

- APARTMENT LEGEND**
- K KITCHEN
 - L LAUNDRY
 - R ROBE
 - 1 1 BEDROOM APARTMENT
 - 2 2 BEDROOM APARTMENT
 - 3 3 BEDROOM APARTMENT

PARK

Lower Ground			Ground Level			Level 1			Level 2		
Apartment	Area (sqm)	Count	Apartment	Area (sqm)	Count	Apartment	Area (sqm)	Count	Apartment	Area (sqm)	Count
AP01	83	2	AP05	82	18	AP09	76	14	AP13	76	14
AP02	87	2	AP06	87	18	AP10	76	14	AP14	76	14
AP03	78	3	AP07	78	15	AP11	82	20	AP15	82	20
AP04	110	4	AP08	110	15	AP12	87	26	AP16	87	26
TOTAL AREA	897	94	TOTAL AREA	897	94	TOTAL AREA	897	94	TOTAL AREA	897	94

NOTES TO INTERNAL LIGHT COURTS:
 1. ALL INTERNAL LIGHT COURTS TO BE SCREENED TO PREVENT SOLAR GLARE.
 2. ALL AIR CONDITIONING UNITS ON BALCONIES TO BE SCREENED TO REDUCE AESTHETIC IMPACT ON THE BUILDING.
 3. REFER TO LANDSCAPE PLAN FOR DETAILS ON THE SCREENING PROPERTIES AND OPEN SPACES.



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BAYLEY GROVE

PROJECT: BAYLEY GROVE DONCASTER VIC 3108

TITLE: LOWER GROUND

DATE: 10.05.16 774

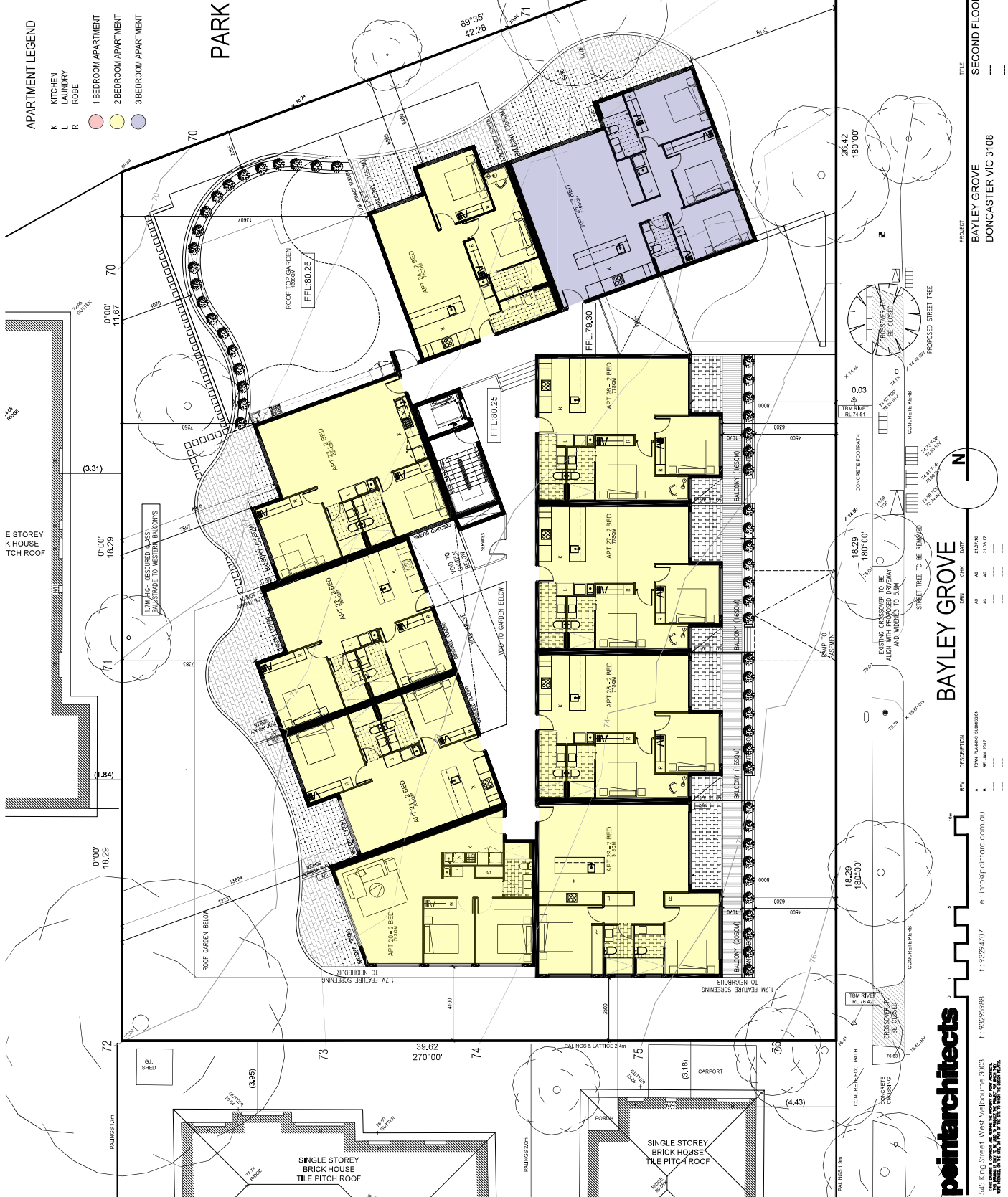
SCALE: 1:100

REVISION: 04 B

- APARTMENT LEGEND**
- K KITCHEN
 - L LAUNDRY
 - R ROBE
 - 1 BEDROOM APARTMENT
 - 2 BEDROOM APARTMENT
 - 3 BEDROOM APARTMENT

