

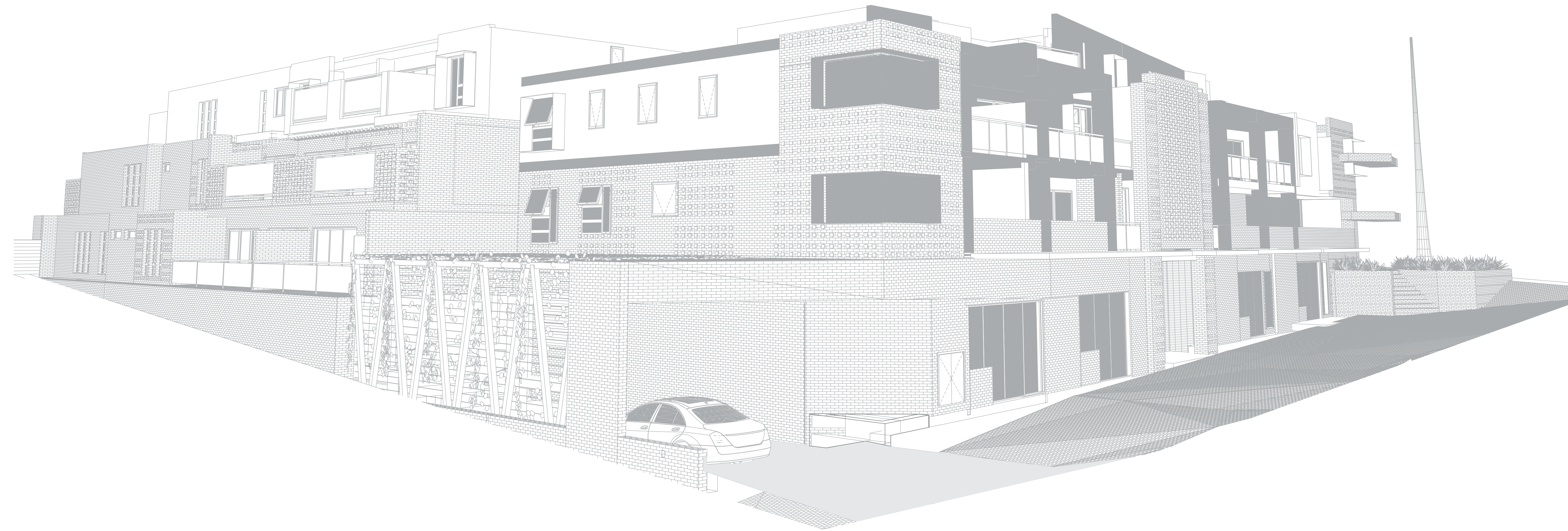
PROPOSED COMMERCIAL & RESIDENTIAL DEVELOPMENT

ADDRESS: 121-125 JAMES STREET, TEMPLESTOWE, VICTORIA, 3108

TOWN PLANNING APPLICATION

ARCHITECTURAL DRAWING SCHEDULE

- TP01 NEIGHBOURHOOD CHARACTER
- TP02 DESIGN RESPONSE
- TP03 TREES CONDITIONS
- TP04 BASEMENT 2
- TP05 BASEMENT 1
- TP06 GROUND FLOOR PLAN
- TP07 FIRST FLOOR PLAN
- TP08 SECOND FLOOR PLAN
- TP09 (NOT USED)
- TP10 ROOF FLOOR PLAN
- TP11.1 ELEVATIONS EAST & SOUTH
- TP11.2 ELEVATIONS NORTH & WEST
- TP12.1 SECTIONS A-A & B-B
- TP12.2 SECTIONS X-X & Z-Z
- TP13 SHADOW DIAGRAMS
- TP14 MATERIALS SCHEDULE
- TP15 PERSPECTIVES 1
- TP16 PERSPECTIVE 2
- TP17 STREETSCAPE
- TP18 FIRST FLOOR RETAINING WALL



