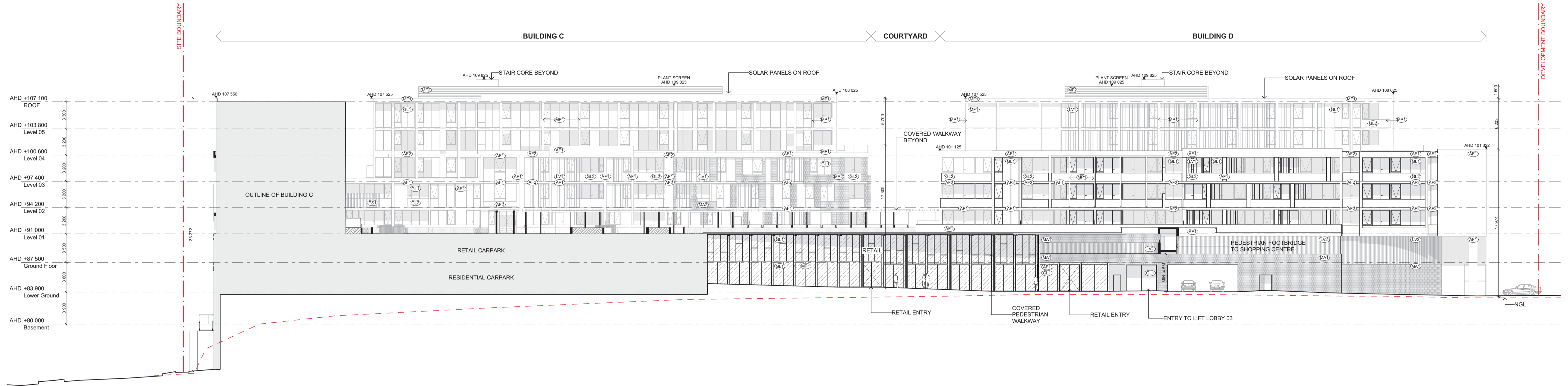
DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
STRUCTURAL ENGINEER	<input type="checkbox"/> Bonacci Group	T 03 9418 4000	
SERVICES ENGINEER	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	
BUILDING SURVEYOR	<input type="checkbox"/> Mackenzie Group Consulting	T 03 9247 0400	
FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 8073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	

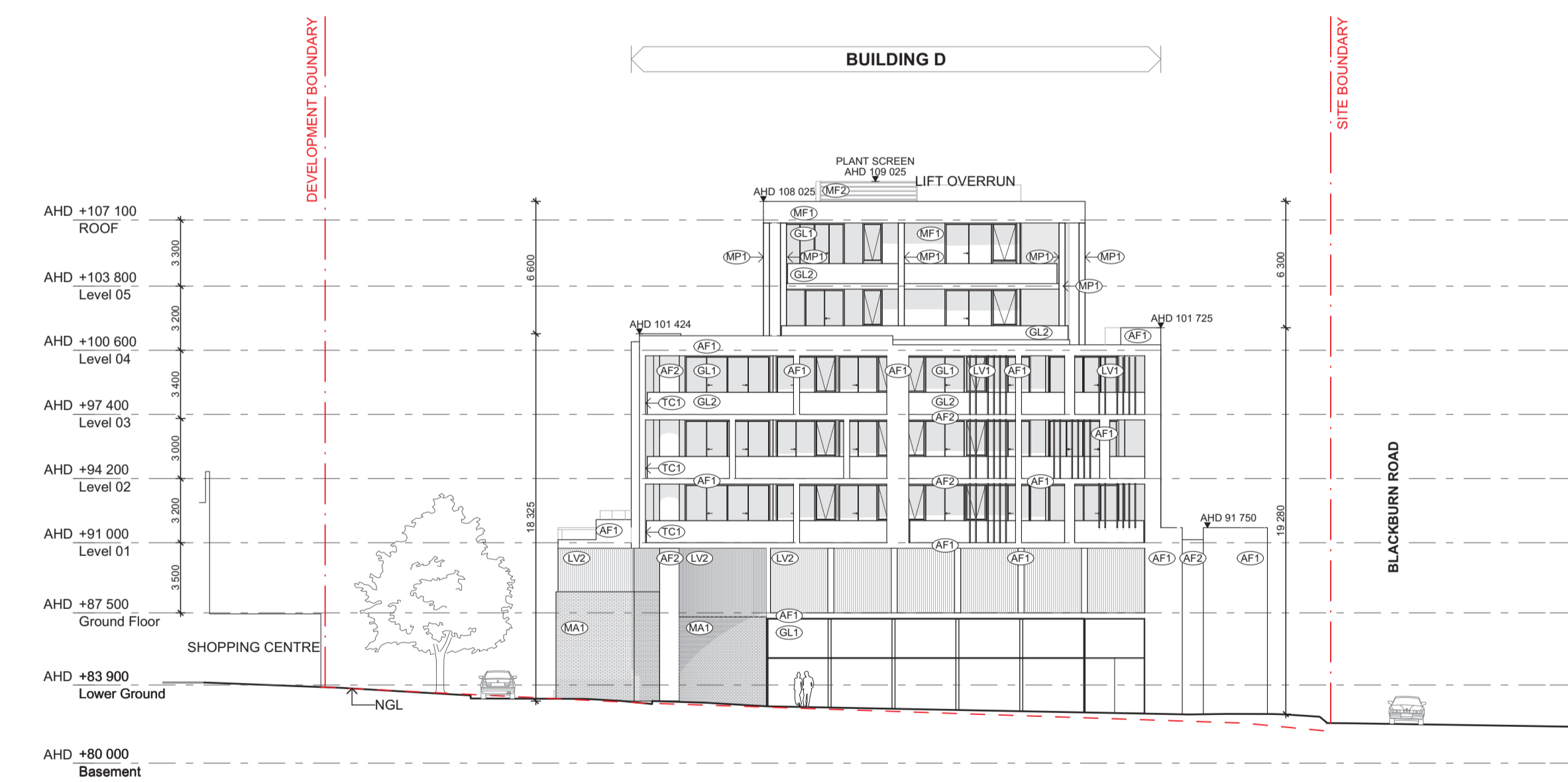


PROJECT		DRAWING TITLE	
<b>THE PINES</b>		<b>NORTH &amp; EAST ELEVATION</b>	
<b>181 REYNOLDS RD DONCASTER EAST 3109</b>			
SCALE: 1:250 @A1 / 1:500 @A3	DATE: 10/11/2017	PLOT DATE: 10/11/2017	
DRAWN: NM	CHECKED: MY		
JOB NO: 12026	DRAWING NO: TP135	REVISION: 3	

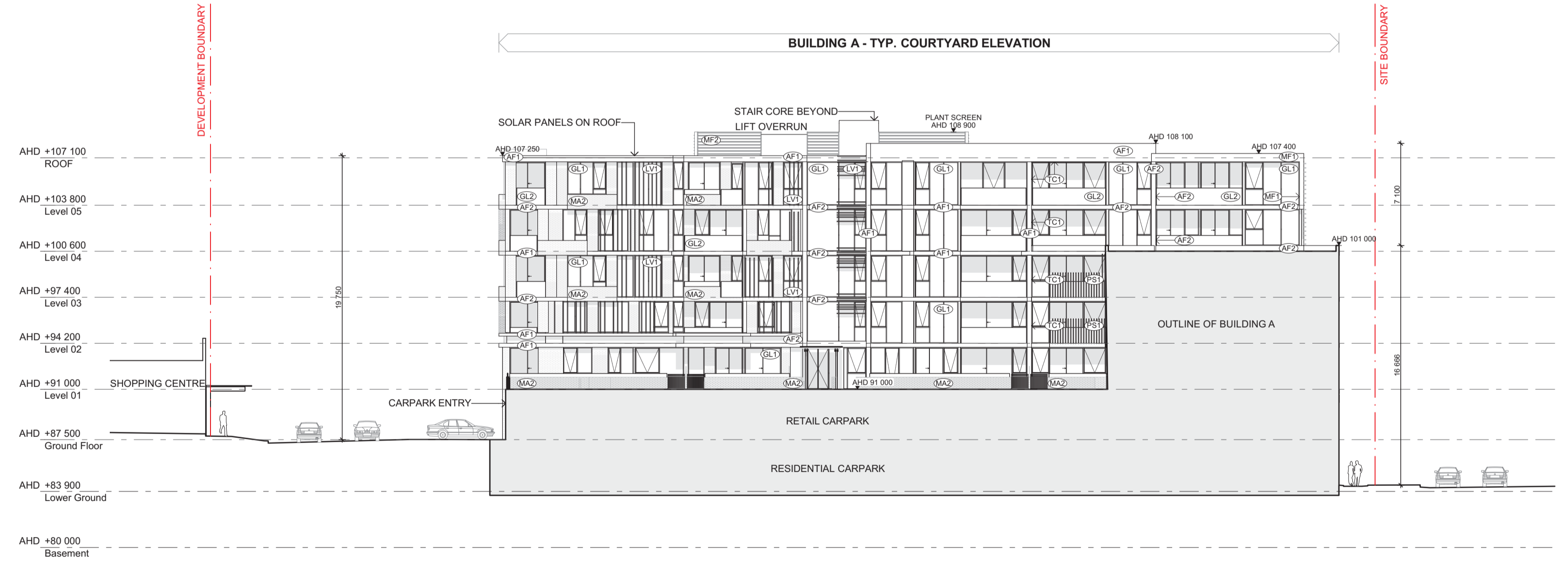
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**E2 EAST ELEVATION**  
TP100 Scale 1:250



**N2 NORTH ELEVATION**  
TP100 Scale 1:250



**W2 WEST ELEVATION**  
TP100 Scale 1:250

**MATERIAL LEGEND: REFER 7.01 MATERIAL SCHEDULE**

- (AF1) APPLIED FINISH: LIGHT
- (MF1) METAL FINISH: DARK
- (MA1) MASONRY: LIGHT
- (GL1) GLAZING: CLEAR
- (LV1) SCREENING: LOUVRE DARK
- (TC1) SOFFITS & WALL: TIMBER LOOK
- (MP1) METAL POST: DARK FINISH
- (AF2) APPLIED FINISH: DARK
- (MF2) METAL FINISH: LIGHT
- (MA2) MASONRY: DARK
- (GL2) GLASS BALUSTRADE: CLEAR
- (LV2) SCREENING: LOUVRE DARK (CARPARK)
- (PB1) PLANTER BOX: DARK FINISH
- (PS1) PRIVACY SCREENING: DARK FINISH

**FOR TOWN PLANNING**

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI	AH	NM	2

DATE	REVISION	BY	CHK	NO.

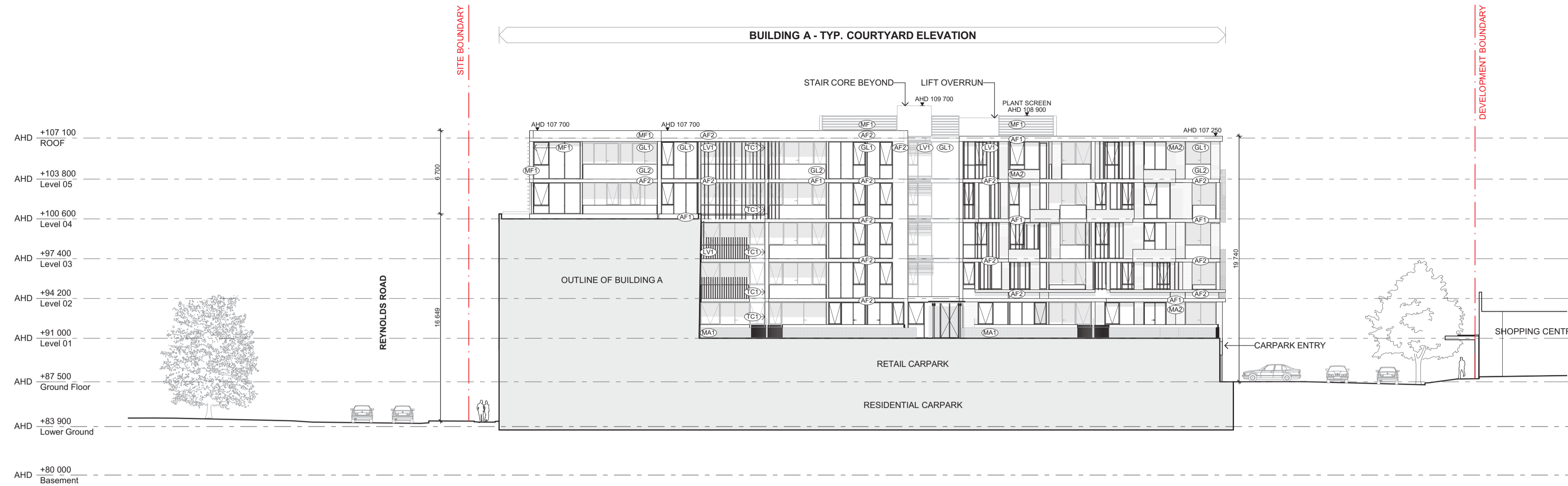
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STRUCTURAL ENGINEER	<input type="checkbox"/> Bonacci Group	T 03 9418 4000	
SERVICES ENGINEER	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	
BUILDING SURVEYOR	<input type="checkbox"/> Mackenzie Group Consulting	T 03 9247 9400	
FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 9073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	



PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**NORTH, EAST & WEST**  
**ELEVATION**

SCALE	DATE	DRAWN	JOB NO.	PLOT DATE	CHECKED	DRAWING NO.	REVISION
1:250 @A1 / 1:500 @A3	10/11/2017	NM	12026	10/11/2017	MY	TP136	3



**E3 EAST ELEVATION**  
TP100 Scale 1:250



**E4 EAST ELEVATION**  
TP100 Scale 1:250

**MATERIAL LEGEND: REFER 7.01 MATERIAL SCHEDULE**

- (AF1) APPLIED FINISH: LIGHT
- (MF1) METAL FINISH: DARK
- (MA1) MASONRY: LIGHT
- (GL1) GLAZING: CLEAR
- (LV1) SCREENING: LOUVRE DARK
- (TC1) SOFFITS & WALL: TIMBER LOOK
- (MP1) METAL POST: DARK FINISH
- (AF2) APPLIED FINISH: DARK
- (MF2) METAL FINISH: LIGHT
- (MA2) MASONRY: DARK
- (GL2) GLASS BALUSTRADE: CLEAR
- (LV2) SCREENING: LOUVRE DARK (CARPARK)
- (PB1) PLANTER BOX: DARK FINISH
- (PS1) PRIVACY SCREENING: DARK FINISH

**FOR TOWN PLANNING**

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI - NO CHANGE	AH	NM	2

DATE	REVISION	BY	CHK	NO.