Level Ground			Level 1			Level 2		
Apartment	Area (sqm)	POD (sqm)	Apartment	Area (sqm)	POD (sqm)	Apartment	Area (sqm)	POD (sqm)
AP01	83	83	AP08	76	14	AP20	76	14
AP02	87	83	AP09	82	18	AP21	76	14
AP03	78	33	AP10	87	32	AP22	76	14
AP04	110	45	AP11	76	20	AP23	82	20
AP05	87	20	AP12	82	20	AP24	78	20
AP06	78	15	AP13	87	26	AP25	82	20
AP07	78	15	AP14	78	22	AP26	78	22
AP08	110	45	AP15	78	22	AP27	118	22
AP09	87	20	AP16	78	22	AP28	118	22
AP10	82	18	AP17	77	16	AP29	77	16
AP11	76	20	AP18	77	16	AP30	77	16
AP12	82	20	AP19	81	20	AP31	81	20
AP13	87	26	AP20	76	14	ROOF TOP GARDEN	130	N/A
AP14	78	22	AP21	76	14	TOTAL	850	197
AP15	78	22	AP22	76	14	Level 1	850	197
AP16	78	22	AP23	82	20	Level 2	850	197
AP17	77	16	AP24	78	22	Level 1	850	197
AP18	77	16	AP25	82	20	Level 2	850	197
AP19	81	20	AP26	78	22	Level 1	850	197
AP20	76	14	AP27	118	22	Level 2	850	197
AP21	76	14	AP28	118	22	Level 1	850	197
AP22	76	14	AP29	77	16	Level 2	850	197
AP23	82	20	AP30	77	16	Level 1	850	197
AP24	78	22	AP31	81	20	Level 2	850	197
AP25	82	20	TOTAL	850	197	Level 1	850	197
AP26	78	22	TOTAL	850	197	Level 2	850	197
AP27	118	22	TOTAL	850	197	Level 1 + 2	850	197
AP28	118	22	TOTAL	850	197	Level 1 + 2	850	197
AP29	77	16	TOTAL	850	197	Level 1 + 2	850	197
AP30	77	16	TOTAL	850	197	Level 1 + 2	850	197
AP31	81	20	TOTAL	850	197	Level 1 + 2	850	197

NOTE: IN ACCORDANCE WITH INTERNAL LIGHT COURTS YOU HAVE TO PROVIDE BALCONIES TO ALLOW FOR BETTER SOLAR ACCESS.
 NOTE: ALL AIR CONDITIONING UNITS ON BALCONIES TO BE SCREENED TO REDUCE AESTHETIC IMPACT ON THE BUILDING. PROVIDE BALCONIES TO ALLOW SOLAR ACCESS ON THE BUILDING PROPERTIES AND OPEN SPACES.



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 10/05/16 774
 DWG No 07
 REVISION B