CONSULTANTS DRAWINGS

- LANDSCAPE PLAN
- RE-ESTABLISHMENT, FEATURE & LEVEL PLAN
- FOOTPATH/LANEWAY CONCEPT PLAN

DEVELOPMENT SUMMARY TABLE 121-125 JAMES STREET TEMPLESTOWE 3106

BUILDING AND SITE AREA ANALYSIS

FLOOR	TOTAL AREA M ²	% Covered Area Ground Floor	% Covered Area First Floor
Basement 2	2119.40	N/A	N/A
Basement 1	2153.00	N/A	N/A
Ground floor	1890.80	90%	90%
First floor	1755.80	79%	90%
Second floor	1352.77	64%	70.6%
Total Site Area			2505 Sq M
Site Coverage (First Floor/Total site area)			64.2%
Total land scape or permeable (437m ² on First Floor)			17.4%

Commercial & Residents Library / Community Space Basement 1

Commercial Premises	F & D Area M ²	Type of Occupancy	Car Parking Required
1	191.20	Convenience Shop	9
2	101.24	Food and Drink Premises 1 (Cafe)	4
3	135	Take Away Premises 1	5.2
Ground Floor			
4	83.20	Take Away Premises 2	3.3
5	102	Food and Drink Premises 2 (Cafe)	4.1
6	82.71	Residents Library / Community Space	2.7
Total	695.35		28
Basement		14 bicycle Spaces for residents	

RESIDENTIAL

FLOOR	Dwelling No	Internal Area Sq M	POS or Balcony	No of Bed Room	No of Car Spaces	Car Space #
GROUND	1	75.40	36.70	2	1	B1
	2	84.80	34.50	2	1	B2
	3	85.10	34.90	2	1	B3
	4	85.84	35.00	2	1	B4
	5	83.4	34.50	2	1	B5
	6	83.90	34.60	2	1	B6
	7	84.10	62.30	2	1	B9
	8	83.9	13.60	2	1	B12
	9	83.40	13.40	2	1	B14
	36	72.80	16.10	2	1	B13
FIRST	37	94.10	11.20	2	1	B16
	10	68.60	9.2	2	1	B15
	11	73.17	8.2	2	1	B47
	12	83.70	8.0	2	1	B26
	13	82.50	8.0	2	1	B25
	14	82.50	8.0	2	1	B24
	15	80.20	8.0	2	1	B23
	16	77.6	9.8	2	1	B22
	17	110.10	16.20	3	2	B7 & B8
	18	88.50	8.0	2	1	B49
SECOND	19	101.80	30.20	2	1	B50
	20	82.60	18.30	2	1	B51
	21	107.30	14.60	2	1	B52
	22	83.90	10.30	2	1	B21
	23	83.90	10.30	2	1	B20

RESIDENTIAL

FLOOR	Dwelling No	Internal Area	POS or Balcony	No of Bed Room	No of Car Spaces	Car Space #
SECOND	24	88.5	12	3	2	B10 & B11
	25	74.20	8.0	2	1	B19
	26	74.20	8.0	2	1	B54
	27	74.20	8.2	2	1	B55
	28	72.5	8.0	2	1	B56
	29	44.5	8.0	1	1	B53
	30	41.5	8.0	1	1	B46
	31	75	8.0	2	1	B48
	32	98.13	14.50	3	2	B17 & B18
	33	46.3	16.3	1	1	B57
34	66.9	8.2	2	1	B58	
35	67.4	8.2	2	1	B59	

CARPARK ANALYSIS

CARPARK REQUIRED	Car space Numbers	No of Car Spaces
BASEMENT LEVEL B2		
DISABLED SPACES	B39 & B40	2
COMMERCIAL STAFF	B29 - B36 B41 - B44	12
RESIDENTS	B1 - B26 47 - 59	40
SPARE	B60	1
TOTAL B2		55
BASEMENT LEVEL B1		
RESIDENTIAL VISITORS / COMMERCIAL CUSTOMERS	G1 - G33, G35 & G36	35
DISABLED SPACES	G34	1
TOTAL B1		36
TOTAL B1 & B2 PROVIDED		91