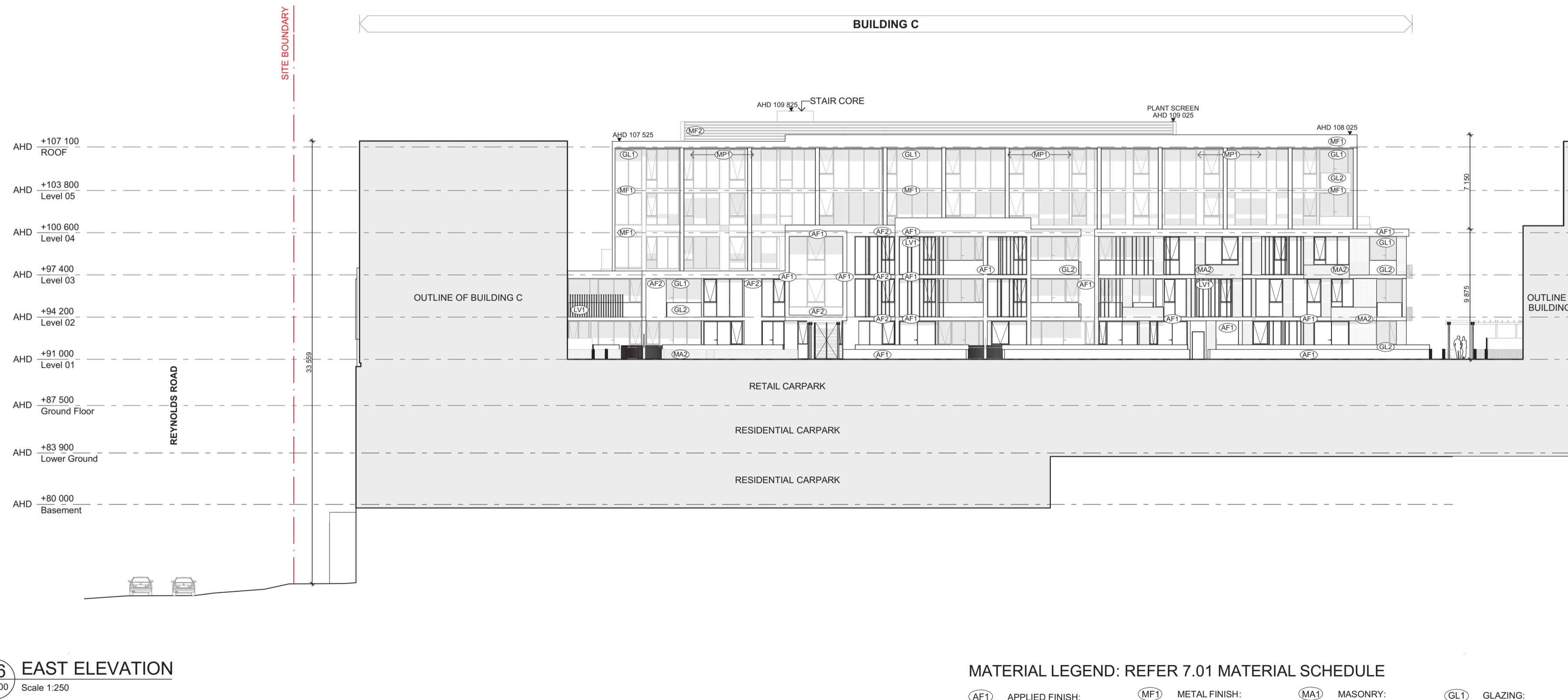
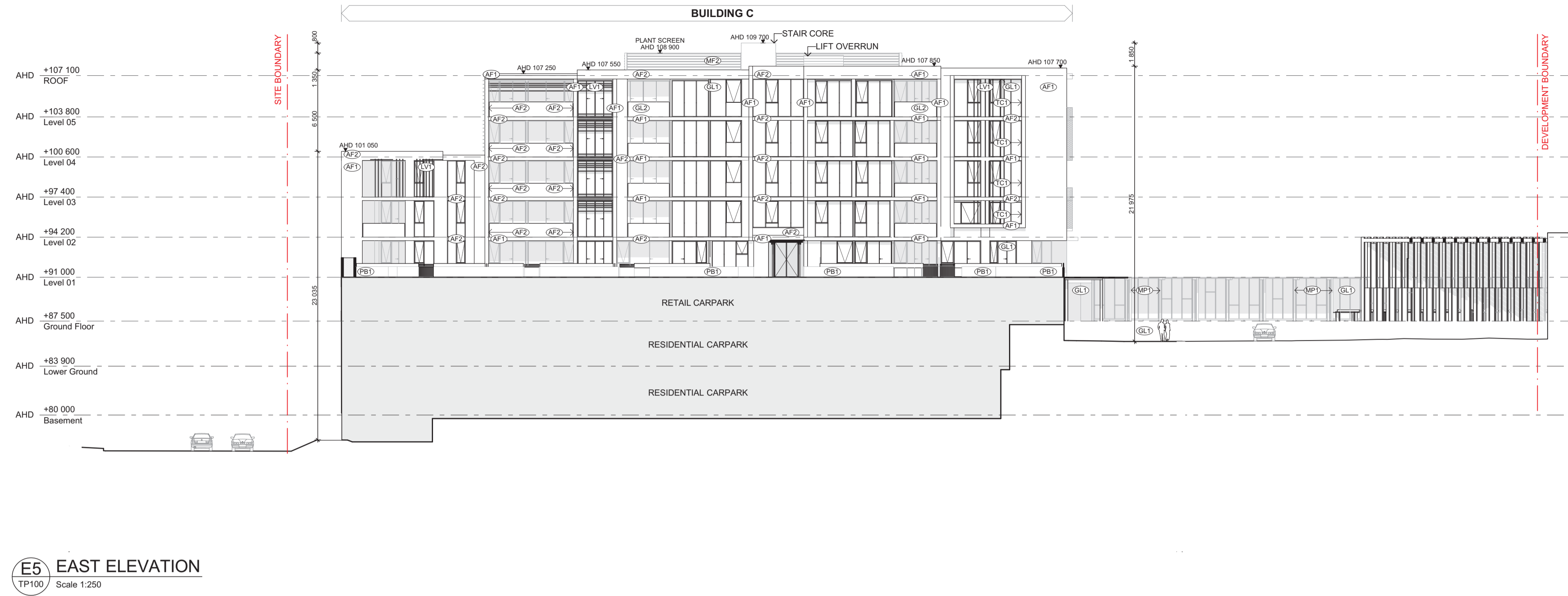
CONSULTANTS			
STRUCTURAL ENGINEER	<input type="checkbox"/>	Bonacell Group	T 03 9418 4000
SERVICES ENGINEER	<input type="checkbox"/>	Simpson Kotzman	T 03 9603 3030
BUILDING SURVEYOR	<input type="checkbox"/>	Mackenzie Group Consulting	T 03 9247 0400
FIRE ENGINEER	<input type="checkbox"/>	WSP Group	T 03 8327 9073
ESD	<input type="checkbox"/>	Simpson Kotzman	T 03 9603 3030



PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**EAST ELEVATION**  
**(INTERNAL)**

SCALE	DATE	DATE	DATE
1:250 @A1 / 1:500 @A3	10/11/2017	10/11/2017	10/11/2017
JOB NO.	DRAWING NO.	REVISION	
<b>12026</b>	<b>TP137</b>	<b>3</b>	



**MATERIAL LEGEND: REFER 7.01 MATERIAL SCHEDULE**

- (AF1) APPLIED FINISH: LIGHT
- (MF1) METAL FINISH: DARK
- (MA1) MASONRY: LIGHT
- (GL1) GLAZING: CLEAR
- (LV1) SCREENING: LOUVRE DARK
- (TC1) SOFFITS & WALL: TIMBER LOOK
- (MP1) METAL POST: DARK FINISH
- (AF2) APPLIED FINISH: DARK
- (MF2) METAL FINISH: LIGHT
- (MA2) MASONRY: DARK
- (GL2) GLASS BALUSTRADE: CLEAR
- (LV2) SCREENING: LOUVRE DARK (CARPARK)
- (PB1) PLANTER BOX: DARK FINISH
- (PS1) PRIVACY SCREENING: DARK FINISH

**FOR TOWN PLANNING**

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI - NO CHANGE	AH	NM	2

DATE	REVISION	BY	CHK	NO.

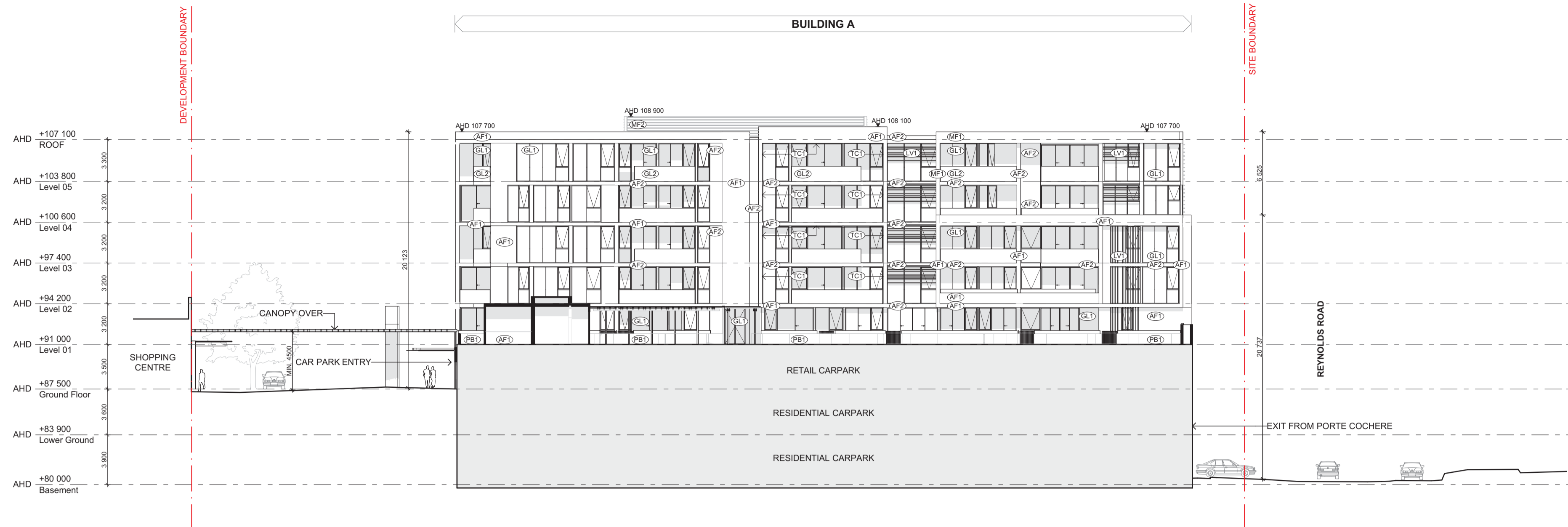
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SERVICES ENGINEER	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	
BUILDING SURVEYOR	<input type="checkbox"/> Mackenzie Group Consulting	T 03 9247 0400	
FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 8073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	



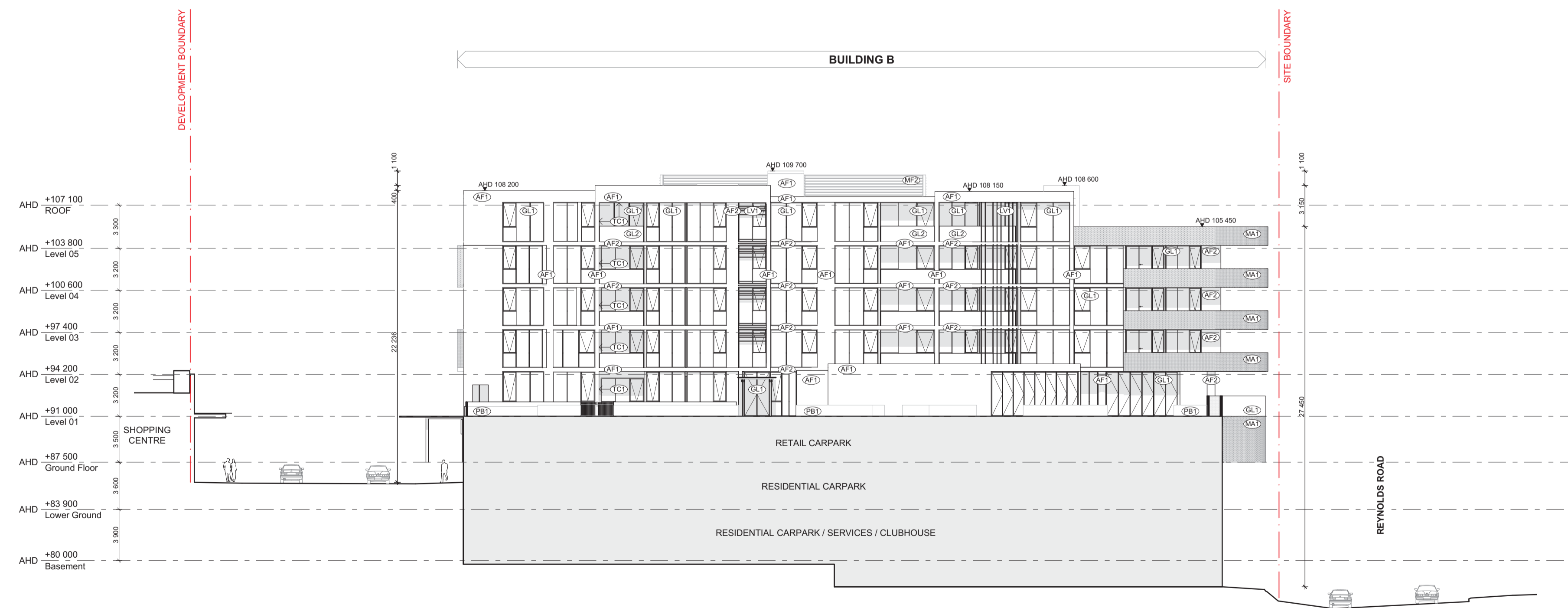
PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**EAST ELEVATION**  
**(INTERNAL)**

SCALE	DATE	DRAWN	JOB NO.	PLOT DATE	CHECKED	DRAWING NO.	REVISION
1:250 @A1 / 1:500 @A3	10/11/2017	NM	12026	10/11/2017	MY	TP138	3



**W3 WEST ELEVATION**  
TP100 Scale 1:250



**W4 WEST ELEVATION**  
TP100 Scale 1:250

MATERIAL LEGEND: REFER 7.01 MATERIAL SCHEDULE

- (AF1) APPLIED FINISH: LIGHT
- (MF1) METAL FINISH: DARK
- (MA1) MASONRY: LIGHT
- (GL1) GLAZING: CLEAR
- (LV1) SCREENING: LOUVRE DARK
- (TC1) SOFFITS & WALL: TIMBER LOOK
- (MP1) METAL POST: DARK FINISH
- (AF2) APPLIED FINISH: DARK
- (MF2) METAL FINISH: LIGHT
- (MA2) MASONRY: DARK
- (GL2) GLASS BALUSTRADE: CLEAR
- (LV2) SCREENING: LOUVRE DARK (CARPARK)
- (PB1) PLANTER BOX: DARK FINISH
- (PS1) PRIVACY SCREENING: DARK FINISH

**FOR TOWN PLANNING**

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI - NO CHANGE	AH	NM	2

DATE	REVISION	BY	CHK	NO.

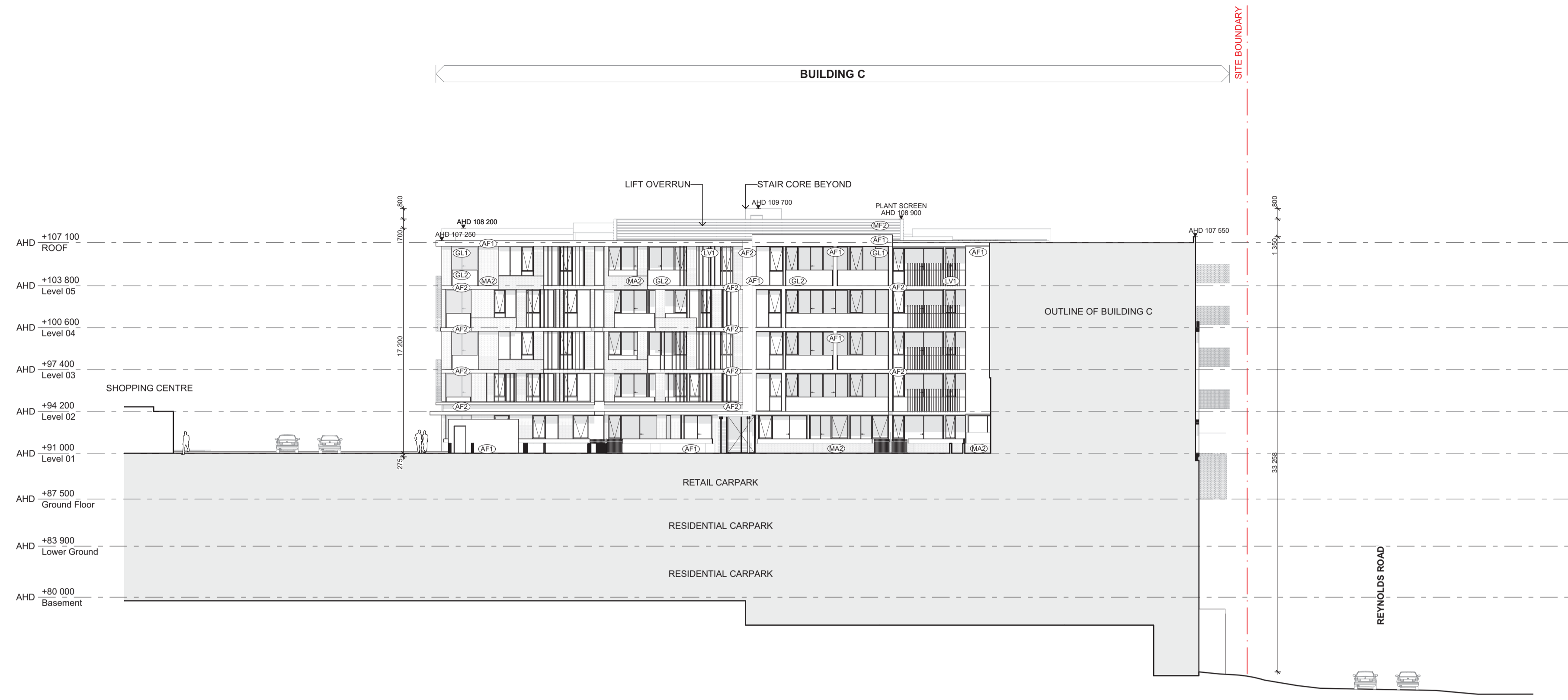
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STRUCTURAL ENGINEER	<input type="checkbox"/> Bonacci Group	T 03 9418 4000	
SERVICES ENGINEER	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	
BUILDING SURVEYOR	<input type="checkbox"/> Mackenzie Group Consulting	T 03 9247 0400	
FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 8073	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	



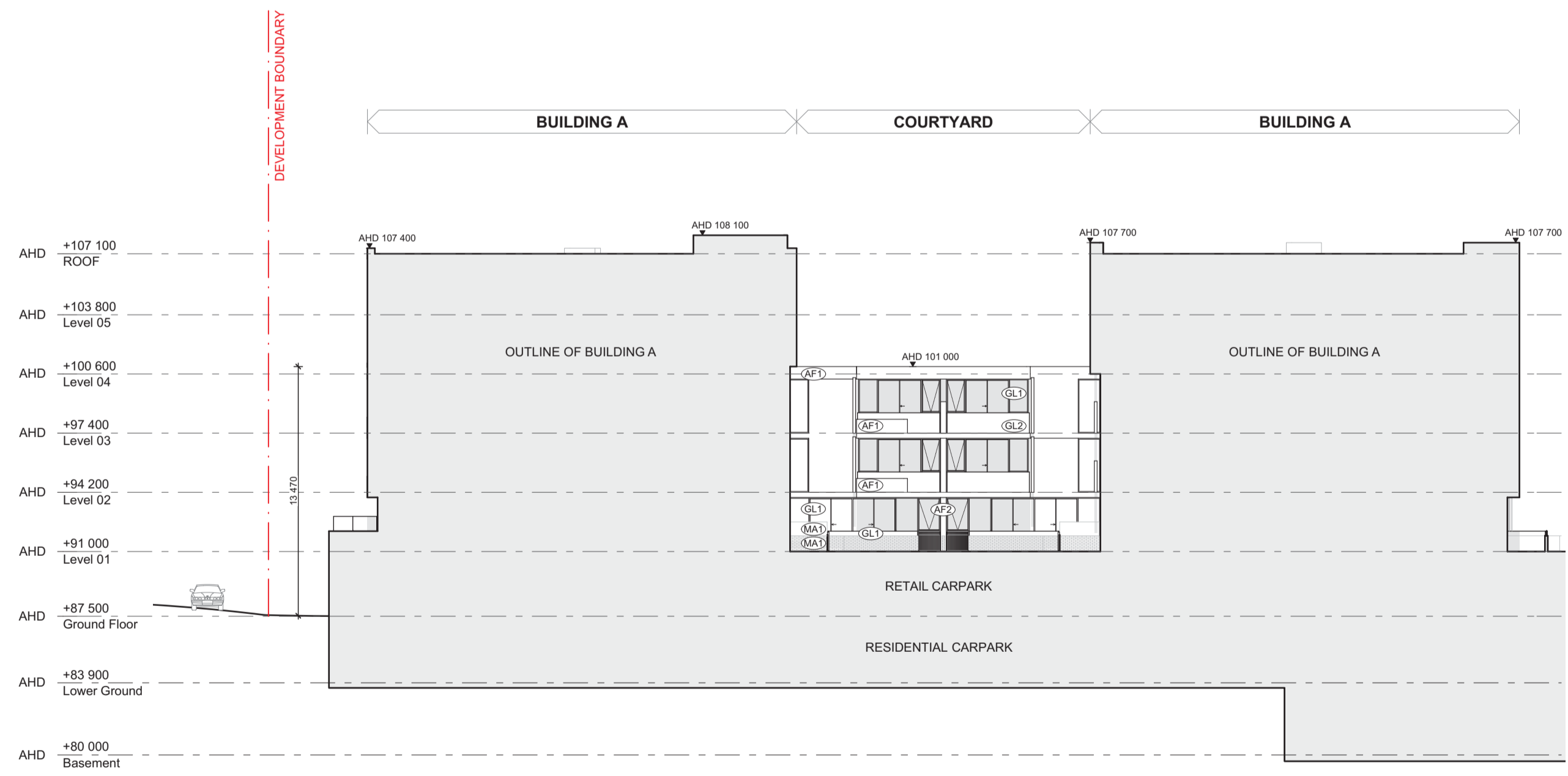
PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**WEST ELEVATION**  
**(INTERNAL)**