BAYLEY GROVE
 PROJECT
 BAYLEY GROVE
 DONCASTER VIC 3108
 SCALE 1:100
 DATE 10/05/16
 JOB No. 774

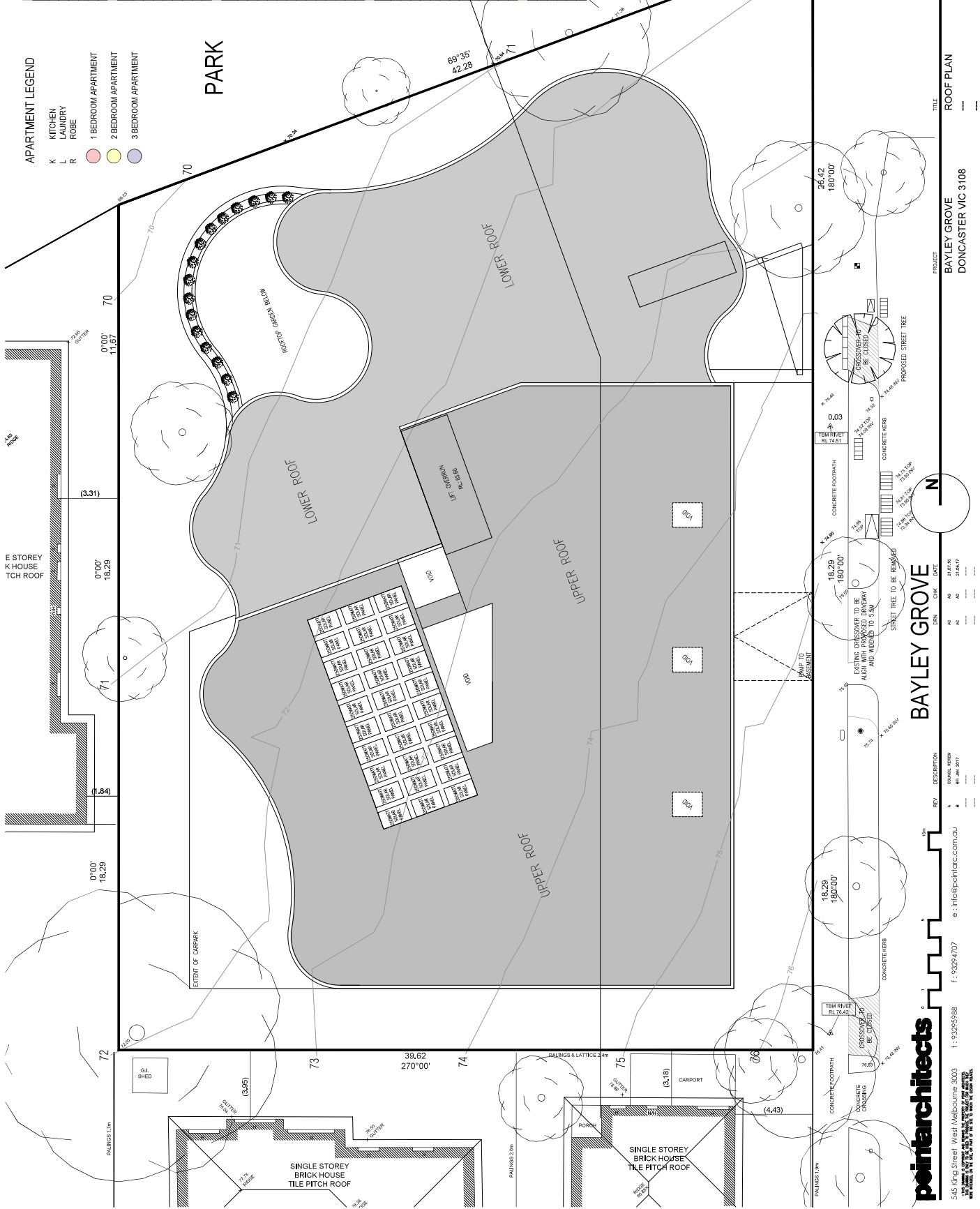
TITLE
 SECOND FLOOR
 PROJECT
 BAYLEY GROVE
 DONCASTER VIC 3108
 SCALE 1:100
 DATE 10/05/16
 JOB No. 774

- APARTMENT LEGEND**
- K KITCHEN
 - L LAUNDRY
 - R ROBE
 - 1 BEDROOM APARTMENT
 - 2 BEDROOM APARTMENT
 - 3 BEDROOM APARTMENT

PARK

Lower Ground		Basement		Carpark	
Apartment	Area (sqm)	Basement	Area (sqm)	Basement	Area (sqm)
AP01	83	1	1	1	1
AP02	87	2	2	2	2
AP03	78	3	3	3	3
AP04	110	4	4	4	4
AP05	87	2	2	2	2
AP06	78	3	3	3	3
AP07	78	3	3	3	3
AP08	110	4	4	4	4
AP09	110	4	4	4	4
AP10	110	4	4	4	4
AP11	82	2	2	2	2
AP12	82	2	2	2	2
AP13	87	2	2	2	2
AP14	78	3	3	3	3
AP15	78	3	3	3	3
AP16	110	4	4	4	4
AP17	77	3	3	3	3
AP18	77	3	3	3	3
AP19	91	2	2	2	2
AP20	91	2	2	2	2
AP21	91	2	2	2	2
AP22	91	2	2	2	2
AP23	91	2	2	2	2
AP24	91	2	2	2	2
AP25	91	2	2	2	2
AP26	91	2	2	2	2
AP27	91	2	2	2	2
AP28	91	2	2	2	2
AP29	91	2	2	2	2
AP30	91	2	2	2	2
AP31	91	2	2	2	2
AP32	91	2	2	2	2
AP33	91	2	2	2	2
AP34	91	2	2	2	2
AP35	91	2	2	2	2
AP36	91	2	2	2	2
AP37	91	2	2	2	2
AP38	91	2	2	2	2
AP39	91	2	2	2	2
AP40	91	2	2	2	2
AP41	91	2	2	2	2
AP42	91	2	2	2	2
AP43	91	2	2	2	2
AP44	91	2	2	2	2
AP45	91	2	2	2	2
AP46	91	2	2	2	2
AP47	91	2	2	2	2
AP48	91	2	2	2	2
AP49	91	2	2	2	2
AP50	91	2	2	2	2
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AP93	91	2	2	2	2
AP94	91	2	2	2	2
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AP96	91	2	2	2	2
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AP99	91	2	2	2	2
AP100	91	2	2	2	2