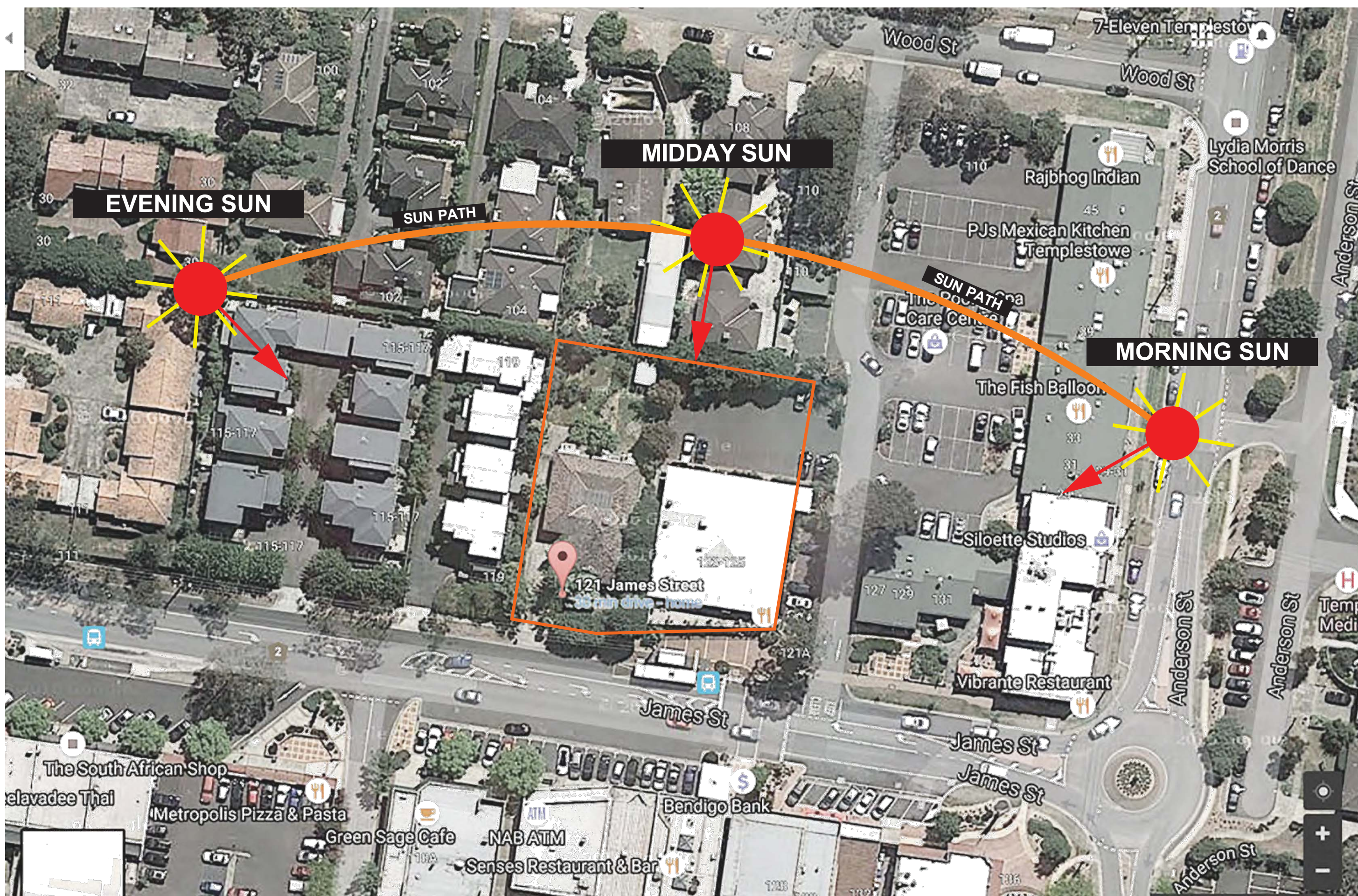
M U D H E R
ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
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Address: 16 Mossdale Court
Templestowe
Victoria 3106