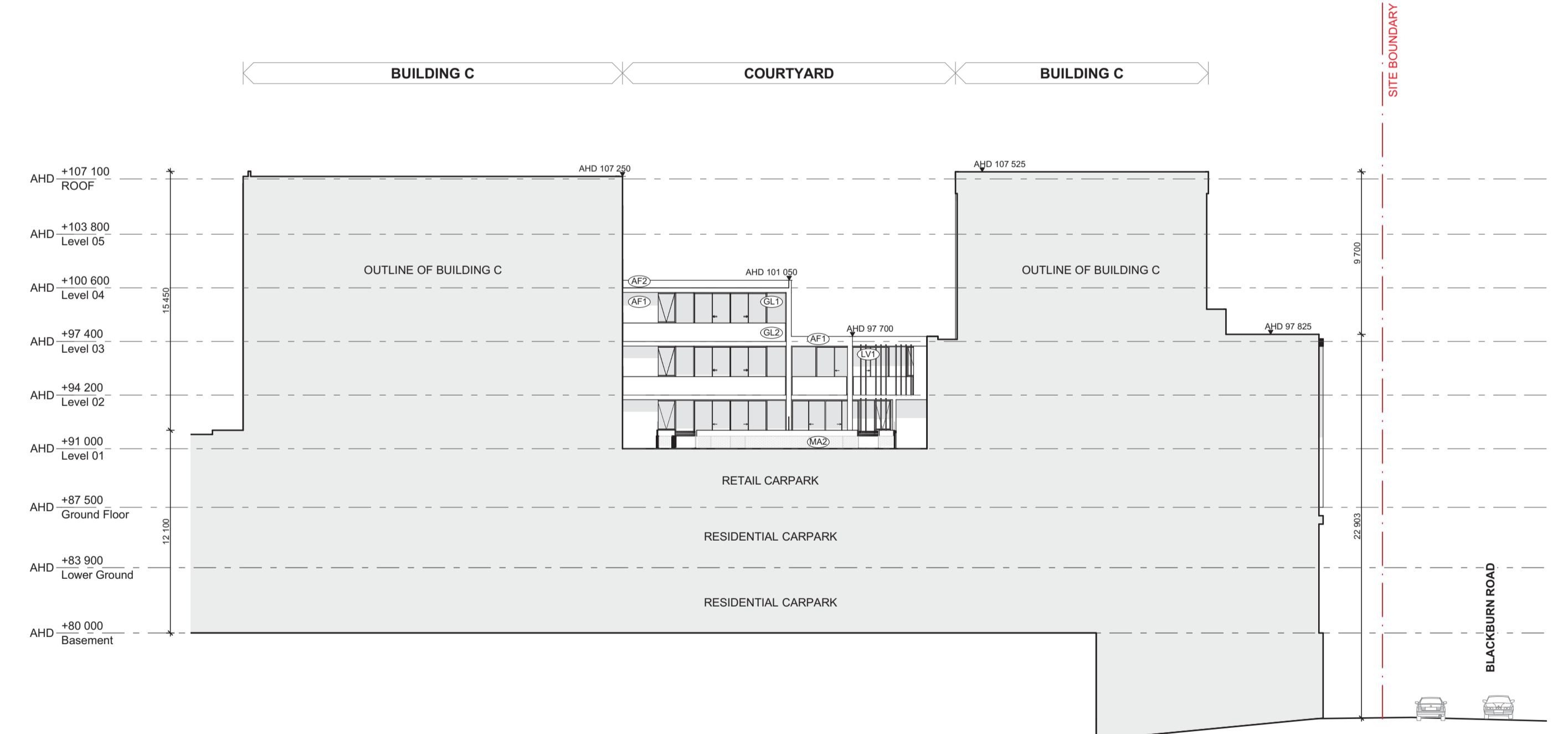
SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:250 @A1 / 1:500 @A3	10/11/2017	NM	12026	TP139	3



**W5 WEST ELEVATION**  
TP100 Scale 1:250



**N3 NORTH ELEVATION**  
TP100 Scale 1:250



**N4 NORTH ELEVATION**  
TP100 Scale 1:250

**MATERIAL LEGEND: REFER 7.01 MATERIAL SCHEDULE**

- |                             |                           |                      |                               |  |                                   |                                      |
|-----------------------------|---------------------------|----------------------|-------------------------------|--|-----------------------------------|--------------------------------------|
| (AF1) APPLIED FINISH: LIGHT | (MF1) METAL FINISH: DARK  | (MA1) MASONRY: LIGHT | (GL1) GLAZING: CLEAR          | (LV1) SCREENING: LOUVRE DARK           | (TC1) SOFFITS & WALL: TIMBER LOOK | (MP1) METAL POST: DARK FINISH        |
| (AF2) APPLIED FINISH: DARK  | (MF2) METAL FINISH: LIGHT | (MA2) MASONRY: DARK  | (GL2) GLASS BALUSTRADE: CLEAR | (LV2) SCREENING: LOUVRE DARK (CARPARK) | (PB1) PLANTER BOX: DARK FINISH    | (PS1) PRIVACY SCREENING: DARK FINISH |

**FOR TOWN PLANNING**

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI - NO CHANGE	AH	NM	2

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
STRUCTURAL ENGINEER	<input type="checkbox"/> Bonacci Group	T 03 9418 4000	
SERVICES ENGINEER	<input type="checkbox"/> Simpson Kotzman	T 03 9603 3030	
BUILDING SURVEYOR	<input type="checkbox"/> Mackenzie Group Consulting	T 03 9247 0400	
FIRE ENGINEER	<input type="checkbox"/> WSP Group	T 03 8327 9873	
ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9603 3030	



PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

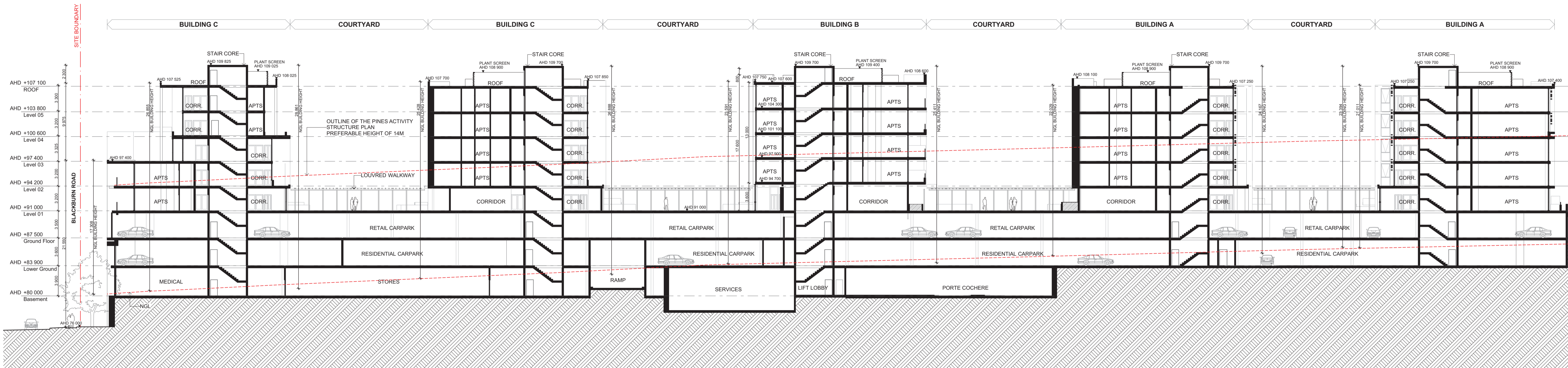
DRAWING TITLE  
**WEST & NORTH**  
**ELEVATION (INTERNAL)**

SCALE	DATE	DRAWN	JOB NO.	DRAWING NO.	REVISION
1:250 @A1 / 1:500 @A3	10/11/2017	NM	12026	TP140	3

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**A SECTION**  
TP100 Scale 1:250



**B SECTION**  
TP100 Scale 1:250

# FOR TOWN PLANNING

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI	AH	NM	2

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
STRUCTURAL ENGINEER	<input type="checkbox"/> Bonacci Group		T 03 9418 4000
SERVICES ENGINEER	<input type="checkbox"/> Simpson Kotzman		T 03 9663 3030
BUILDING SURVEYOR	<input type="checkbox"/> Mackenzie Group Consulting		T 03 9247 0400
FIRE ENGINEER	<input type="checkbox"/> WSP Group		T 03 8327 8073
ESD	<input type="checkbox"/> Simpson Kotzman		T 03 9663 3030

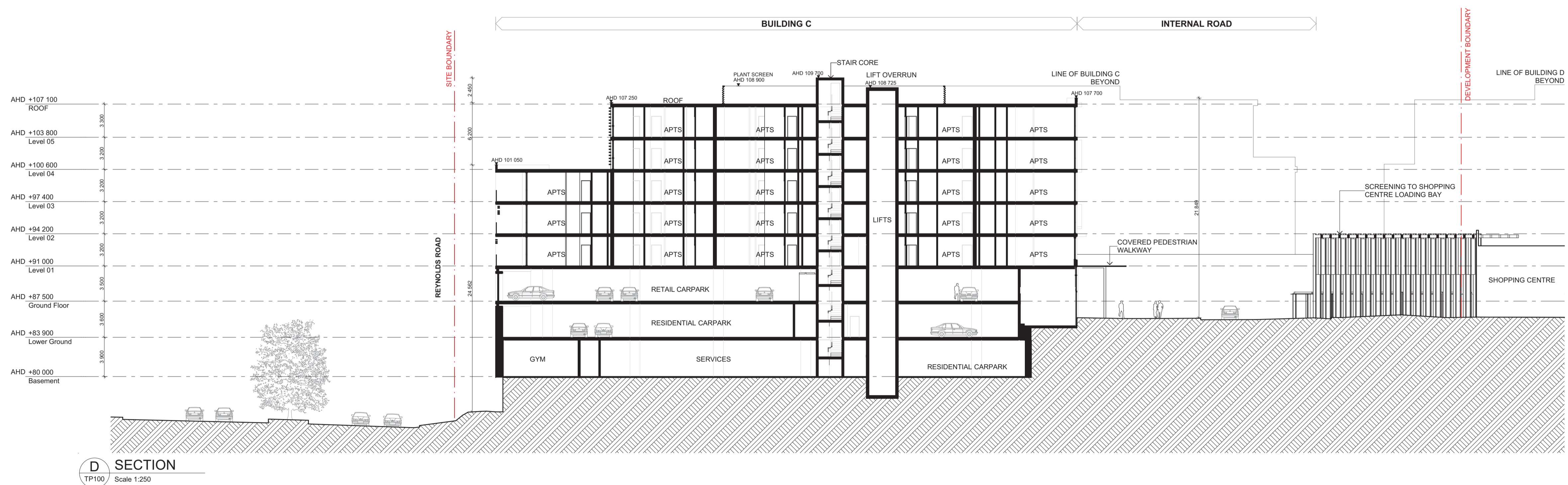
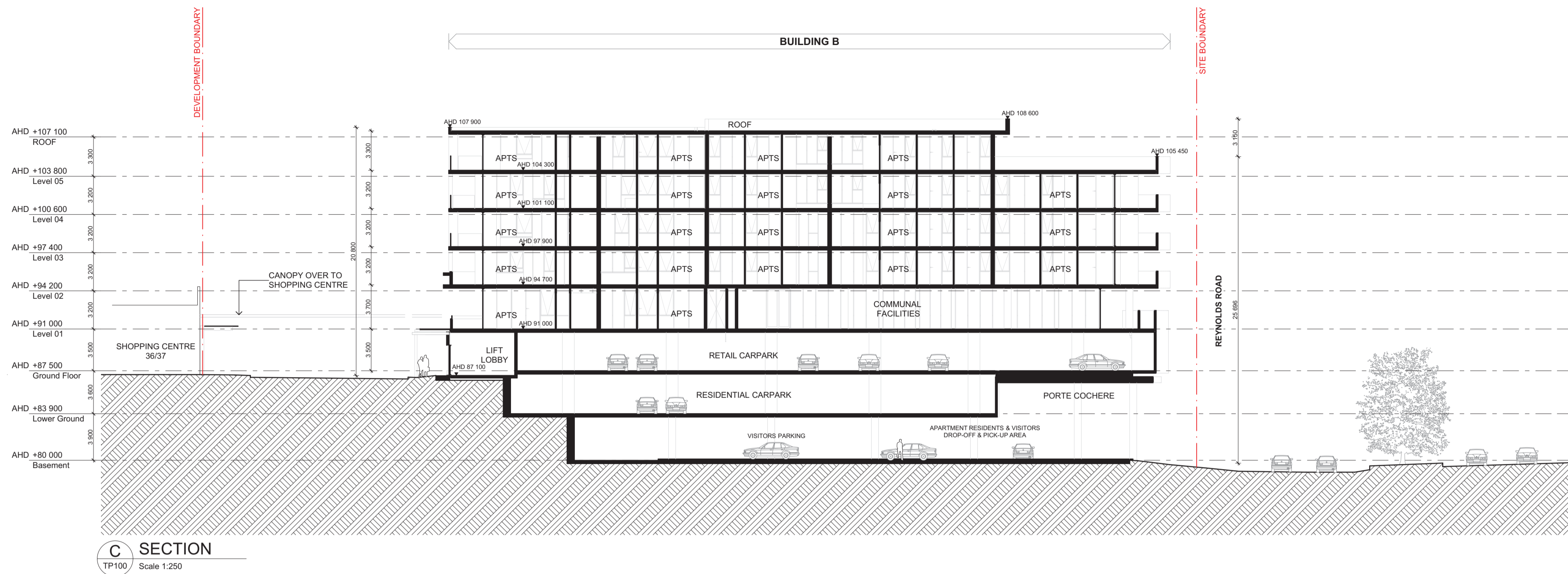


PROJECT  
**THE PINES**  
**181 REYNOLDS RD**  
**DONCASTER EAST**  
**3109**

DRAWING TITLE  
**SECTIONS**

SCALE	DATE	PLOT DATE	DRAWN	CHECKED	JOB NO.	DRAWING NO.	REVISION
1:250 @A1 1:500 @A3	10/11/2017	10/11/2017	NM	MY	12026	TP141	3

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# FOR TOWN PLANNING

DATE	REVISION	BY	CHK	NO.
10.11.17	ISSUED FOR TOWN PLANNING	AH	MY	1
19.12.17	ISSUED FOR TOWN PLANNING RFI	AH	NM	2

DATE	REVISION	BY	CHK	NO.