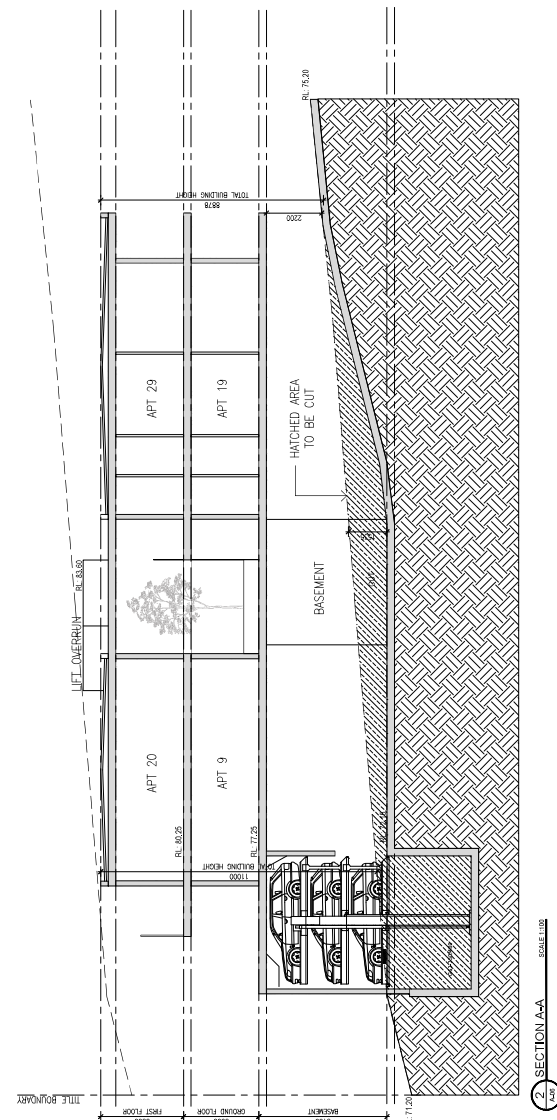
NOTE: BALCONIES TO INTERNAL LIGHT COURTS WILL HAVE SCREENING DEVICES TO ALLOW FOR BETTER SOLAR ACCESS.
NOTE: ALL AIR CONDITIONING UNITS ON BALCONIES TO BE SCREENED TO REDUCE AESTHETIC IMPACT ON THE FACADE. THE SCREENING DEVICES SHOULD BE LOCATED ON THE ADDING PROPERTIES AND OPEN SPACES.



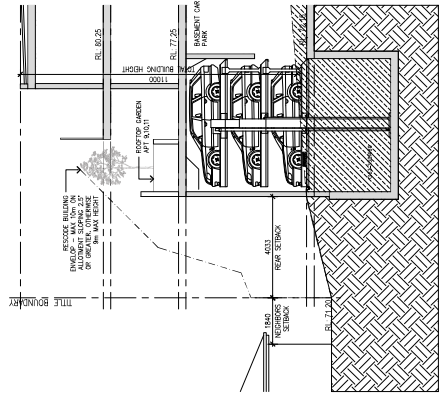
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BAYLEY GROVE
 PROJECT
 BAYLEY GROVE
 DONCASTER VIC 3108

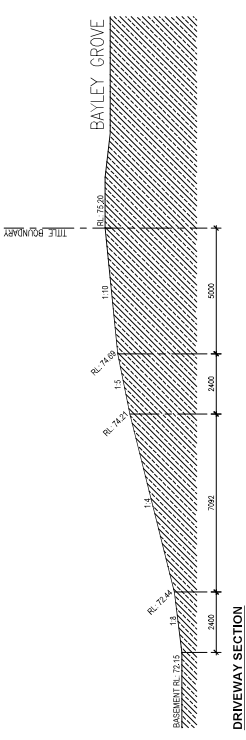
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 JOB NO: 774
 REVISION: B



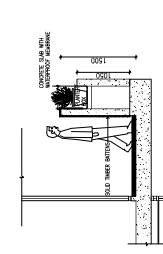
SECTION A-A
SCALE 1:50



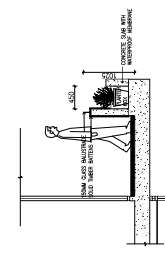
SIDE SETBACK DETAIL
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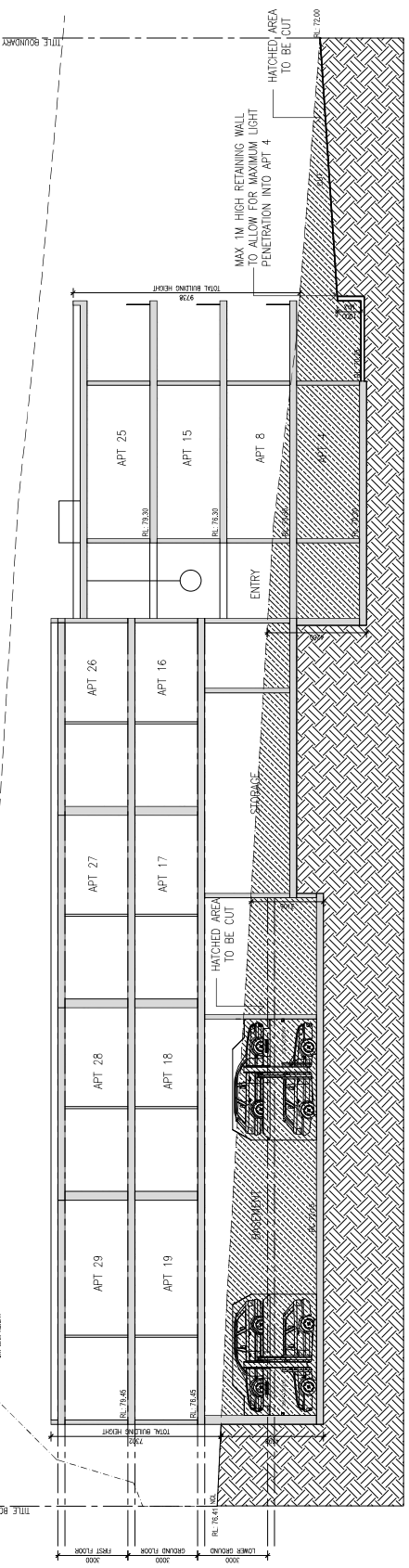
DRIVEWAY SECTION
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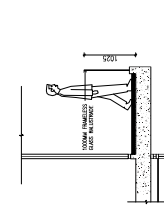
ROOF GARDEN BALCONY DETAIL
SCALE 1:50