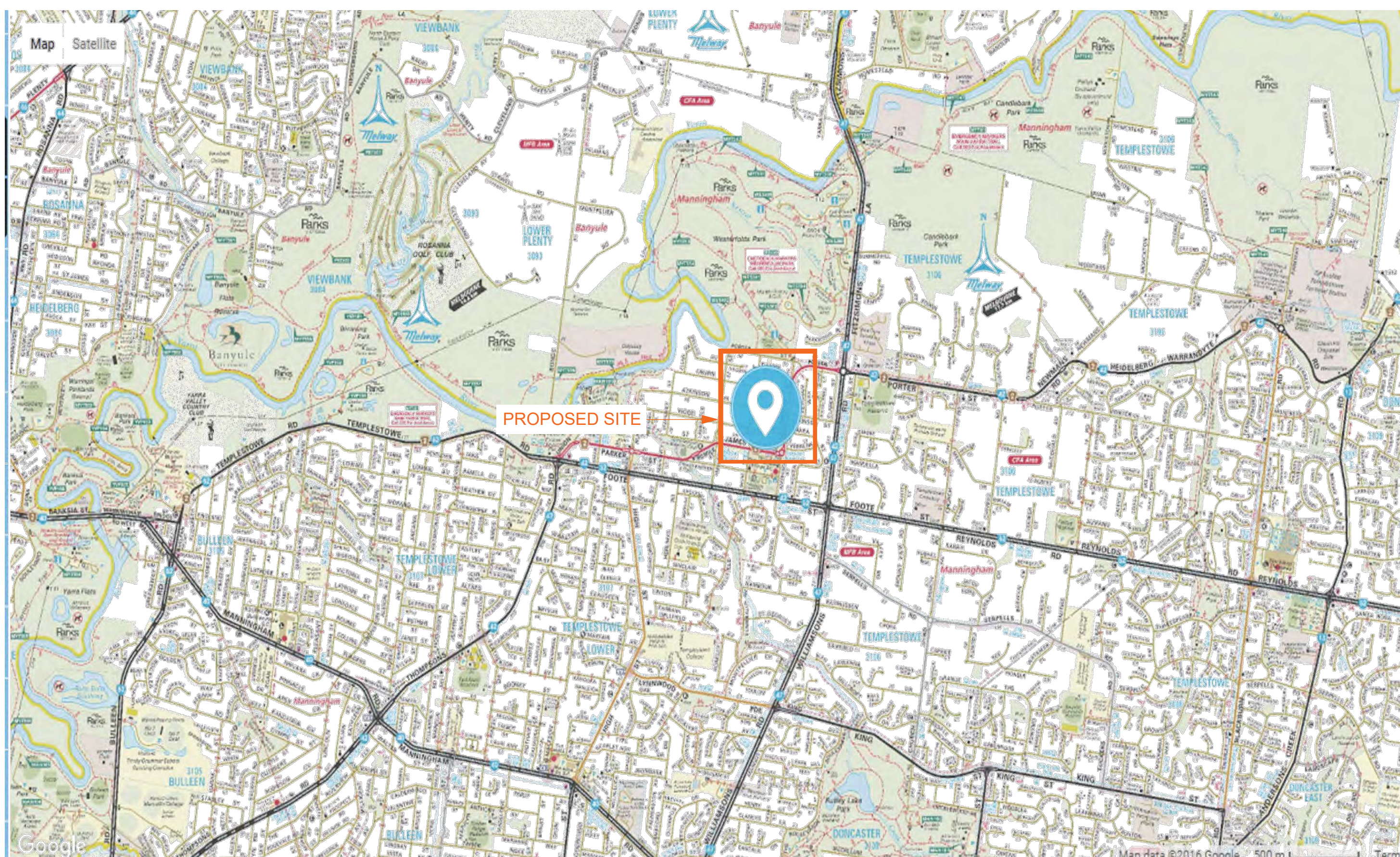
121 - 125 JAMES STREET,
TEMPLESTOWE, VICTORIA, 3108

Submission Date: 23/10/2017
REVISION R

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NOT TO SCALE



NOT TO SCALE

SITE CONTEXT

Location:

The site located on the northern side of James Street, near the intersection with Anderson Street. The area is well served by an activity centre, public transport, schools and recreational facilities.

Public Transport

Bus Stop (James Street) 10m S
Bus Stop (Anderson Road) 150m SE

Shopping

Templestowe Village Shopping Centre 40m S
Bulleen Plaza Shopping Centre 4.2km SW

Schools/Education Facilities

St. Kevins Primary School 1.4km SW
Templestowe Park Primary 2.1km E
Templestowe College 2.7km S

Recreational Facilities/ Open Space

Templestowe Bowling Club 550m W
Westerfolds Sports Centre 650m W
Westerfolds Park 750m N
Templestowe Reserve 1.3km NE

Site Measurements

Consolidated site's length is 47m and 49m wide.
Site depths of 44.67m and 50.57m long.