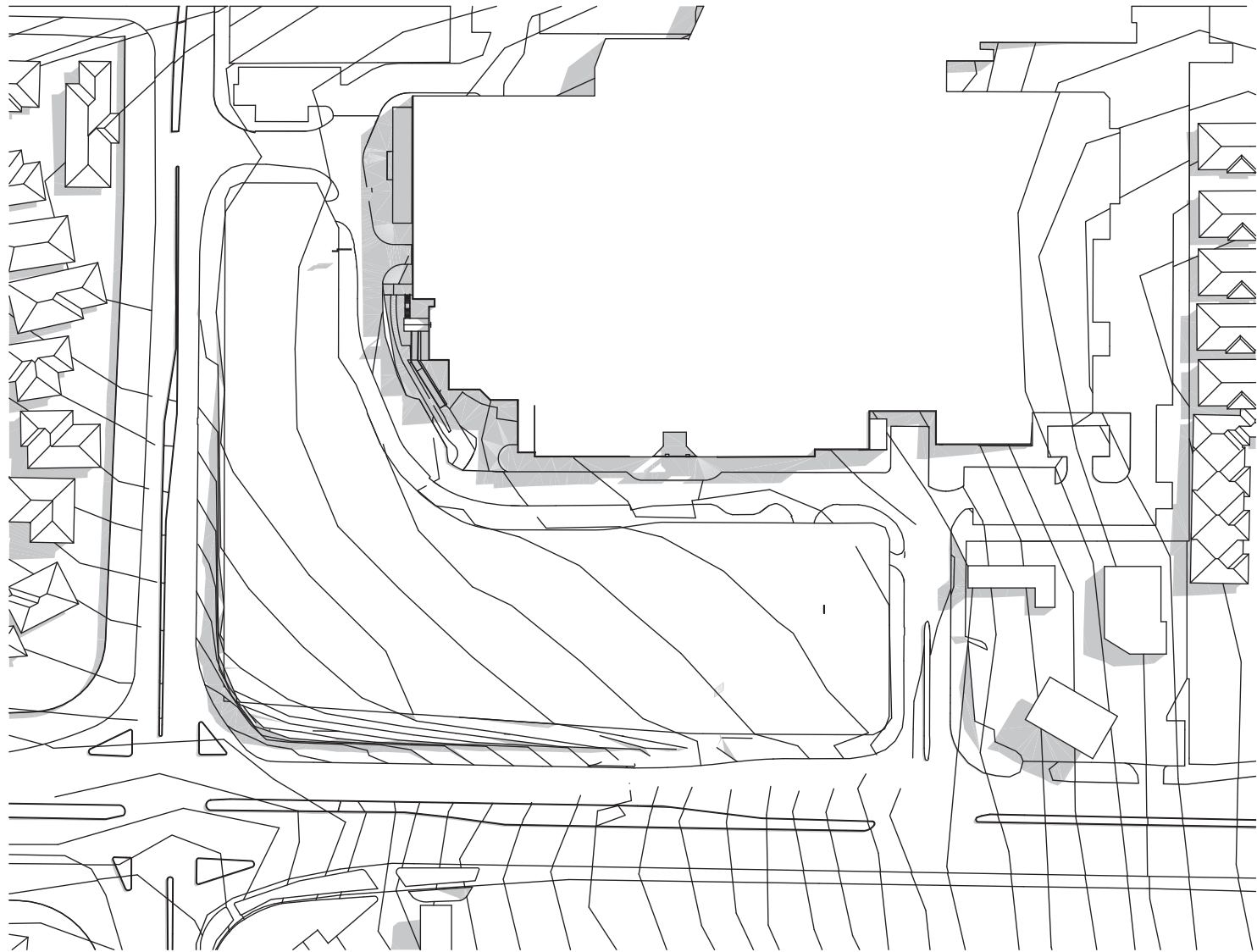
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STRUCTURAL ENGINEER	<input type="checkbox"/> Bonacell Group	T 03 9418 4000	
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ESD	<input type="checkbox"/> Simpson Kotzman	T 03 9663 3030	



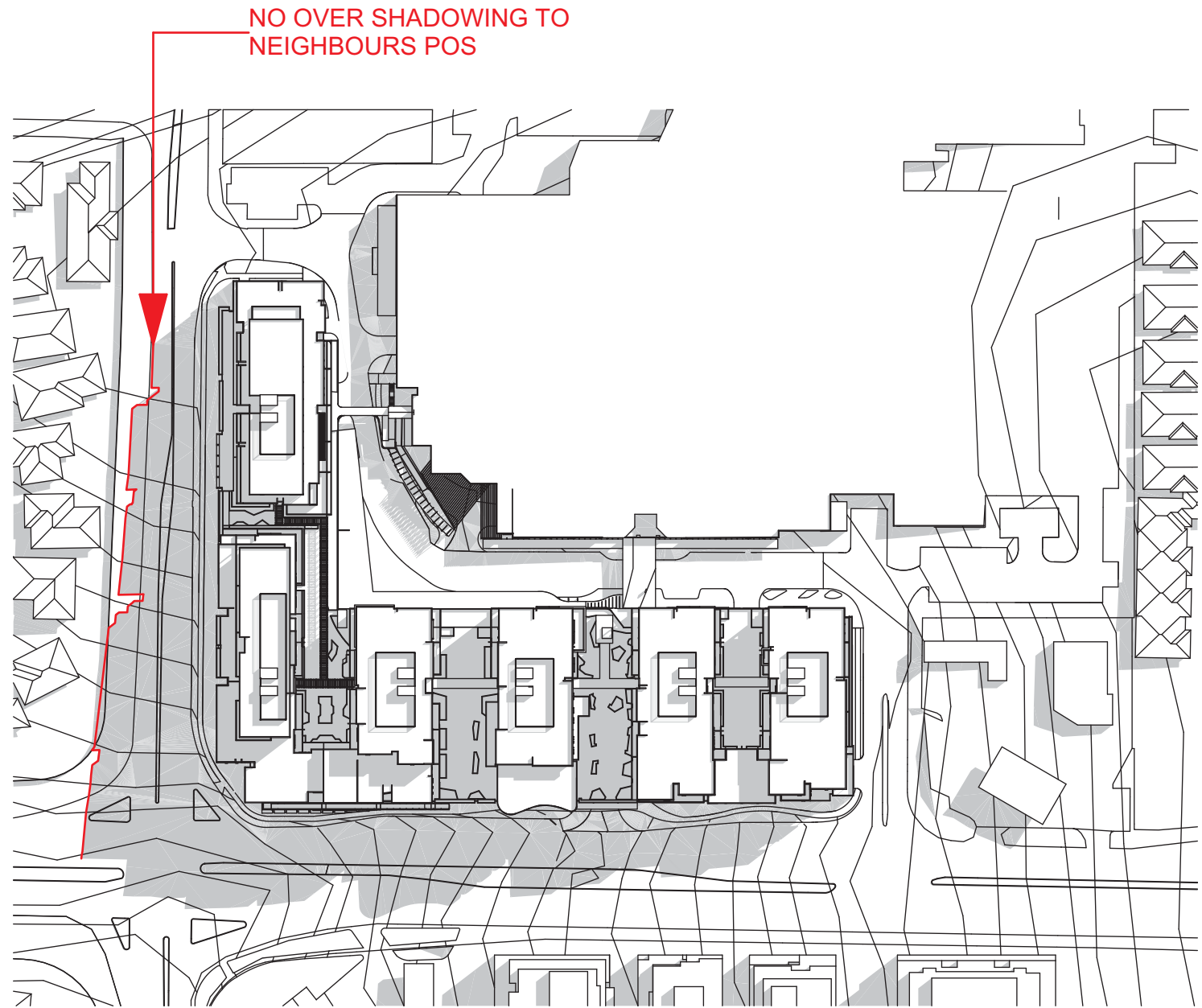
PROJECT		DRAWING TITLE	
<b>THE PINES</b>		<b>SECTIONS</b>	
<b>181 REYNOLDS RD</b>		<b>SECTIONS</b>	
<b>DONCASTER EAST</b>		<b>SECTIONS</b>	
<b>3109</b>		<b>SECTIONS</b>	
SCALE	1:250 @A1 / 1:500 @A2	DATE	10/11/2017
DRAWN	NM	CHECKED	MY
JOB NO.	<b>12026</b>	DRAWING NO.	<b>TP142</b>
		REVISION	<b>3</b>

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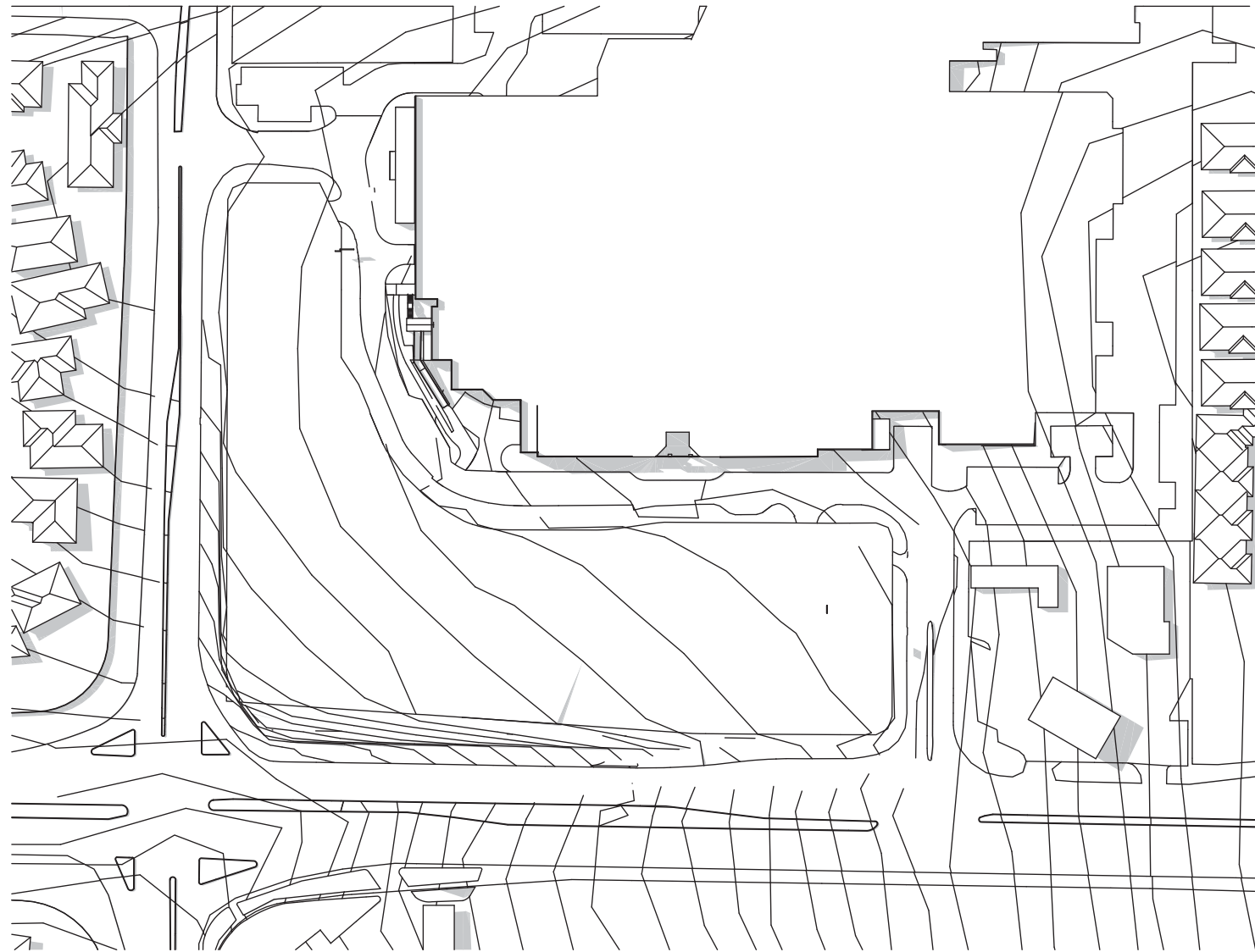




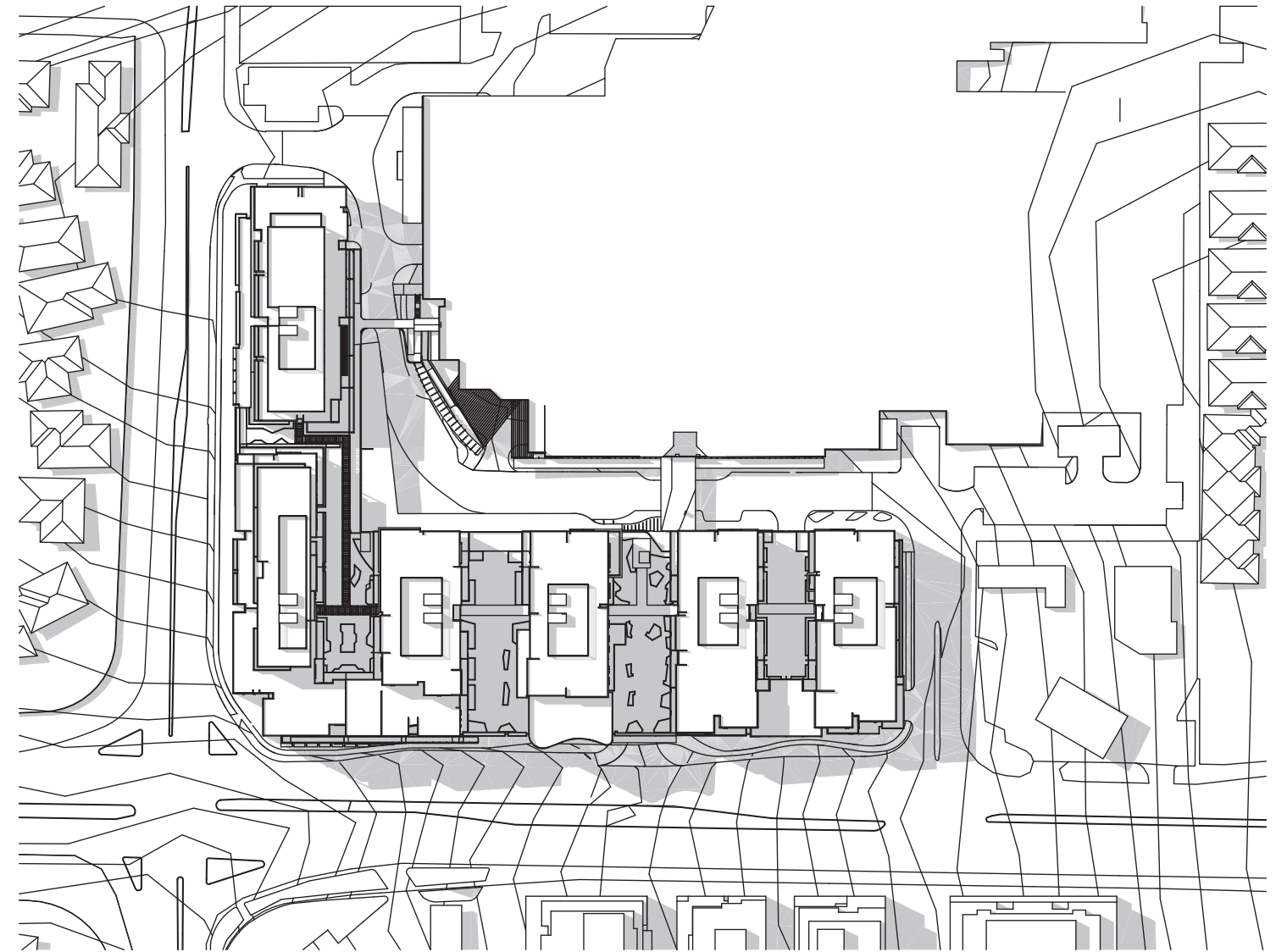
EXISTING SEPTEMBER 22 - 9AM



PROPOSED SEPTEMBER 22 - 9AM



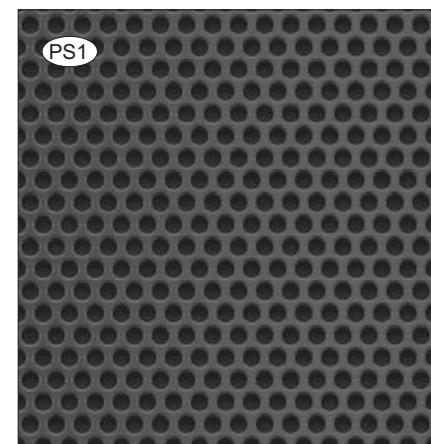
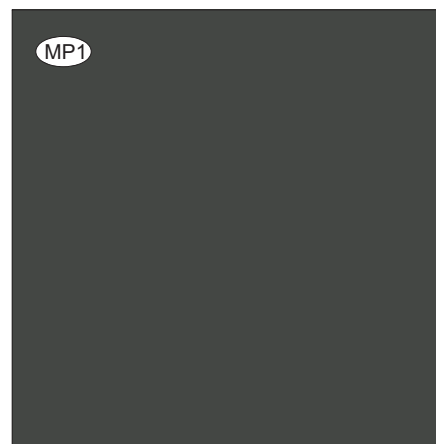
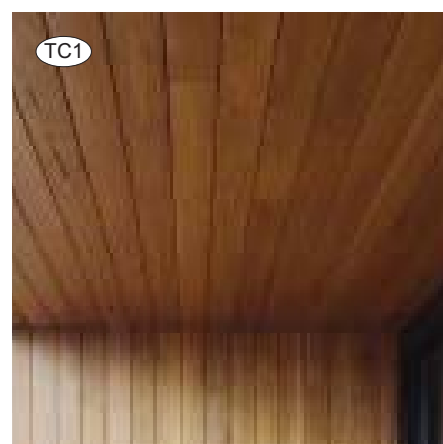
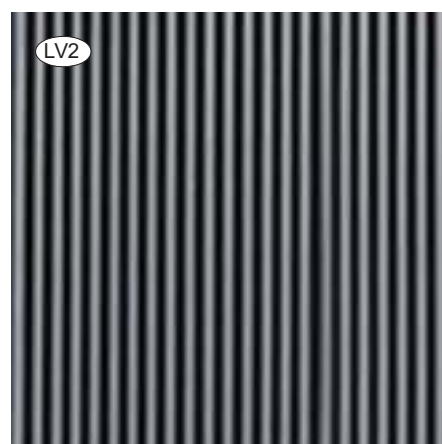
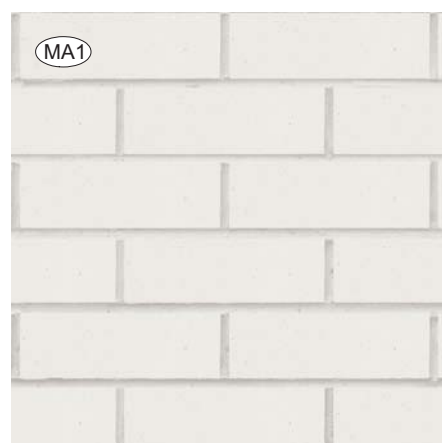
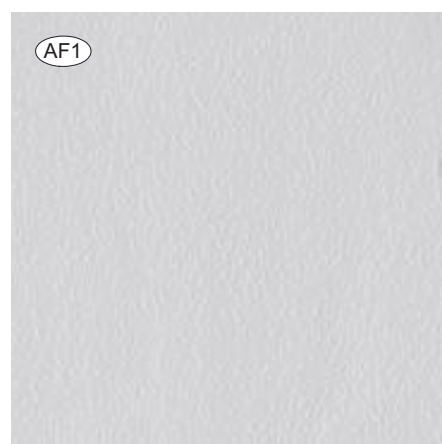
EXISTING SEPTEMBER 22 - 3PM