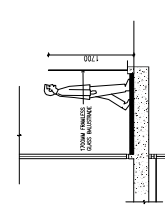
BAYLEY ROAD BALCONY DETAIL
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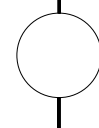
SECTION B-B
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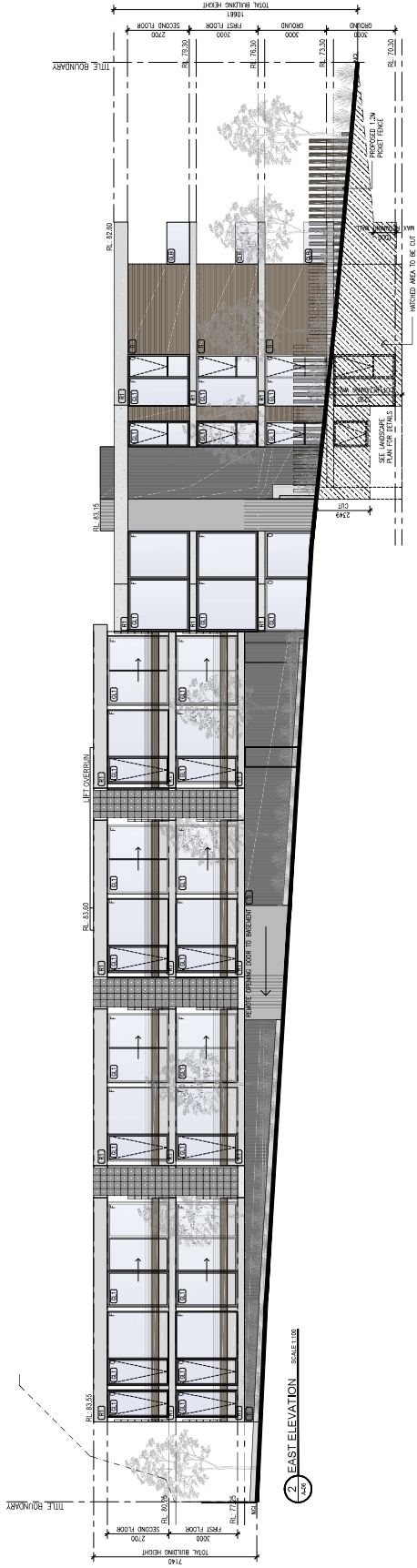
PARK VIEW APARTMENTS
BALCONY DETAIL
SCALE 1:50



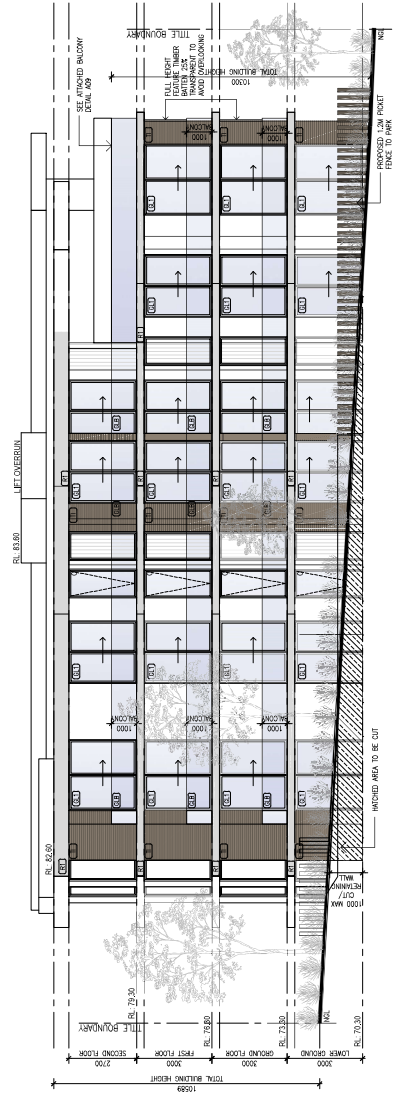
WESTERN APARTMENTS
BALCONY DETAIL
SCALE 1:50