Approx. total Site area: 2250 square metres

Features of site

The proposed development sits on two consolidated site in 121 and 123 James Street.
Both sites front onto James Street and are in a south to north orientation.
A 1.83m wide drainage and sewage easement runs along the rear of the site.
121 James Street consists of a double storey brick building, currently used as a restaurant. The front of the dwelling is predominately paved with brick, while there is a bus stop directly outside the site.
123 James Street is a single storey brick dwelling with a tiled pitched roof.
A carpark is located along both the eastern and northern sides of 123 James Street.
There are a number of overgrown bushes and shrubs onsite - low value for retention.
Lot sizes in the general area are of similar shape and size, however many have been consolidated or subdivided to allow medium density developments.

Strategic location

The existing restaurant and car park site has been identified in Council strategy for inclusion into the commercial area by rezoning. The surrounding residential area is zoned GRZ2, (Areas Surrounding Activity Centres and Along Main Roads) which support apartment development up to a height of 10 metres. (On sloping sites as define in planning scheme)
The site offers scope for a mixed-use development complementing a well performing shopping centre that is geographically removed from the network of other centres.

Features of surrounds - General Neighbourhood character

The proposed consolidated sites abut commercial zones. - Both the sites are currently within the Templestowe Village structure plan study area. 123 James Street and the associated car park are also within the retail and commercial core precinct boundary of this structure plan, while 121 James Street sits just outside.
The activity centre includes some substantial buildings and the sloping terrain results in high built form throughout the centres often equivalent to 3 storeys in overall height.
It also includes one much larger Apartment complex - 5-6 level mixed-use development within the retail core.
There are a number of recreational facilities and public open space nearby, including MT Leisure Centre and Westerfold Park.
The land is located at the interface between a commercial and an established residential area comprising substantial town house developments.
The area is characterized by a streetscape of buildings most of which date from the 1960s till now.
The immediate area comprises large blocks of land, which has been progressively developed for 2 and 3 storey medium density infill developments and is not earmarked for apartment style development. The older housing stock is predominately constructed from weatherboard or brick, however newer developments employ a variety of materials such as brick veneer, fibro and various lightweight cladding.
Roof types of the older housing stocks are predominately pitched and hipped and constructed from terracotta tiles.
Medium brick fences are most common along James Street.
Front setbacks are generally medium, with strong presence of vegetation within the front garden of dwellings
Surrounding the subject sites are a number of medium density developments ranging from 3-8 dwellings on a lot.
The surrounding lots have varied site coverage.
Overall a pattern of development that is emerging as the single detached dwellings are being replaced with medium density dwellings.
The area includes tall trees both in the residential area and the shopping centres including tall eucalypts.

Summary:

The site provides an opportunity to contribute to the enhancement of the commercial area and provision of a more urban lifestyle adding to housing diversity.

The site is generally located within an activity structure study area and abuts commercially zoned land.

The surrounding residential land is identified for multi level Apartment development. Sites within the activity centre are also proposed for much higher density development - In particular the opportunity for the redevelopment of the existing supermarket to a mixed-use multi-storey development with basement car park.

Also nearby are recreational open space, schools, public transport and other essential services and infrastructure.

The growing number of medium density developments within the area, which suggests that the current site is ideal for higher density development of the kind proposed incorporated in a mixed-use development.

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REV P (17/08/17) : ISSUED IN RESPONSE TO MEETING WITH COUNCIL OFFICERS ON JUNE 14 2017

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121 - 125 JAMES STREET, TEMPLESTOWE, VICTORIA, 3108