PROPOSED SEPTEMBER 22 - 3PM

# 7.01

## MATERIAL SCHEDULE



- ⓐ AF1 APPLIED FINISH: LIGHT GREY
- ⓐ AF2 APPLIED FINISH: DARK GREY
- ⓐ MF1 METAL FINISH: DARK GREY
- ⓐ MF2 METAL FINISH: LIGHT
- ⓐ MA1 MASONRY: LIGHT CREAM COLOUR
- ⓐ MA2 MASONRY: DARK GREY COLOUR
- ⓐ GL1 GLAZING: CLEAR
- ⓐ GL2 GLASS BALUSTRADE: CLEAR
- ⓐ LV1 SCREENING: VERTICAL/HORIZONTAL ALUMINIUM LOUVRE POWDERCOATED DARK GREY COLOUR
- ⓐ LV2 SCREENING: VERTICAL ALUMINIUM LOUVRE POWDERCOATED DARK GREY COLOUR (CARPARK)
- ⓐ TC1 SOFFITS & WALL: TIMBER LOOK
- ⓐ MP1 METAL POST: DARK GREY FINISH
- ⓐ PS1 PRIVACY SCREENING: DARK GREY FINISH
- ⓐ PB1 PLANTERBOX: DARK GREY FINISH



Code	Description	Symbol
4	Instrument Station	▲
102	Top Of Bank	—
103	Toe Of Bank	—
104	Existing Surface	—
107	Floor Level	—
110	Change Of Grade	—
201	Single Tree 2m	●
203	Group Trees	●
206	Dead Tree	●
301	Drain - Concrete	—
308	Side Entry Pit	□
309	Gasket Pit	□
310	Junction Pit	□
329	Gasket Pit Lid (Paint)	□
403	Edge Of Bitumen	—
407	Inset Of Kerb/Channel	—
408	Back Of Kerb/Channel	—
409	Top Of Kerb/Channel	—
410	Pedestrian Concrete Footpath	—
414	Detector Post Top	—
415	Car Park	—
418	Edge Of Concrete	—
423	Speed Hump	—
503	Signs	—
504	Postbox	—
505	Traffic Signal Pole	—
506	Traffic Signal Box	—
507	Traffic Signal Pit	—
518	Multi Mounted Sign	—
521	Boiler	—
522	Rubbish Bin	—
523	Seat / Bench	—
604	Verandah	—
610	Column	—
613	Borewell	—
618	Retaining Wall - Crb	—
620	Retaining Wall - Stone	—
622	Retaining Wall - Wood	—
628	Stair	—
629	Ramp	—
633	Parapet	—
711	Light Pole	—
712	Electricity Pole Only	—
713	Electricity Pole With Light	—
715	Electricity Undercable	—
716	Electricity Pit	—
721	Telecommunications Pit	—
731	Gas Valve	—
732	Gas Marker Post	—
741	Sewerage Pit	—
751	Stop Valve	—
753	Fire Hydrant	—
755	Water Unclassified	—
760	Ingenieur/Sprinkler Box	—
762	Unclassified Pit	—
763	Height Clearance Guide	—
810	Bus/Tam Shelter	—
903	Fence	—
900	Title	—
998	Digital Cadastral Map Base (DCMB)	—



Services that were not visible at the time of survey may not be shown on this plan. Reference should be made to service authority plans prior to commencement of works.

Date of Survey: October 2015

All dimensions and survey marks shown on this plan should be verified/confirmed by all contractors & consultants prior to any future construction & site works.

Levels shown thus are to Australian Height Datum via PM21 with a stated value of RL 76.250

Refer to frozen layers with a suffix of \_L for levels. Refer to frozen layers with a suffix of \_C for crosses. Refer to frozen layer "TRIANGLE" for 3D Triangles.

Contour Interval 0.2 metres

Scale: 1:250

Drawn: Scott Wylie

Checked: SS

Date: 29/10/15

Survey Date: 30/7/2015 see

CAD Drawing Number: 3097700AA

Original sheet size: A0

Client: Stockland Developments Pty Ltd

Project: The Pines Shopping Centre 181 Reynolds Road Doncaster East

Details: Partial Title Re-establishment Feature and Level Survey

Sheet: 1 of 1

File Number: 30977 002

**Bacon James Pty Ltd**  
 A.B.N. 55 953 128 437  
 P.O. Box 2975, South Melbourne, VIC 3205  
 15 Eastern Road, South Melbourne  
 VIC 3205 Australia  
 Tel: 03 9589 1400 Fax: 03 9589 5992

LEGEND

- 1. Malus domestica and Malus domestica 'Jonathan' (Apples) or similar.
- 2. Pyrus communis 'Faccia Rosa' (Cocktail Pear) or similar.
- 3. Lagerstroemia indica x L.fauriei 'Zuni' or similar.
- 4. Pyrus communis 'Beurre Bosc' (Pear) or similar.
- 5. Prunus domestica 'Mount Royal' (Fig) or similar..
- 6. Diospyros kaki 'Fuyu' (Persimmon) or similar.
- 7. Small edible fruit bearing trees/shrubs (such as lime, orange, plum and blueberries).
- 8. Mixed planting of screening trees such as Lagerstroemia indica x L.fauriei 'Lipan' and Acer palmatum 'Osakazuki' with understorey groundcover and plants.
- 9. Sculptural interests in at-grade garden beds with mixed mass planting of shrubs, low ground cover grasses.
- 10. Petanque court.
- 11. Kitchen Garden plots with opportunity to grow a variety of food producing plants as well as herbs.
- 12. Support structure (pergola and trellis) for edible climbing plant species such as grapes, and cucumber.
- 13. Contemplation and relaxation area with timber decking.
- 14. Raised garden beds with mixed mass planting of shrubs, low ground cover grasses.
- 15. Mass planting of low grasses to tall raised planters to balcony edges.
- 16. Non-pooling reflective water feature.





**LEGEND**

1. Pistacia chinensis (or similar tree with striking foliage) to the north-west corner to draw attention to and indicate the entrance into the site.
2. Mixed planting of small to medium sized indigenous tree species such as Wattles, Black Sheoak and White Cypress to landscape buffer between the public footpath and the building's edge/facade. Final selection of species will be determined by visibility (clear trunk) to reinforce sight lines.
3. Larger canopy trees (such as Eucalypts) to be planted throughout the landscape buffer at points where there are more space, and coordinating with the architectural built form.
4. Mass planting of layered understorey planting including indigenous shrubs, grasses, ground covers and wild flowers to the landscape buffer.
5. Wire mesh trellis to be attached to the building's facade / retaining walls which facilitate a living 'green wall' of climbing species planted in the garden bed beneath. Where possible, self supporting creepers can be grown and trained to the wall / facade. Coordinate with the architectural form to alternate and match as appropriate.
6. Mixed mass planting of low shade-loving plant species (such as clivia, ferns, and ivy) to porte-cochere area accessed via Reynolds Road.



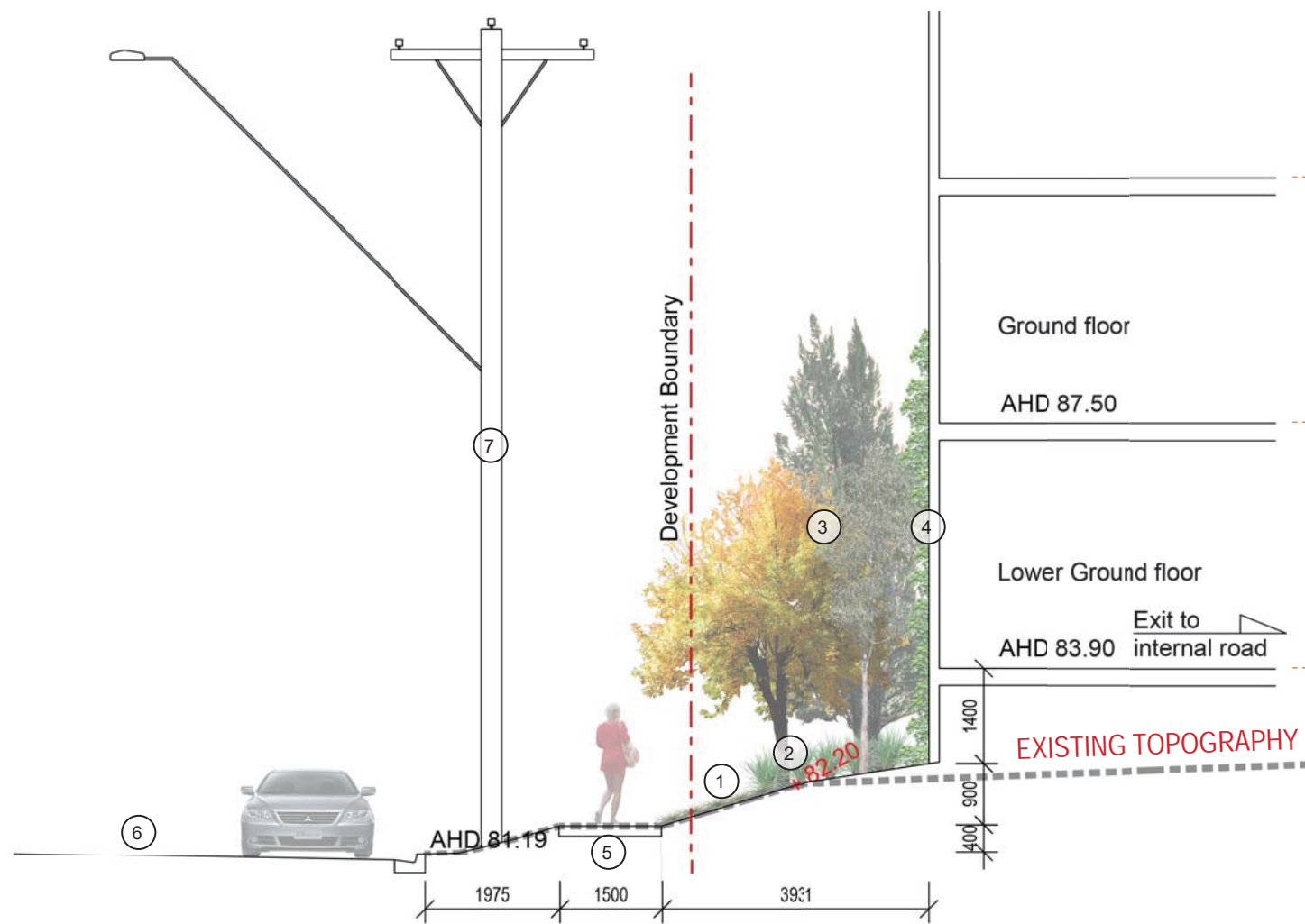
**LEGEND**

- 1. Pistacia chinensis (or similar small tree) along the inner streetscape.
- 2. Melia azedarach 'Elite' (or similar medium tree) along the inner streetscape.
- 3. Jacaranda mimosifolia as feature planting to the public plaza, serving as shade trees as well as a breathtaking backdrop to people walking driving towards the 'bend' and the public plaza.
- 4. Pyrus calleryana 'Chanticleer'.
- 5. Corymbia maculata (or similar canopy tree) along the inner streetscape.
- 6. Raised lawn with seating edges and gently sloping lawn area for relaxation and meeting opportunities.
- 7. Covered walkway (refer to Architectural drawings).
- 8. Bus bays.
- 9. Textured treatment to the share-zone pavement.
- 10. Raised garden beds with seating walls; Bus stop waiting area. Coloured concrete to paving nodes to indicate a change in location / use.
- 11. At-grade garden beds with layered planting.
- 12. Visitor bike racks.
- 13. Pedestrian footpath to the inner streetscape is proposed to be plain grey concrete (or match to Council's footpath treatment), with exposed aggregate concrete paving nodes arranged in an organic manner reminiscent of the scales of a pine cone or Banksia seed pod follicles.

REFER TO ARCHITECTURAL PLANS FOR BUILDING AND CAR PARK LAYOUT

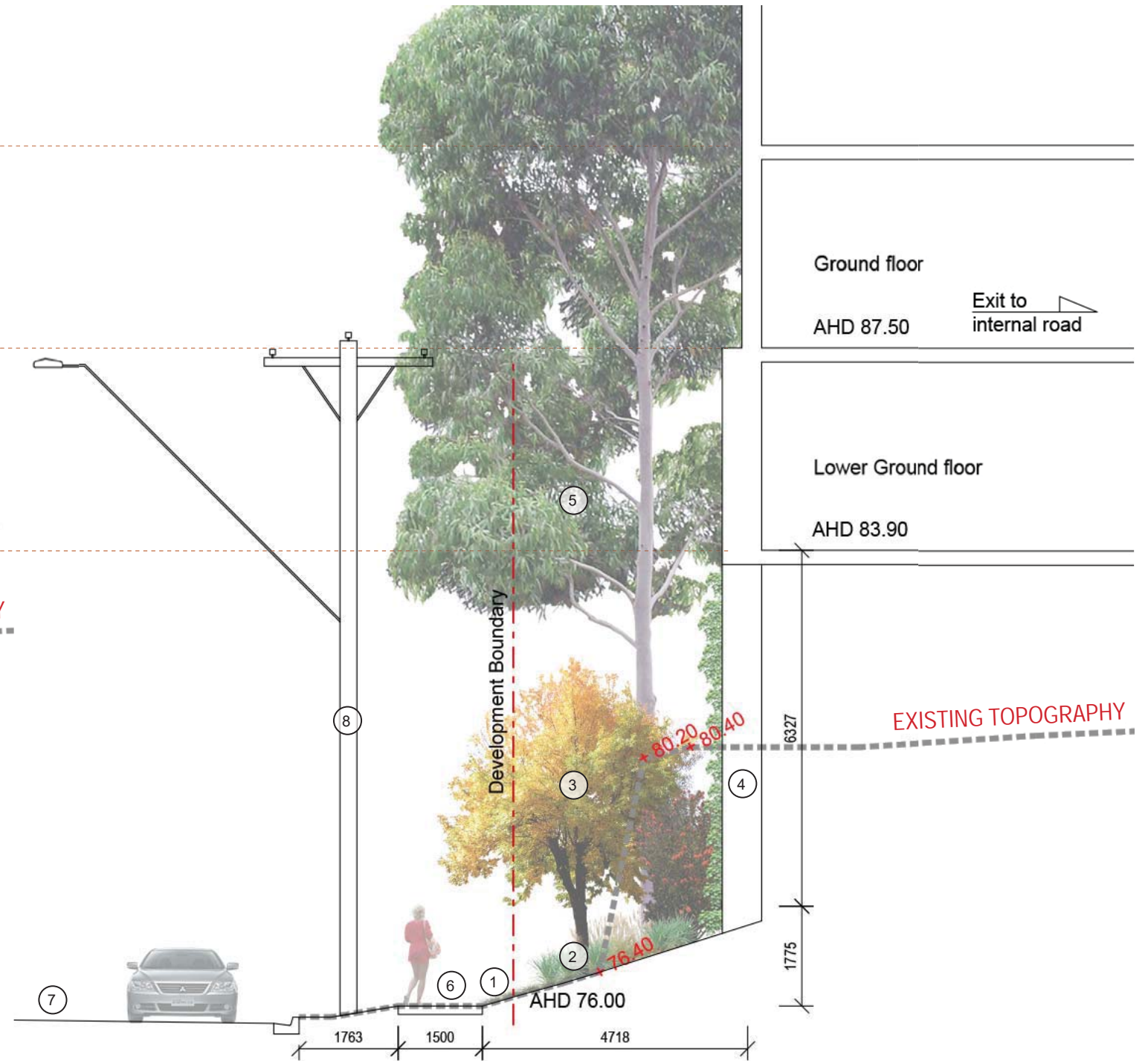
REFER TO ARCHITECTURAL PLANS FOR BUILDING AND CAR PARK LAYOUT

PORTE-CORCHE REFER TO ARCHITECTURAL PLANS



**SECTION A - BLACKBURN ROAD**

1. Mass planting of native ground covers and wild flowers to the area adjacent to the existing footpath.
2. Mass planting of layered understorey including native shrubs and grasses.
3. Mixed planting of small to medium sized indigenous tree species such as Wattles, Black Sheoak and White Cypress to landscape buffer between the public footpath and the building's edge/facade.
4. Wire mesh trellis to be attached to the building's facade / retaining wall which facilitates a living 'green wall' of native climbing species planted in the landscape buffer beneath.
5. Existing footpath.
6. Blackburn Road.
7. Utility pole in nature strip.