- ELEVATION LEGEND:**
 THIS IS IN CONJUNCTION WITH THE MATERIALS AND FINISHES SCHEDULE
- 001 FACE BRICK
 - 002 SMOOTH RENDER FINISH - CONCRETE FINISH
 - 003 SMOOTH RENDER FINISH - WHITE
 - 004 SMOOTH RENDER FINISH - DARK GREY
 - 005 SMOOTH RENDER FINISH - LIGHT GREY
 - 006 TYPICAL PAINT FINISH
 - 007 TYPICAL PAINT FINISH
 - 008 TYPICAL PAINT FINISH
 - 009 GLAZED WINDOW - FINISH - CLEAR
 - 010 GLAZED WINDOW - FINISH - OBTUSURED
 - 011 GLAZED BALUSTRADE (STEEL FRAMES)- CLEAR GLASS
 - 012 GLAZED BALUSTRADE (WALNUT GARAGE GLASS
 - 013 GLAZED BALUSTRADE (WALNUT GARAGE GLASS
 - 014 FENCE TYPE (ENCLOSING) FINISH- 2000MM ALUM
 - 015 FENCE TYPE (SMALL SCREEN)
 - 016 COLOURBOND ROOFING @ 7.5 DEGREES
 - 017 PANEL LIFT GARAGE DOOR (2000 X 4000) LIGHT GREY



2 EAST ELEVATION SCALE 1:200

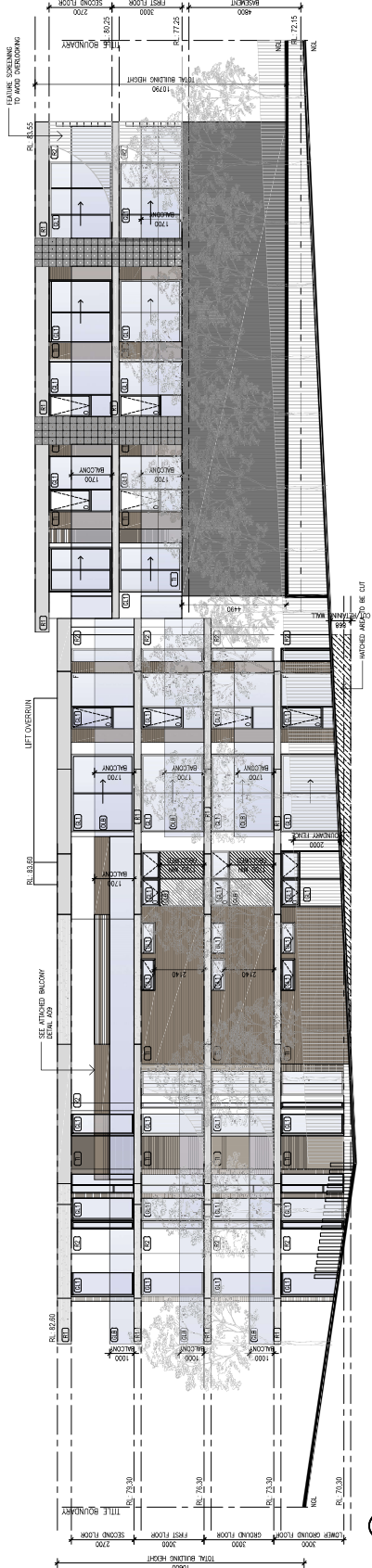


2 NORTH ELEVATION SCALE 1:200

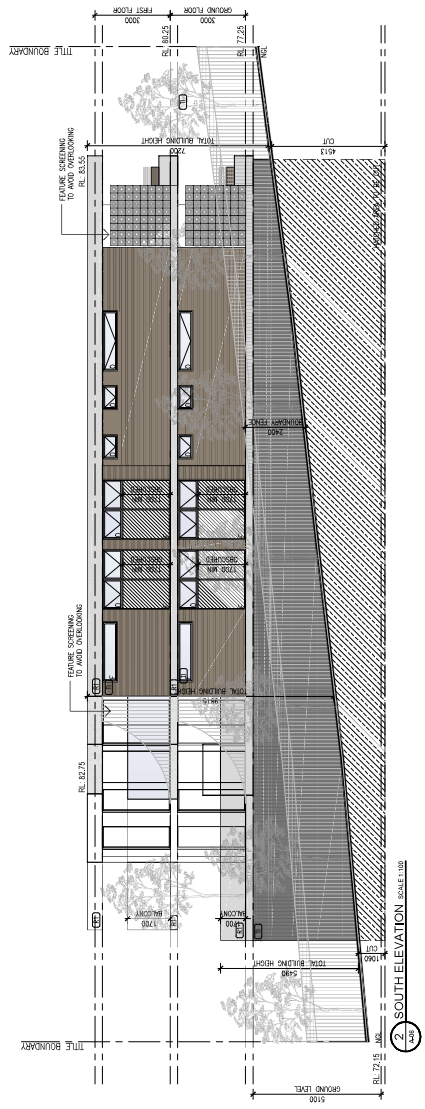
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04	AS	
05	AS	
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09	AS	
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97	AS	
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100	AS	