Drawing Name

NEIGHBOURHOOD CHARACTER

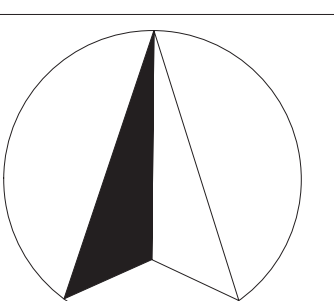
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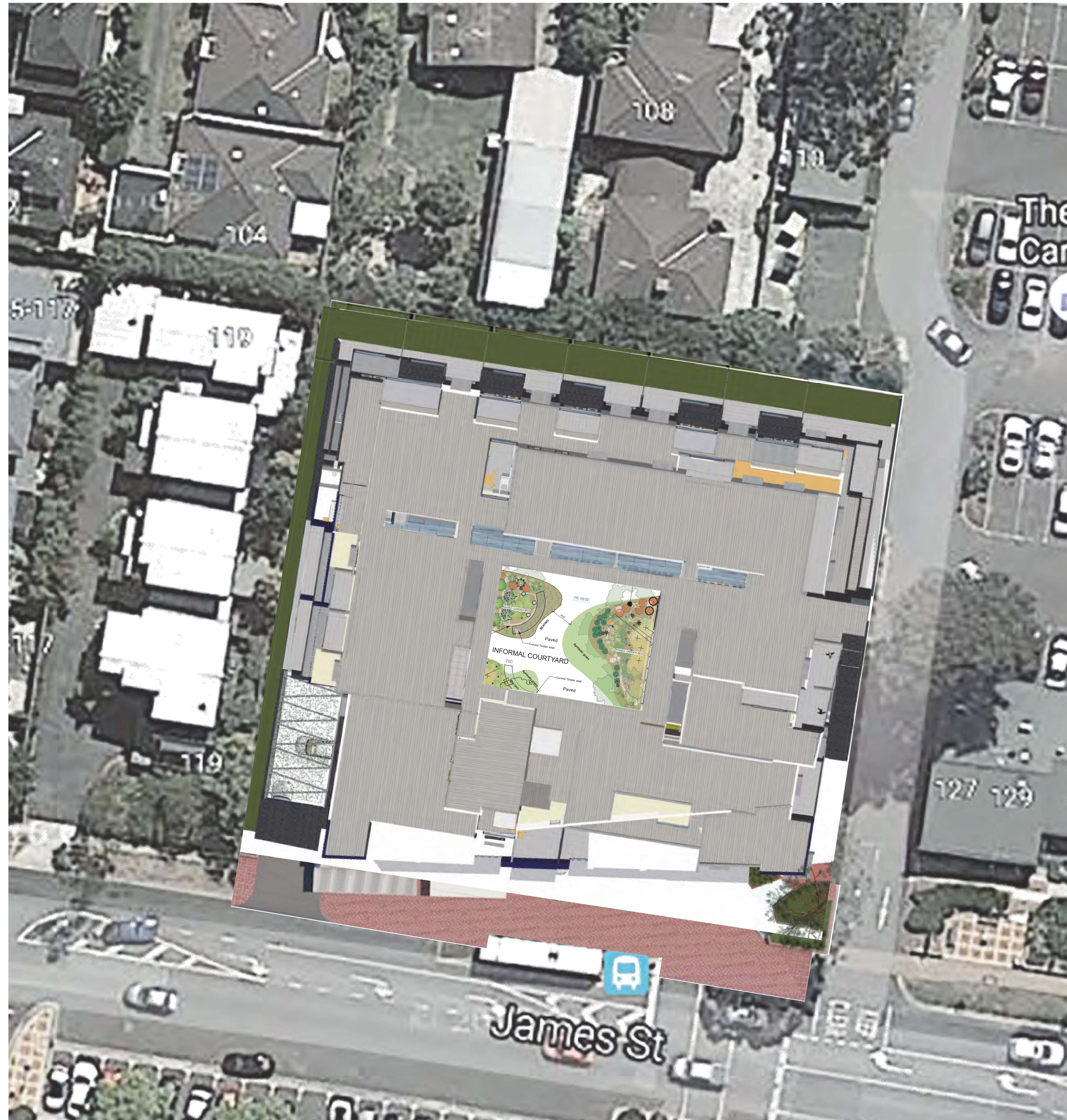
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Layout ID TP.01 Status TP Revision R





DESIGN RESPONSE

Strategic location

The surrounding residential area is covered by a DD08 overlay, (Areas Surrounding Activity Centres and Along Main Roads) which support apartment development up to a height of 11 metres. (On sloping sites and over minimum size conditions)
 The site offers scope for a mixed-use development complementing a well performing shopping centre that is geographically removed from the network of other centres.
 Proposed development site is well served by public transport, schools, medical centres and shopping and recreational facilities.
 Proposed development site is surrounded by multi units
 Proposal enhances the character of an area undergoing change, and provides modern accommodation of a kind lacking in the neighbourhood and hence contributing to greater diversity in housing, appropriately located.

Site responsive design

The design responds to the site by providing a basement car park that is sunken into the ground and well concealed from the street
 Upper levels step back from the west and north neighbours to facilitate solar access
 The upper level is recessive and reducing with graduated walls to minimize visual bulk.
 The building height responds to the slope of the land and sits comfortably within the setting.