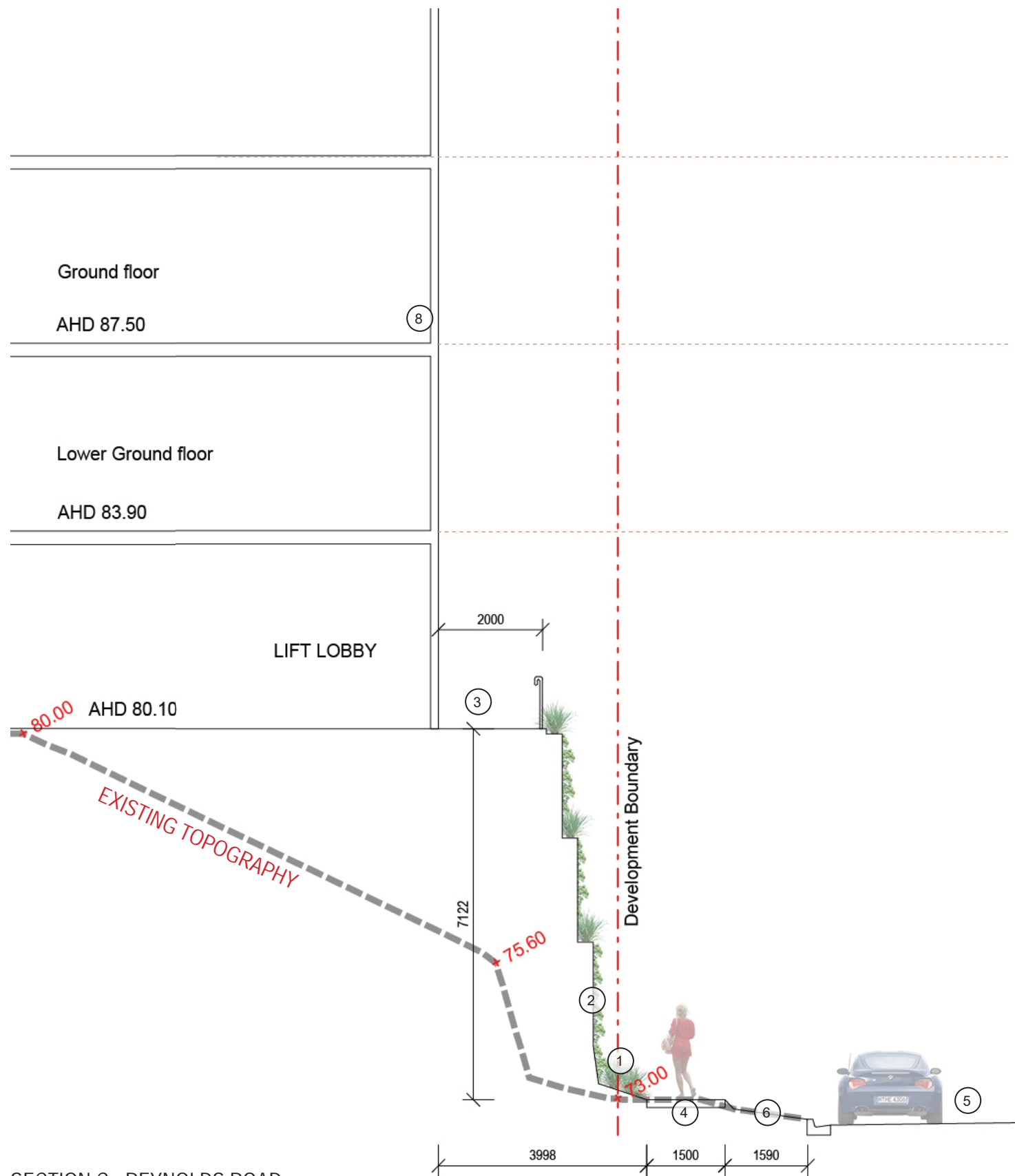
**SECTION B - BLACKBURN ROAD**

1. Mass planting of native ground covers and wild flowers to the area adjacent to the existing footpath.
2. Mass planting of layered understorey including native shrubs and grasses.
3. Mixed planting of small to medium sized indigenous tree species such as Wattles, Black Sheoak and White Cypress to landscape buffer between the public footpath and the building's edge/facade.
4. Wire mesh trellis to be attached to the building's facade / retaining wall which facilitates a living 'green wall' of native climbing species planted in the landscape buffer beneath.
5. Larger canopy trees (such as Eucalypts) to be planted throughout the landscape buffer at points where there are more space.
6. Existing footpath.
7. Blackburn Road.
8. Utility pole in nature strip.



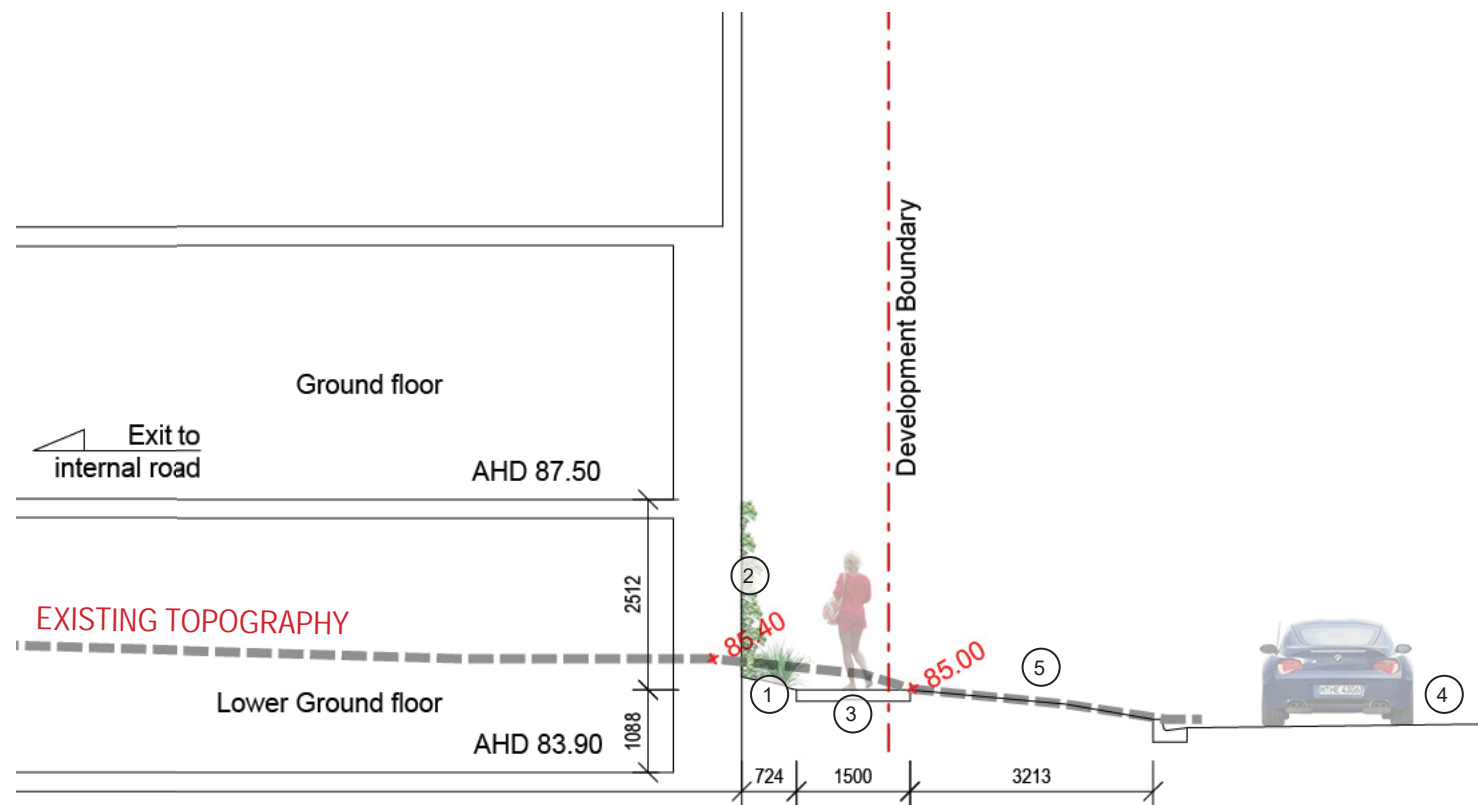
KEY PLAN





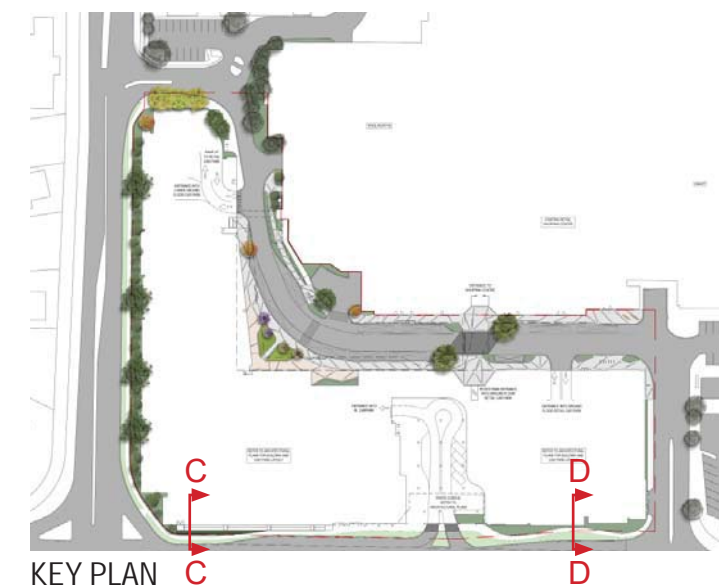
SECTION C - REYNOLDS ROAD

1. Mass planting of native ground covers and wild flowers to the area adjacent to the existing footpath.
2. Wire mesh trellis to be attached to the external ramp frame which facilitates a living 'green wall' of native climbing species planted in the landscape buffer beneath.
3. External ramp access to Lift Lobby from the building exterior (refer to Architectural drawings).
4. Existing footpath.
5. Reynolds Road.
6. Existing nature strip.



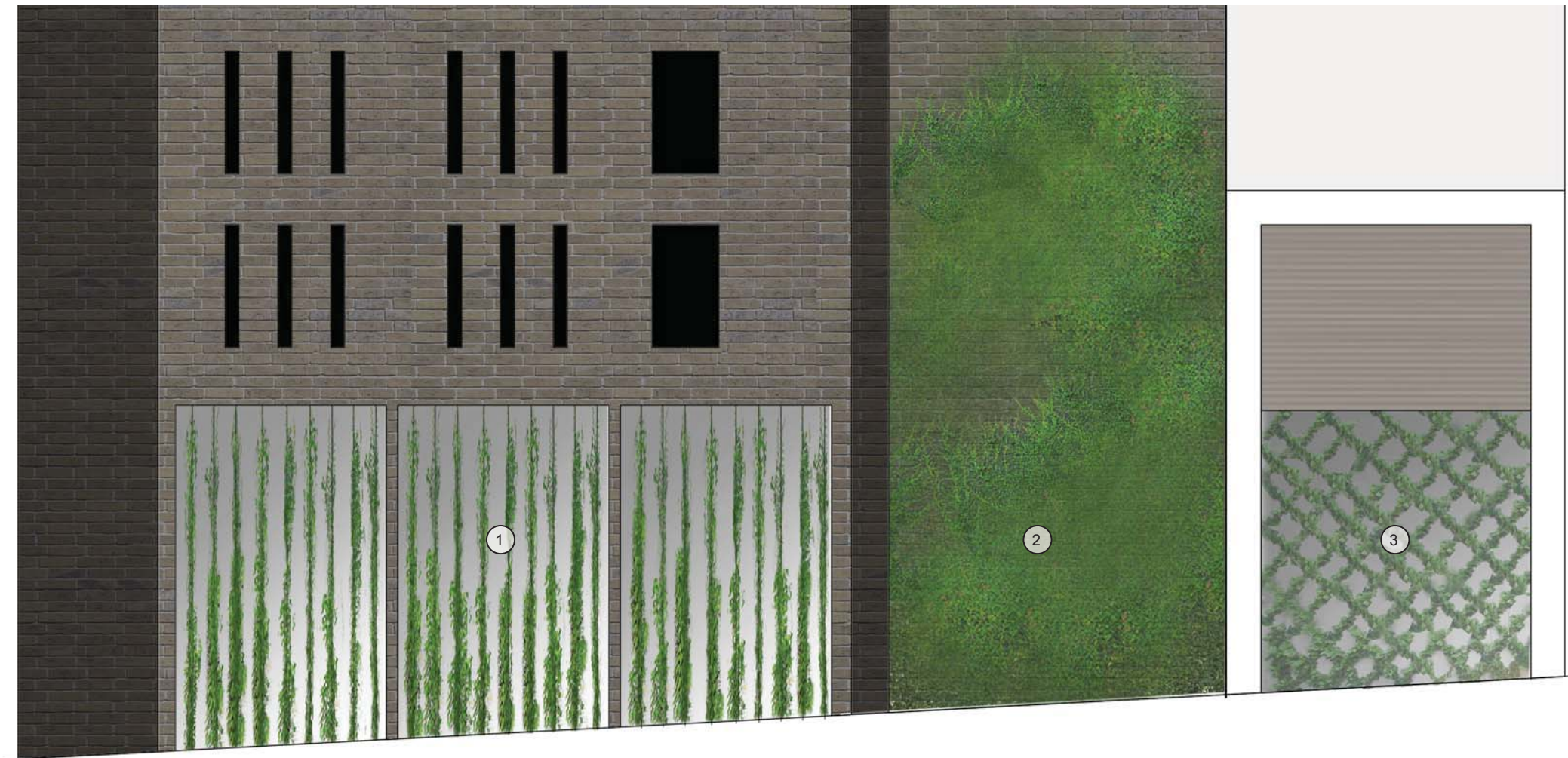
SECTION D - REYNOLDS ROAD

1. Mass planting of native ground covers and wild flowers along the building's edge in the area adjacent to the footpath.
2. Wire mesh trellis to be attached to the building's facade / retaining wall which facilitates a living 'green wall' of native climbing species planted in the landscape buffer beneath.
3. New footpath.
4. Reynolds Road.
5. Nature strip.



KEY PLAN

THE PINES - REYNOLDS ROAD SECTIONS  
1:100 @ A3



TYPICAL ELEVATION A - GREEN WALL TREATMENT SYSTEMS TO BUILDING FACADE AND RETAINING WALLS.

1. Tensile wire to recessed areas of building facade or retaining wall with assisted climbing vine species .
2. Self supporting creeping plant species (such as Ficus pumila).
3. Tensile wire system set out in a grid format and attached to building facade / retaining wall face to assist climbing plant species.

# PUBLIC REALM PLANT SELECTION

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT x WIDTH (M)	POT SIZE
<b>LARGE TREES</b>				
	<i>Acacia dealbata</i>	Silver Wattle	30.0 x 10.0	200L
	<i>Acacia melanoxylon</i>	Blackwood	8.0-20.0 x 8.0-10.0	200L
	<i>Corymbia maculata</i>	Spotted Gum	30.0 x 10.0	200L
	<i>Eucalyptus radiata</i>	Narrow-leaved Peppermint	10.0-20.0 x 6.0-15.0	200L
<b>SMALL/MEDIUM TREES</b>				
	<i>Acacia implexa</i>	Lightwood	6.0 tall	100L
	<i>Acacia pycnantha</i>	Golden Wattle	3.0-6.0 tall	100L
	<i>Allocasuarina littoralis</i>	Black Sheoak	4.0-12.0 x 2.0-5.0	100L
	<i>Callitris columellaris</i>	White Cypress	12.0 x 2.0	100L
	<i>Jacaranda mimosifolia</i>	Jacaranda	15.0 x 8.0	100L
	<i>Melia azedarach</i> 'Elite'	White Cedar	10.0 x 8.0	100L
	<i>Olearia lirata</i>	Snow Daisy-bush	2.0-3.0 x 1.0	100L
	<i>Pistacia chinensis</i>	Chinese Pistache	8.0 x 6.0	100L
	<i>Pyrus calleryana</i> 'Chanticleer'	Ornamental Pear	11.0 x 6.0	100L
<b>SMALL/MEDIUM SHRUBS</b>				
	<i>Acacia acinacea</i>	Gold-dust Wattle	1.5 x 1.0	75L
	<i>Acacia genistifolia</i>	Spreading Wattle	1.0-2.0 x 1.0	75L
	<i>Acacia myrtifolia</i>	Myrtle Wattle	1.5-2.0 x 1.0	75L
	<i>Coprosma quadrifida</i>	Prickly Currant-bush	2.0-3.0 x 1.0-1.5	75L
	<i>Correa reflexa</i>	Correa	0.5-1.0 x 0.5-1.0	75L
	<i>Epacris impressa</i>	Common Heath	1.5 tall	75L
	<i>Goodia lotifolia</i>	Golden Tip	1.0-3.0 x 1.0-2.0	75L
	<i>Goodenia ovata</i>	Hop Goodenia	1.0-1.5 x 1.0-1.5	75L
	<i>Indigofera australis</i>	Austral Indigo	1.0-2.0 x 1.0	75L
	<i>Leptospermum scoparium</i>	Manuka	2.0-3.0 tall	75L
	<i>Lythrum salicaria</i>	Purple Loosestrife	1.0-2.0 x 1.0	75L
	<i>Pultenaea gunnii</i>	Golden Bush-pea	1.0 x 0.75-1.0	75L
	<i>Spyridium parvifolium</i>	Dusty Miller	1.0-2.0 tall	75L
<b>GROUND COVERS</b>				
	<i>Billardiera mutabilis</i>	Common Apple-berry	spreading	tubstock
	<i>Dichondra repens</i>	Kidney-weed	spreading	tubstock
	<i>Hedera canariensis</i>	Canary Islands Ivy	spreading/climbing	tubstock
	<i>Kennedia prostrata</i>	Running Postman	spreading	tubstock
	<i>Pratia pedunculata</i>	Matted Pratia	spreading	tubstock
	<i>Viola hederacea</i>	Ivy-leaf Violet	spreading	tubstock
<b>CLIMBERS</b>				
	<i>Clematis aristata</i>	Mountain Clematis	spreading/climbing	150mm
	<i>Convolvulus erubescens</i>	Pink Bindweed	spreading/climbing	150mm
	<i>Hardenbergia violacea</i>	Purple Coral-pea	spreading/climbing	150mm
	<i>Pandorea pandorana</i>	Wonga Vine	spreading/climbing	150mm
<b>GRASSES</b>				
	<i>Austrodanthonia species</i>	Wallaby-grasses	varies	150mm
	<i>Austrostipa rudis</i>	Veined Spear-grass	1.0-1.5 tall	150mm
	<i>Blechnum nudum</i>	Fishbone Water-fern	1.0 x 1.0	300mm
	<i>Clivia miniata</i>	Kaffir Lily	0.3-0.6 x 0.3-0.6	300mm
	<i>Doodia aspera</i>	Prickly Rasp Fern	0.4 x 0.6	300mm
	<i>Microlaena stipoides</i>	Weeping Grass	0.1 x running	150mm
	<i>Poa labillardierei</i>	Common Tussock-grass	0.7 x 0.75	150mm
	<i>Themeda triandra</i>	Kangaroo Grass	0.5 x 0.5	150mm
<b>WILD FLOWERS</b>				
	<i>Arthropodium strictum</i>	Chocolate Lily	0.2-1.0 x 0.2-0.8	tubstock
	<i>Bulbine bulbosa</i>	Bulbine Lily	0.25 x 0.3	tubstock
	<i>Dianella species</i>	Flax-lilies	varies	tubstock
	<i>Helichrysum scorpioides</i>	Button Everlasting	0.3 x 0.2-0.3	tubstock
	<i>Lomandra longifolia</i>	Spiny-headed Mat-rush	1.0 x 1.0	tubstock
	<i>Stylidium armeria</i>	Grass Trigger-plant	0.2-1.1 x 0.2-0.3	tubstock
	<i>Tetraloche ciliata</i>	Pink-bells	0.5 tall	tubstock
	<i>Xerochrysum viscosum</i>	Sticky Everlasting	0.5 x 0.75	tubstock