- ELEVATION LEGEND.**
 TO BE READ IN CONJUNCTION WITH THE MATERIALS AND FINISHES SCHEDULE
- (01) FACE BRICK
 - (02) SMOOTH RENDER FINISH - CONCRETE FINISH
 - (03) SMOOTH RENDER FINISH - WHITE
 - (04) SMOOTH RENDER FINISH - DARK GREY
 - (05) SMOOTH RENDER FINISH - LIGHT GREY
 - (06) TYPICAL HIGH PRIVACY SCREEN
 - (07) GLAZED WINDOW - FINISH - CLEAR
 - (08) GLAZED WINDOW - FINISH - OBTUSURED
 - (09) GLAZED WINDOW - FINISH - OBTUSURED
 - (10) GLAZED ALUMINUM FRAME - FINISH - CLEAR GLASS
 - (11) GLAZED ALUMINUM FRAME - FINISH - OBTUSURED GLASS
 - (12) GLAZED ALUMINUM FRAME - FINISH - OBTUSURED GLASS
 - (13) FINISH TYPE ENCAUSTIC FINISH - 200MM X 150MM
 - (14) FINISH TYPE ENCAUSTIC FINISH - 200MM X 150MM
 - (15) COLOURBOND ROOFING @ 7.5 DEGREES
 - (16) PANEL LIFT GARAGE DOOR 2000 X 4000 LIGHT GREY

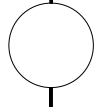
1.7M HIGH OBTUSURED GLASS BALUSTRADE TO WESTERN BALCONY



2 WEST ELEVATION - SMALL 1:100

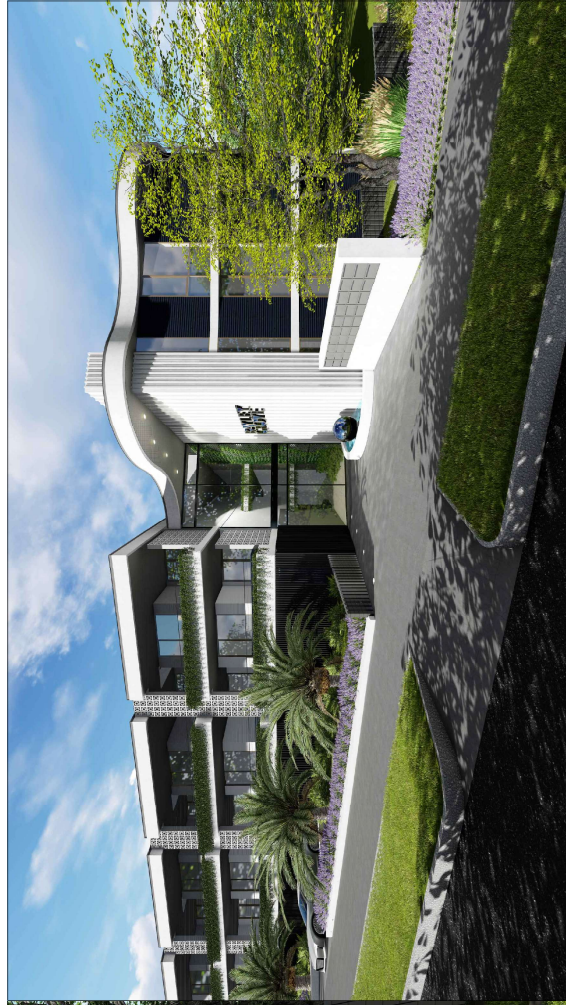


3 SOUTH ELEVATION - SMALL 1:100





2 EASTERN ELEVATION SCALE 1:100



2 ENTRY STATEMENT SCALE 1:100



2 SOUTHERN ELEVATION SCALE 1:100



2 SOUTH WEST ELEVATION SCALE 1:100

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 8th Jan 2017
 100% ARCHITECTURAL SUBMISSION



PROJECT: BAYLEY GROVE DONCASTER VIC 3108
 TITLE: ELEVATIONS 3D
 DESIGN: A.G.
 SCALE: 1:100
 DATE: OCT 16 774
 REVISION: DWG No 16 B

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received and which have not been withdrawn;*
- *Any decision and comments of a referral authority which it has received;*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development; and*
- *Any significant social effects and economic effects which the responsible authority considers the use or development may have.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.08 General Residential Zone, Schedule 2
- Clause 43.02 Design and Development Overlay, Schedule 8
- Clause 52.06 Car Parking
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

Zone

Clause 32.08 General Residential Zone, Schedule 2

The purpose of the General Residential Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To implement neighbourhood character policy and adopted neighbourhood character guidelines.*
- *To provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot and construct front fence within 3 metres of a street if the fence is associated with 2 more dwellings on a lot or a residential building and exceeds the maximum height specified in Clause 55.06-2.

An assessment for buildings and works for two or more dwellings is required under the provisions of Clause 55 of the Manningham Planning Scheme.

The purpose of Clause 55 is generally to provide well designed dwellings with considered regard to internal amenity, while at the same time, maintaining the amenity and character of the locality, with particular emphasis on the amenity of adjoining residents.