Design

The proposed development will provide 6 Food & Drink Premises and 37 apartments over 3 floors with associated basement car parking.
 The front setback has been reduced so that the ground and 1st floor Food & Drink Premises creates an active frontage with the footpath due to the incorporation of clear glazing and framing of the façade.
 The development is not boundary-to-boundary and will feature minimal on-boundaries walls.
 All dwellings offer good indoor-outdoor living environment, with open living plans providing appropriate interrelationship with outdoor/ balcony areas.
 Dwellings are designed with a number of light voids and skylight and are well orientated to maximize utilisation of natural sunlight.
 The scale of the built form is not usual - as a 5-6 mixed-use development currently exist within the retail zone.
 Basements provide 91 car parks and 15 'Ned Kelly' hanger style bicycle spaces.
 Overall the design achieves a balance between minimizing amenity impacts to neighbours while achieving an acceptable presentation to the streetscape.

Character

The scale of the proposed development is similar to the mix-use building at 143-145 Parker Street. Furthermore, surrounding the development are sites that have a DD08-2 overlay, which allows building heights of up to 11 metres under certain conditions.
 Window shapes are in a modern contemporary style of powdercoated aluminum. Walls are predominately rendered brick veneer. These and other building elements are commonly found within the area and reference existing built form character
 Dwelling is well setback from the side and rear boundaries, providing good opportunities for planting of screening trees. To the rear, the development is also well setback from the easement, which will ensure opportunities for narrow canopy trees to be planted.
 Development has acceptable site coverage for a mix use development and provides adequate area for landscaping, so the built form will be integrated into the landscape.

Visual Bulk

Design utilizes a number of techniques to minimize visual bulk including:
 Employing various colours and materials to add visual interest.

Dwelling façade is well fenestrated with windows and glass frosting balcony walls.
 Space is provided for landscaping to soften built form and driveway paving.
 Reduced and receding upper level stepping away from neighbours and street.
 Overall building height is minimized - low floor to ceiling heights.
 The built form is well articulated, incorporating a good mix of materials and finishes to break up the façade.
 Overall the visual bulk of the building is acceptable and will sit comfortably within streetscape.

Overlooking/Overshadowing

Overlooking is addressed in the design with high sills or obscured glazing or screening that exceeds Rescode standards.
 Windows of habitable room locations have been carefully considered to avoid overlooking and also to gain good solar access.
 Existing side boundaries fences will be replaced with 2.0m timber paling fences to protect from overlooking
 Shadow impact is acceptable and meets the Rescode B21 standard.
 Design does not cause any unreasonable off-site amenity impact on adjacent properties.
 Good opportunities have been provided to the rear of the site for the planting of vegetation to further screen from overlooking.

Summary:

The proposed mix use development provides further retail shops that compliment the existing commercial space found within the activity centre. The shop fronts will be glazed and create an active street frontage along James Street.

The upper level residential dwellings will address the need for greater diversity in housing choices within the area. Hence the design responds to changing household demands in accordance to State and Local Planning Provisions.

The building itself is low profile, has clean simple form and is well articulated, thus enhancing and contributing to the emerging future neighbourhood character. The proposal has addressed the fundamental design issues well, including access, setbacks, built form and amenity.
 Overall, the resulting design is responsive to the constraints of the site and will result in a positive outcome for the area.

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Drawing Name
DESIGN RESPONSE