## TREES



*Allocasuarina littoralis*  
Black Sheoak



*Acacia pycnantha*  
Golden Wattle



*Callitris columellaris*  
White Cypress



*Eucalyptus radiata*  
Narrow-leaved Peppermint



*Olearia lirata*  
Snow Daisy-bush



*Acacia melanoxylon*  
Blackwood



*Jacaranda mimosifolia*  
Jacaranda



*Pistacia chinensis*  
Chinese Pistache

## UNDERSTOREY PLANTING

### Climbers



*Clematis aristata*  
Mountain Clematis

### Shrubs



*Correa reflexa*  
Correa

### Grasses



*Austrostipa rudis*  
Veined Spear-grass

### Wild Flowers



*Tetraloche ciliata*  
Pink-bells

### Ground covers



*Billardiera mutabilis*  
Common Apple-berry



*Hardenbergia violacea*  
Purple Coral-pea



*Pultenaea gunnii*  
Golden Bush-pea



*Themeda triandra*  
Kangaroo Grass



*Bulbine bulbosa*  
Bulbine Lily



*Kennedia prostrata*  
Running Postman



*Pandorea pandorana*  
Wonga Vine



*Lythrum salicaria*  
Purple Loosestrife



*Poa labillardierei*  
Common Tussock-grass



*Stylidium armeria*  
Grass Trigger-plant



*Viola hederacea*  
Ivy-leaf Violet

# PRIVATE REALM PLANT SELECTION

CODE	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT x WIDTH (M)	POT SIZE
<b>SMALL/MEDIUM TREES</b>				
	<i>Acer palmatum</i> 'Osakazuki'	Japanese Maple	5.0 x 4.0	100L
	<i>Lagerstroemia indica</i> x <i>L.fauriei</i> 'Biloxi'	Crepe Myrtle	7.0 x 5.0	100L
	<i>Lagerstroemia indica</i> x <i>L.fauriei</i> 'Lipan'	Crepe Myrtle	4.0 x 3.0	100L
	<i>Lagerstroemia indica</i> x <i>L.fauriei</i> 'Zuni'	Crepe Myrtle	3.0-4.0 x 3.0	100L
	<i>Olea europaea</i> 'Kalamata'	Olive Tree	6.0 x 3.0	100L
<b>SMALL FRUIT TREES</b>				
	<i>Citrus limon</i>	Lemon Lemonade - Citrange	2.0 x 2.0	45L
	<i>Citrus sinensis</i>	Washington Navel - Flying Dragon	2.0 x 2.0	45L
	<i>Diospyros kaki</i> 'Fuyu'	Persimmon 'Fuyu'	6.0 x 5.0	45L
	<i>Ficus carica</i> 'St Dominique Violette'	Fig St Dominique Violette	3.0 x 4.0	45L
	<i>Malus domestica</i>	Dwarf Apple Cripps Pink	3.0 x 2.0	45L
	<i>Malus domestica</i> 'Jonathan'	Dwarf Apple Jonathan	3.0 x 2.0	45L
	<i>Persea americana</i>	Avocado Pinkerton	4.0 x 4.0	45L
	<i>Prunus domestica</i> 'Mount Royal'	Mount Royal Plum	3.0-6.0 x 1.5-3.0	45L
	<i>Pyrus communis</i> 'Beurre Bosc'	Pear Beurre Bosc	6.0 x 4.0	45L
	<i>Pyrus communis</i> 'Faccia Rosa'	Cocktail Pear Faccia Rosa	3.0 x 3.0	45L
<b>SMALL/MEDIUM SHRUBS</b>				
	<i>Correa</i> 'Dusky Bells'	Dusky Bells	1.0 x 2.0-4.0	300mm
	<i>Crowea exalata</i>	Crowea	0.7 x 1.0	300mm
	<i>Choisya ternata</i>	Mock Orange	2.0 x 2.0	300mm
	<i>Grevillea sericea</i>	Pink Spider Flower	0.5-1.2 x 2.0-3.0	300mm
	<i>Indigofera australis</i>	Austral Indigo	1.0-2.0 x 1.0-2.0	300mm
	<i>Microcitrus australasica</i>	Finger Lime	3.0 x 2.0	300mm
	<i>Pieris japonica</i>	Japanese andromeda	2.5 x 1.5	300mm
	<i>Banksia spinulosa</i>	Hairpin Banksia	1.0-3.0 x 2.0	300mm
	<i>Correa bauerlenii</i>	Chef's Hat Correa	2.0 x 2.0	300mm
	<i>Lambertia formosa</i>	Mountain Devil	1.0-2.0 x 2.0	300mm
	<i>Lomatia silaifolia</i>	Crinkle Bush	1.0-2.0 x 1.0	300mm
	<i>Philotheca myoporoides</i>	White Wax Flower	0.8-1.0 x 0.8-1.0	300mm
	<i>Vaccinium corymbosum</i>	Blueberry Northland	2.0 x 1.5	300mm
	<i>Westringia fruticosa</i>	Native Rosemary	4.0 x 2.0	300mm
<b>GROUND COVERS</b>				
	<i>Dichondra argentea</i> 'Silver Falls'	Silver Pony-foot	0.15-0.3 x 2.0-3.0	tubestock
	<i>Grevillea juniperina</i>	Prostrate forms	0.4 x 2.5	tubestock
	<i>Pelargonium rodneyanum</i>	Magenta Storksbill	0.4 x 0.4	tubestock
	<i>Scaevola aemula</i>	Purple Fan Flower	0.6 x 0.4-1.0	tubestock
	<i>Viola hederacea</i>	Native Violet	0.2 x 0.3	tubestock
<b>CLIMBERS</b>				
	<i>Billardiera scandens</i>	Apple Berry	spreading/climbing	150mm
	<i>Clematis aristata</i>	Mountain Clematis	spreading/climbing	150mm
	<i>Convolvulus erubescens</i>	Pink Bindweed	spreading/climbing	150mm
	<i>Ficus pumila</i>	Creeping Fig	spreading/climbing	150mm
	<i>Hardenbergia violacea</i>	Purple Coral-pea	spreading/climbing	150mm
	<i>Pandorea pandorana</i>	Wonga Vine	spreading/climbing	150mm
	<i>Parthenocissus quinquefolia</i>	Virginia Creeper	spreading/climbing	150mm
	<i>Parthenocissus tricuspidata</i>	Japanese Ivy	spreading/climbing	150mm
	<i>Wisteria sinensis</i>	Chinese wisteria	spreading/climbing	150mm
<b>GRASSES</b>				
	<i>Clivia minata</i>	Kaffir Lily	0.5 x 1.0	tubestock
	<i>Doodia aspera</i>	Prickly Rasp Fern	0.4 x 0.6	tubestock
	<i>Dianella caerulea</i>	Flax Lily	0.5 x 0.5	tubestock
	<i>Hosta</i> spp.	Hosta	0.5 x 1.0	tubestock
	<i>Monstera deliciosa</i>	Fruit Salad Plant	3.0 x 1.0	tubestock
	<i>Philodendron xanadu</i>	Xanadu	1.5 x 2.0	tubestock

## TREES



*Acer palmatum* 'Osakazuki'  
Japanese Maple



*Citrus limon*  
Lemon Lemonade - Citrange



*Diospyros kaki* 'Fuyu'  
Persimmon 'Fuyu'



*Lagerstroemia indica* x *L.fauriei* 'Biloxi'  
Crepe Myrtle



*Lagerstroemia indica* x *L.fauriei* 'Lipan'  
Crepe Myrtle



*Olea europaea* 'Kalamata'  
Olive Tree



*Prunus domestica* 'Mount Royal'  
Mount Royal Plum



*Pyrus communis* 'Beurre Bosc'  
Pear Beurre Bosc

## UNDERSTOREY PLANTING

### Climbers



*Clematis aristata*  
Mountain Clematis



*Hardenbergia violacea*  
Purple Coral-pea



*Pandorea pandorana*  
Wonga Vine

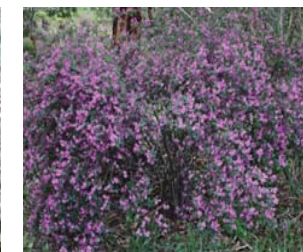
### Shrubs



*Crowea exalata*  
Crowea



*Choisya ternata*  
Mock Orange



*Indigofera australis*  
Austral Indigo

### Grasses



*Doodia aspera*  
Prickly Rasp Fern



*Hosta* spp.  
Hosta



*Dianella caerulea*  
Flax Lily

### Ground covers



*Dichondra argentea* 'Silver Falls'  
Silver Pony-foot



*Grevillea juniperina*  
Prostrate forms



*Viola hederacea*  
Ivy-leaf Violet

## **ATTACHMENT 2 - LEGISLATIVE REQUIREMENTS**

### **5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)**

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received and which have not been withdrawn;*
- *Any decision and comments of a referral authority which it has received;*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development; and*
- *Any significant social effects and economic effects which the responsible authority considers the use or development may have.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### **5.2 MANNINGHAM PLANNING SCHEME**

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 34.01 Commercial 1 Zone (C1Z)
- Clause 52.06 Car Parking
- Clause 52.29 (Land Adjacent to a Road Zone Category 1 or a Public Acquisition Overlay for a Category 1 Road)
- Clause 52.34 Bicycle Facilities
- Clause 65 Decision Guidelines

#### **Zone**

##### Clause 34.01 Commercial 1 Zone

The purpose of the Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.*
- *To provide for residential uses at densities complementary to the role and scale of the commercial centre.*

A Planning Permit is required to construct a building or construct or carry out works, and for the use of the land for “accommodation”.

## **State Planning Policy Framework**

The relevant sections of the state planning policy framework are as follows:

### Clause 11 – Settlement

Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

## **State Planning Policy Framework**

The relevant sections of the state planning policy framework are as follows:

Clause 11.01-1 (Activity Centres) includes the objective to build up activity centres as a focus for high-quality development, activity and living for the whole community by developing a network of activity centres.

Clause 11.01-2 (Activity Centre Planning) includes the objective to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres which provide a variety of land uses and are highly accessible to the community.

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- *Promote good urban design to make the environment more liveable and attractive.*
- *Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.*
- *Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.*
- *Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.*
- *Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*

Clause 15.01-2 (Urban Design Principle) policy objective is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
  - *The underlying natural landscape character.*
  - *The heritage values and built form that reflect community identity.*
  - *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*
- *Support low energy forms of transport such as walking and cycling.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*

The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Encourage housing that is both water efficient and energy efficient.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of housing in Metropolitan Melbourne to be developed within the established urban area, particularly at activity centres, employment corridors and at*

*other strategic sites, and reduce the share of new dwellings in greenfield and dispersed development areas.*

- *Encourage higher density housing development on sites that are well located in relation to activity centres, employment corridors and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within the established urban area to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

#### Clause 16.01-3 Strategic redevelopment sites

The policy objective is:

- *To identify strategic redevelopment sites for large residential development in Metropolitan Melbourne.*

Specific reference is made at clause 16.01-3 to “strategic redevelopment sites” which are described as:

- *in and around Central Activity Centres;*
- *in or within easy walking distance of Principal or Major Activity Centres;*
- *in or beside Neighbourhood Activity Centres that are well served by public transport;*
- *on or abutting tram, train, light rail and bus routes that are part of the Principal Public Transport Network and close to employment corridors, Central Activities Districts, Principal or Major Activity Centres;*
- *in or near major modal public transport interchanges that are not in Principal or Major Activity Centres;*
- *able to provide ten or more dwellings, close to activity centres and well served by public transport.*

#### Clause 16.01-4 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

#### Clause 18.01-1 integrated Transport: Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

#### Clause 18.02-1 Movement networks: Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

#### Clause 18.02-2 Cycling

The policy objective is:

- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

The clause includes several strategies to achieve this objective including to:

Require the provision of adequate bicycle parking and related facilities to meet demand at education, recreation, shopping and community facilities and other major attractions when issuing planning approvals.

#### Clause 18.02-4 Management of the road system

The policy objective is:

- *To manage the road system to achieve integration, choice and balance by developing and efficient and safe network and making the most of existing infrastructure.*



#### Clause 18.02-5 Car parking

The policy objective is:

- *To ensure an adequate supply of car parking that is appropriately designed and located.*

The policy is relevant to the proposal because the application seeks a reduction in the standard car parking requirement of the Scheme. The objective is to ensure an adequate supply of car parking that is appropriately designed and located. It is also required to allocate or require land to be set aside for car parking subject to the existing and potential modes of access including public transport, the demand for off-street car parking, road capacity and the potential for demand management of car parking. Proposals are also encouraged to facilitate the use of public transport.

#### Clause 18.01- Integrated Transport

The objective of this policy is:

- *To create a safe and sustainable transport system by integrating land-use and transport*

### **Local Planning Policy Framework (LPPF)**

#### **Clause 21.02 Municipal Profile**

##### **Municipal Strategic Statement**

##### Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

##### Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

#### **The site is within "Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads".**

A substantial level of change is anticipated in Precinct 2 with these areas being a focus for higher density developments.

The Clause recognises the role of the Pines Activity Centre as a key Activity Centre within the municipality and provides a range of retail, commercial, community facilities and residential development opportunities.

Whilst not specifically relevant to the site , the residential area around The Pines Activity Centre (shown on Manningham Planning Scheme maps as DDO9) is an area where

development ranging in height from 11 metres to 16 metres is encouraged in designated areas, as identified in The Pines Activity Centre Structure Plan (2011).

#### Clause 21.05-2 Housing

The relevant objectives of this policy are:

- *To accommodate Manningham's projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*
- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality's population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.*
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

#### Clause 21.09 Activity Centres and Commercial Areas

This section applies to all activity centres and commercial areas identified in Framework Plan 5.

The Clause acknowledges that the Pines, East Doncaster is the municipality's one and only Major Activity Centre.

The vision for the Pines Activity Centre will continue to be a focus for the community and to provide for their retail, community, recreational and entertainment needs as well as providing for a diversity of residential options within its context of being on the fringe of the metropolitan area of Melbourne and its proximity to the Green Wedge.

Key Strategic Objectives are:

- Support the development of The Pines Activity Centre which meets the social, recreational and retail needs of the population at the sub-regional level.
- Ensure that any future development in The Pines Activity Centre is in keeping with its location on the fringe of the urban area and its proximity to the Green Wedge.
- Encourage apartment style development within The Pines Activity Centre to maximise the use of the commercial and social facilities provided within and to provide alternative housing options for the locality.
- Encourage greater use of public transport to and from The Pines Activity Centre and advocate for more services and for these services to be provided more frequently.

- Enhance the public realm within The Pines Activity Centre by ensuring that the public spaces meet a range of community needs, are well linked together, are easily accessible, safe and visually pleasing.
- Maximise use of the area's natural strengths such as views to surrounding rural and bushland areas in keeping with the community interest.
- Support housing choices to meet changing demographic trends, especially an ageing population.
- Support a range of health, family and professional services relevant to the role of The Pines Activity Centre.
- Support a range of education and learning activities to meet the needs and aspirations of the local community.
- Provide for well defined vehicular, bicycle and pedestrian access both with and external to all precincts, with strong pedestrian crossing points to be established on main roads.

#### Clause 21.10 Environmentally Sustainable Development

Council's Environmentally Sustainable Development Policy seeks to achieve best practice design, construction and operation for new development.

A number of considerations are to be made under the headings: key issues, objectives, and strategies.

### **Local Planning Policy**

#### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

#### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

#### Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

### **Particular Provisions**

#### Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings
- 1 visitor space to every 5 dwellings for developments of 5 or more dwellings

Clause 52.06-8 outlines various design standards for parking areas that should be achieved.

### Clause 52.29 Land Adjacent to a Road Zone Category 1 (RDZ1) or a Public Acquisition Overlay for a Category 1 Road

The purpose of this provision is:

- To ensure appropriate access to identified roads
- To ensure appropriate subdivision of land adjacent to identified roads.

A permit is required to create or alter access to a road in a Road Zone, Category 1.

### Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, the following number of bicycle spaces are required in development of four or more storeys:

- *1 space for every 5 dwellings for residents.*
- *1 space for every 10 dwellings for visitors.*
- *1 to each 8 practitioners for medical centre employees*
- *1 to each 4 practitioners for visitors*
- *1 to each 300sqm of retail floor area for employees*
- *1 to each 500sqm of retail floor area for visitors*

## **General Provisions**

### Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*

## The Pines Activity Centre Structure Plan (2011) Summary

### 1.1. The Pines Structure Plan

The Pines Structure Plan 2011 provides a framework to guide future development and land use over a 20 year period for the area identified as The Pines Activity Centre. The 2011 Structure Plan provides the vision and objectives for The Pines Activity Centre and establishes strategic directions for the precincts within.

The Structure Plan has been prepared from a review of the 1992 Pines Activity Centre Structure Plan and an assessment of current issues and projected needs for the future including feedback from residents and major stakeholders. The State Government, through their strategy, *Melbourne 2030*, has classified The Pines Activity Centre as a Major Activity Centre. Councils are required to prepare and keep up to date structure plans for Major Activity Centres. Major Activity Centres are required to provide for a range of commercial and community services and facilities that are grouped in one area and are easily accessible. *Melbourne 2030* encourages more efficient use of residential land by supporting higher density development, such as apartments and town houses to be provided within Major Activity Centres.

The Pines Activity Centre Structure Plan is supported by the former Structure Plan, *The Pines Activity Centre Structure Plan 1992*; the *Retail and Commercial Assessment of the Pines Major Activity Centre*, Tim Nott, December 2008; and *The Pines Structure Plan, Issues Paper*, September 2009.

The draft *Pines Activity Centre Structure Plan* was adopted by Council on 27 April 2010 for public exhibition and consultation. The draft *Pines Activity Centre Structure Plan, May 2010* was made available for public comment for six weeks. At the 31 August 2010 Meeting, Council considered the draft Structure Plan and the 30 submissions received in response. At the meeting, Council approved the draft Structure Plan, with changes, to form the basis for the future planning of the Pines Activity Centre.