Overlay

Clause 43.02 Schedule 8 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To support two storey townhouse style dwellings with a higher yield within sub-precinct B and sub-precinct A, where the minimum land size cannot be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *Higher developments on the perimeter of sub-precinct A must be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the building.*
- *To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To create a boulevard effect along Doncaster Road and Manningham Road by planting trees within the front setback that are consistent with the street trees.*
- *To encourage landscaping around buildings to enhance separation between buildings and soften built form.*

Permit Requirement

- *A permit is required to construct or carry out works*
- *A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.*

Building Height & Setbacks

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.
- A permit cannot be granted to vary the condition regarding the minimum land size and configuration specified in Table 2 to this Schedule.
- A permit cannot be granted to vary the Maximum Building Height specified in Table 2 to this Schedule. This does not apply to:
 - The rebuilding of a lawful building or works which have been damaged or destroyed.
 - A building which exceeds the specified building height for which a valid building permit was in effect prior of the introduction of this provision.
- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

Table 2

Sub-Precinct	Maximum Building Height	Condition regarding minimum land size	Street setback
DDO8-2 (Sub-precinct A)	11 metres provided the condition regarding minimum land size is met. If the condition is not met, the maximum height is 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.	1,800 square metres must be all in the same sub-precinct. Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage.	<p>For one dwelling on a lot:</p> <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 54.03-1 or 6 metres, whichever is the lesser • Minimum side street setback is the distance specified in Clause 54.03-1 <p>For two or more dwellings on a lot or a residential building:</p> <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser • Minimum side street setback is the

State Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01-1 Urban design

The objective of this policy is:

- *To create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.*

Clause 15.01-2 Urban design principles

The objective of this policy is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

Clause 15.01-4 Design for safety

The objective of this policy is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

Policy guidelines

Planning must consider as relevant:

- *Safer Design Guidelines for Victoria (Crime Prevention Victoria and Department of Sustainability and Environment, 2005).*

Clause 15.01-5 Cultural identity and neighbourhood character

The objective of this policy is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

Clause 15.02-1 Energy and resource efficiency

The objective of this policy is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

Clause 16.01-1 Integrated housing

The objective of this policy is:

- *To promote a housing market that meets community needs.*

Clause 16.01-2 Location of residential development

The objective of this policy is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

Clause 16.01-4 Housing diversity

The objective of this policy is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 16.01-5 Housing affordability

The objective of this policy is:

- *To deliver more affordable housing closer to jobs, transport and services.*

Local Planning Policy Framework (LPPF)

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

The site is within "Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads".

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The three sub-precincts within Precinct 2 consist of:

Sub-precinct – Main Road (DDO8-1) is an area where three storey (11 metres) 'apartment style' developments are encouraged on land with a minimum area of 1,800m². Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage. The area of 1,800m² must all be in the same sub-precinct. All development in the Main Road sub-precinct should have a maximum site coverage of 60 percent.

Higher developments on the perimeter of the Main Road sub-precinct should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct A or B, or other adjoining zone.

Sub-precinct A (DDO8-2) is an area where two storey units (9 metres) and three storey (11 metres) 'apartment style' developments are encouraged. Three storey, contemporary developments should only occur on land with a minimum area of 1800m². Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage. The area of 1800m² must all be in the same sub-precinct. In this

sub-precinct, if a lot has an area less than 1800m², a townhouse style development proposal only will be considered, but development should be a maximum of two storeys. All development in Sub-precinct A should have a maximum site coverage of 60 percent. Higher developments on the perimeter of sub-precinct A should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B, or other adjoining zone.

Sub-precinct B (DDO8-3) is an area where single storey and two storey dwellings only will be considered and development should have a maximum site coverage of 60 percent. There is no minimum land area for such developments.

The site is located within **Sub-Precinct – A**.

Development in Precinct 2 should:

- *Provide for contemporary architecture*
- *Achieve high design standards*
- *Provide visual interest and make a positive contribution to the streetscape*
- *Provide a graduated building line from side and rear boundaries*
- *Minimise adverse amenity impacts on adjoining properties*
- *Use varied and durable building materials*
- *Incorporate a landscape treatment that enhances the overall appearance of the development.*
- *Integrate car parking requirements into the design of buildings and landform.*

Clause 21.05-2 Housing

The relevant objectives of this policy are:

- *To accommodate Manningham's projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*
- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality's population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.*
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

Clause 21.05-4 Built form and neighbourhood character

The objective of this policy is:

- *To ensure that residential development enhances the existing or preferred neighbourhood character of the residential character precincts as shown on Map 1 to this Clause.*

The strategies to achieve this objective include:

- *Require residential development to be designed and landscaped to make a positive contribution to the streetscape and the character of the local area.*
- *Ensure that where development is constructed on steeply sloping sites that any development is encouraged to adopt suitable architectural techniques that minimise earthworks and building bulk.*
- *Ensure that development is designed to provide a high level of internal amenity for residents.*
- *Require residential development to include stepped heights, articulation and sufficient setbacks to avoid detrimental impacts to the area's character and amenity.*

Local Planning Policy

Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Particular Provisions

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings
- 1 visitor space to every 5 dwellings for developments of 5 or more dwellings

Clause 52.06-8 outlines various design standards for parking areas that should be achieved.

Clause 52.34 Bicycle Facilities

No bicycle spaces are required to be provided as the development is less than 4 storeys.

Clause 55 Two more dwellings on a lot and residential buildings

The development of two or more dwellings on a lot must meet the requirements of this clause. An assessment against this clause is provided in Appendix 1 of this report.

General Provisions

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*

- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*