### 1.2. The Purpose of The Pines Structure Plan

The purpose of The Pines Structure Plan is:

- To provide certainty to the local community and investors about the future form and use of the Pines Activity Centre;
- To manage change to ensure that The Pines Activity Centre remains vibrant and an attractive place to visit and or live;
- To guide decision-makers and other relevant key stakeholders at State and local level regarding works and initiatives;
- To guide future use and development in a manner that is consistent with state and local planning policy;
- To direct Council resources to best serve the regional and local community.

## 2. Vision and Objectives

### 2.1. Vision for The Pines Activity Centre

The Pines Activity Centre Structure Plan 1992 provided the following vision *“the opportunity exists to create a major community focus at The Pines Activity Centre. The Activity Centre will provide for retail, community, recreational, entertainment and residential land uses clustered and integrated to serve the needs of residents in the surrounding area.”*

Building upon the former statement, the following vision for The Pines Activity Centre Structure Plan is:

*“The Pines Activity Centre will continue to be a focus for the community and to provide for their retail, community, recreational and entertainment needs as well as providing for a diversity of residential options within its context of being on the fringe of the metropolitan area of Melbourne and its proximity to the green wedge”.*

### 2.2. General Strategic Objectives

The strategic objectives for The Pines Structure Plan have been developed from a review of the goals and strategies of the previous Structure Plan and from an assessment of current issues and broad aims for land use and development in the future. The broad strategic objectives for the overall Activity Centre follow:

- 2.2.1. Support the development of the Pines Activity Centre which meets the social, recreational and retail needs of the population at the sub-regional level.
- 2.2.2. Ensure that any future development in The Pines Activity Centre is in keeping with its location on the fringe of the urban area and its proximity to the green wedge.
- 2.2.3. Encourage apartment style development within The Pines Activity Centre to maximise the use of the commercial and social facilities provided within and to provide alternative housing options for the locality.
- 2.2.4. Encourage greater use of public transport to and from The Pines Activity Centre and advocate for more services and for these services to be provided more frequently.
- 2.2.5. Enhance the public realm within the Pines Activity Centre by ensuring that the public spaces meet a range of community needs, are well linked together, are safe and are visually pleasing.
- 2.2.6. Maximise use of the area's natural strengths such as views to surrounding rural and bushland areas in keeping with the community interest.
- 2.2.7. Support housing choices to meet changing demographic trends, especially an ageing population.
- 2.2.8. Support a range of health, family and professional services relevant to the role of The Pines Activity Centre.
- 2.2.9. Support a range of education and learning activities to meet the needs and aspirations of the local community.
- 2.2.10. Create a consistent landscaped theme, sense of place and branding that easily distinguishes The Pines Activity Centre from other centres.
- 2.2.11. Provide for well defined vehicular, bicycle and pedestrian access both within and external to all precincts, with strong pedestrian crossing points to be established on main roads.

## 2.3. Commercial Development Strategic Objectives

Providing for an expansion in commercial uses and development to meet increased local needs, such as additional retail, office and entertainment activities and supporting local employment.

- 2.3.1. Provide for an increase in retail and office floor space to meet the future needs of the sub regional population.
- 2.3.2. Ensure that any new development gives highest priority to pedestrian circulation.
- 2.3.3. Encourage outwardly focussed retail facilities with provisions for goods display areas which address streetscape and which are visible from the building's exterior. Encourage the building façade at street level to be inviting and interesting to pedestrians.
- 2.3.4. Ensure that any new commercial development is integrated with the existing shopping centre and that such development retains a family friendly and local community environment.
- 2.3.5. Ensure that any new commercial development does not detract from the viability and vitality of surrounding neighbourhood centres.
- 2.3.6. Support the establishment of land uses which have minimal impacts on residential amenity.
- 2.3.7. Encourage the development of restaurants or public spaces on the top level of the shopping centre to allow the community to enjoy the surrounding views of the Kinglake mountains and Dandenong Ranges.



# The Pines Activity Centre Structure Plan

Figure 6 Landscape & open space

- Activity Centre boundary
- Existing main roads
- Existing local roads and private and public carpark roadway
- Surrounding residential area
- Existing areas of public open space
- Existing sporting fields to be retained and upgraded
- New open space
- New and upgraded playspaces
- Existing areas of high quality indigenous vegetation to be retained and protected
- Existing roadside and site vegetation including exotic and native pines and areas of indigenous planting
- Continued indigenous roadside planting
- Continued street tree planting as part of annual program
- Suggested Red Box (*Eucalyptus polyanthemos*) landscape theme to be established as part of new development
- Continued cypress wall landscaping



Eucalyptus polyanthemos (Red Box) landscape theme



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Date: 11 Jan 2010  
Sheet no: 10 of 10 sheets total



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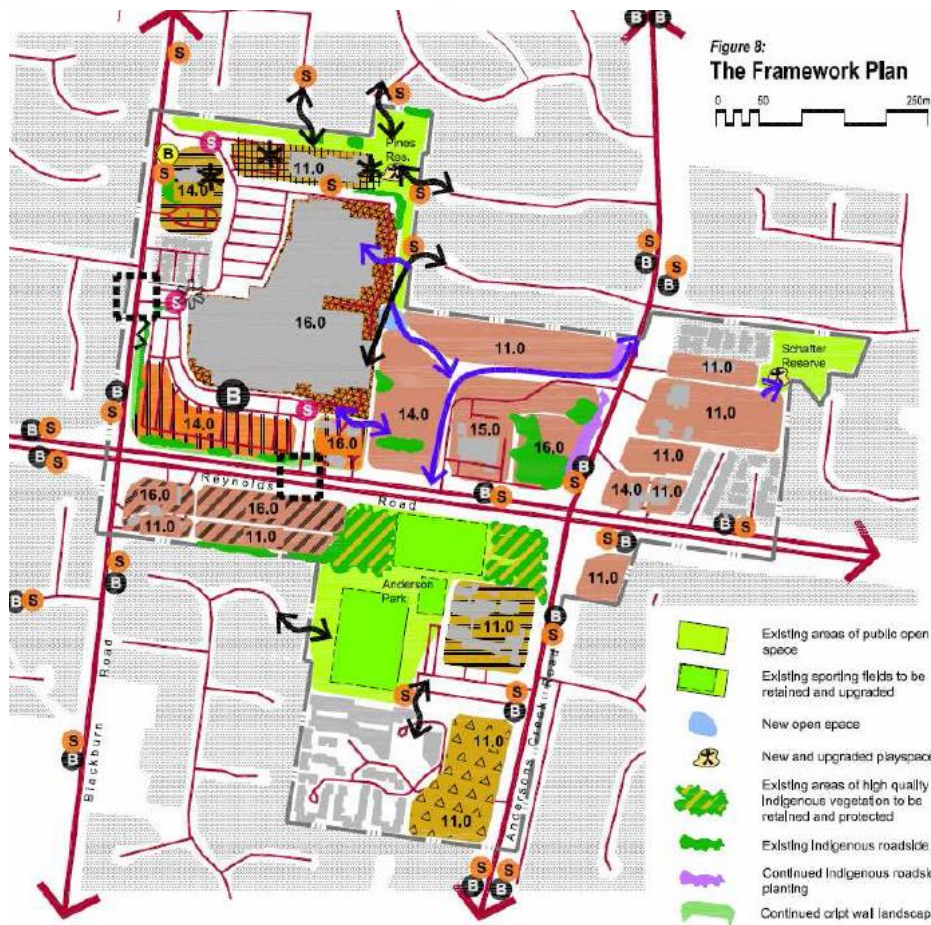
Figure 8: The Framework Plan

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- Activity Centre boundary
- Existing main roads
- Existing local roads and private and public carpark roadway
- Natural change residential areas
- Preferred medium density residential
- Preferred medium density residential and office mix
- Preferred community / education
- Existing community / education mix
- Preferred community / education / aged care and residential mix
- Preferred expanded office and retail
- Preferred office and retail mix
- Preferred height in metres above natural ground level
- New / improved carparking signage
- Pedestrian / cycling wayfinding signage
- Proposed Improved pedestrian connection
- New pedestrian connection to be provided as part of future development and redevelopment
- Proposed expanded bus interchange and public plaza
- Existing bus stop
- New bus stop
- Proposed upgraded signalised intersection
- Existing location of public library
- Options for possible relocated library



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Date: 22 February, 2010  
Revision: November 2011





## 5. Precinct Actions

The Pines Activity Centre contains six precincts as shown in the following Development Framework Plan. The following section provides specific objectives and actions relating to each precinct. It should be noted that in terms of timing, Short term (S) is within the first 5 years, Medium term (M) within 5 – 10 years and Long term (L) within 10 to 20 years.

### Precinct 1 – Retail and Commercial Core

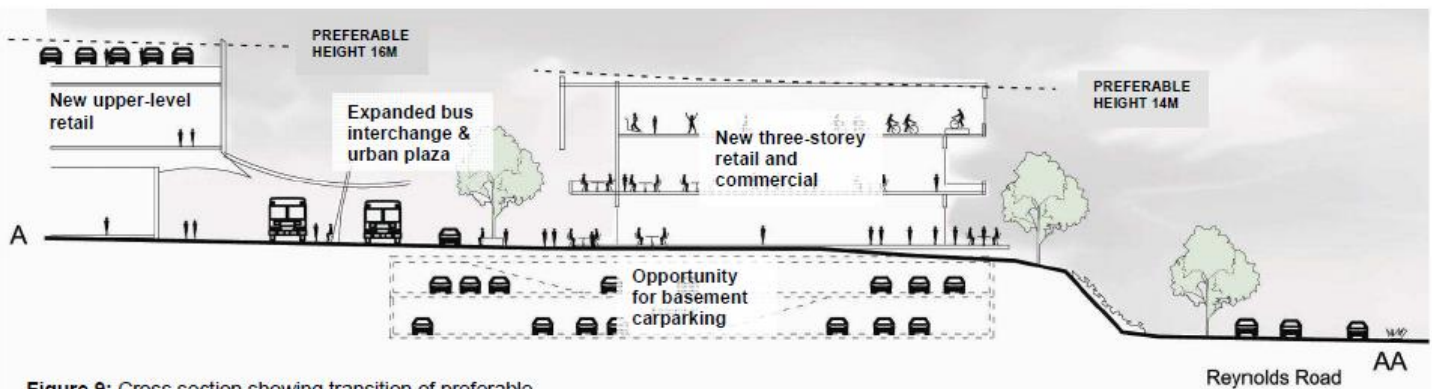
*The retail core currently comprises The Pines Shopping Centre and surrounding carpark. The centre has been expanded and refurbished in 2005 and now contains 19,120 sq m of retail floor space and 1,880 sq m of other commercial space. Precinct 1 also includes the petrol filling service station and a block of apartments.*



Key	Action	Stakeholders	Timing
1.1	Promote retail and commercial development within the existing surface carpark to give a visual presence to Reynolds Road. Provide for an additional expansion of between 4,000 and 10,000 sq. m of retail and 2,000 sq m of office floorspace on the existing site and sufficient car spaces to meet these needs.	Stocklands/MCC	L
1.2	Advocate for an appropriate design and expansion of the bus interchange to provide for additional bus services by doubling the bus spaces. Improve pedestrian and cycle access and amenities (e.g. provide for all weather protection, bike storage).	DOT/Stocklands/MCC	S
1.3	Encourage the creation of high quality urban plazas.	Stocklands/MCC	L
1.4	Investigate opportunities to improve pedestrian amenity with introduction of yellow orbital bus service	DOT/Stocklands/MCC	L
1.5	Review the disability access to The Pines	Stocklands	S
1.6	To undertake a detailed feasibility study including potential funding sources and advocacy for the relocation of The Pines	Stocklands/users of the library	S

	Library and the future of the Warrandyte Library.		
1.7	Review access points into the shopping centre, in particular, review the pedestrian and vehicular entry from Blackburn Road.	DOT/Stocklands/MCC	S
<b>Key</b>	<b>Action</b>	<b>Stakeholders</b>	<b>Timing</b>
1.8	Depending on the out come of the study under Action 1.6 and the investigations to be carried out in Precinct 2, investigate opportunities for provision/retention of community facilities within the commercial core as part of any expansion of the shopping centre.	Stocklands/MCC	L

## Precinct 1 – Retail and Commercial Core



**Figure 9:** Cross section showing transition of preferable heights, the opportunity for the expansion of the existing bus interchange, the creation of an urban plaza, and new basement and rooftop parking.

### Height

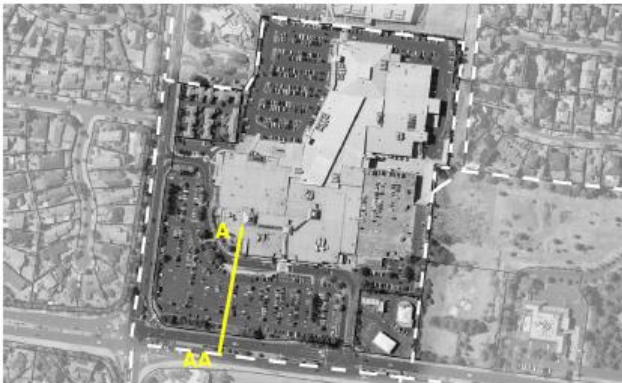
The cross section above provides an indication of the scale of the preferable development in Precinct 1. The cross section shows a second level of retail and a possible upper-level parking deck within the existing Pines Shopping Centre footprint and a new three storey retail and commercial building in place of what is now a surface carpark to the south.

### Landscape character

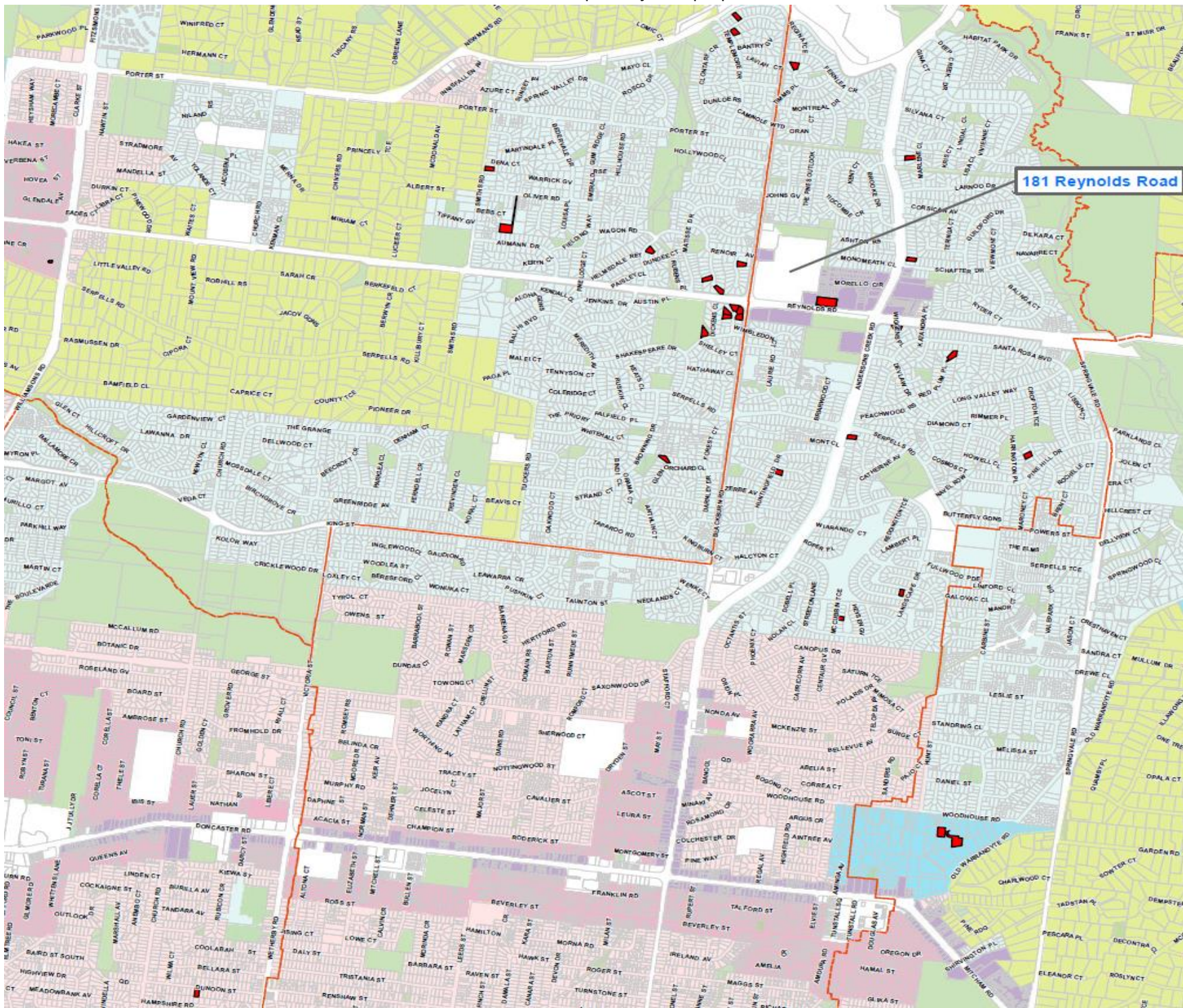
The landscape vision for the precinct is for an improved presentation to Blackburn and Reynolds Roads, with feature weeping planting / other obscuring the existing crypt wall and ornamental shade trees within newly created urban spaces.

### Built form

The vision for this precinct is for continued high-quality retail and commercial development that has an address to Reynolds and Blackburn Roads. Provision of replacement underground and additional rooftop carparking will provide opportunity for the expansion of the existing bus interchange and the creation of an urban plaza. Ground-level retail space surrounding the newly expanded plaza and bus interchange should incorporate uses that will assist in activating this space. Upper-level retail and commercial spaces should maximise access to panoramic views.



ATTACHMENT 3: Map of objector properties



181 Reynolds Road