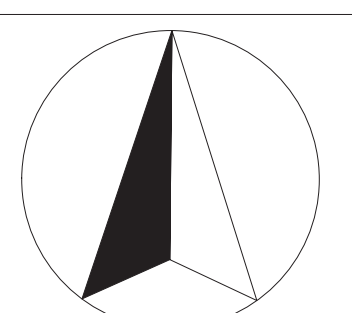
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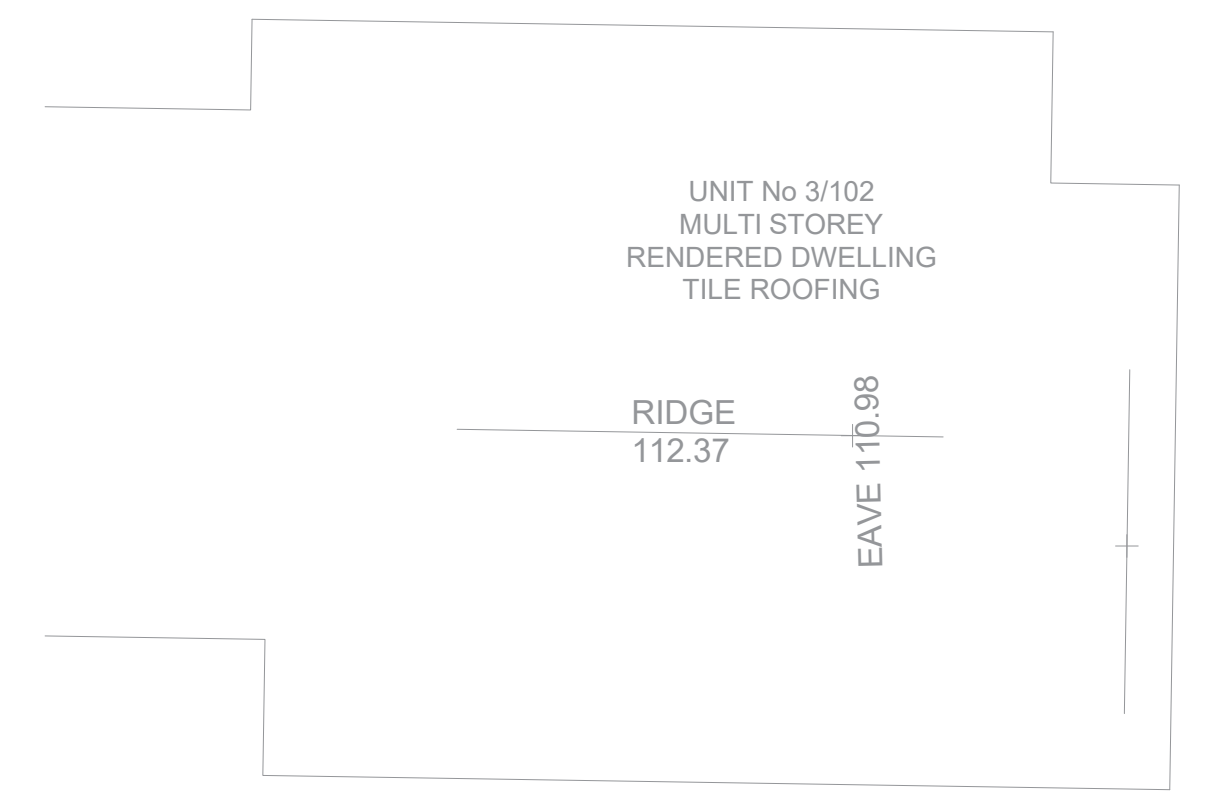
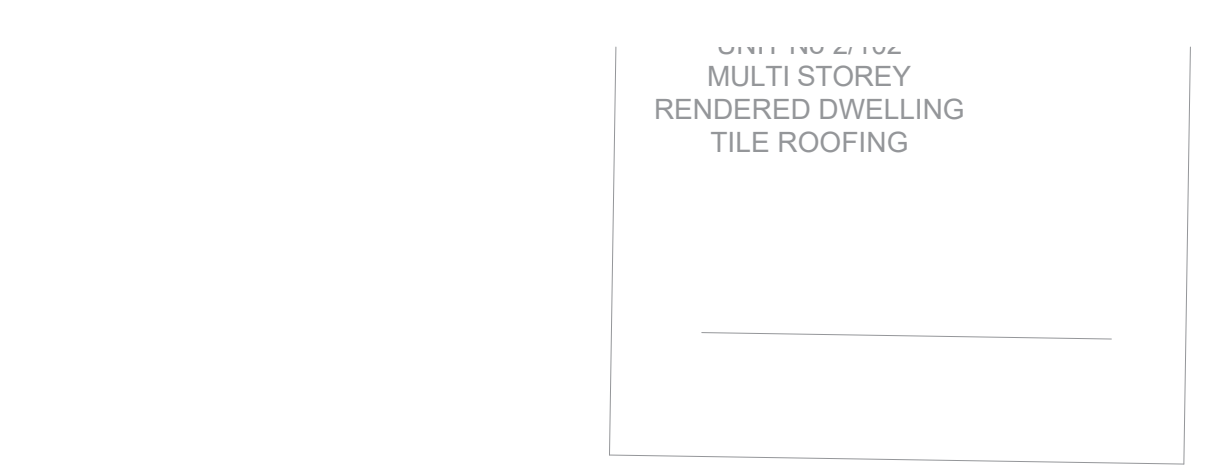
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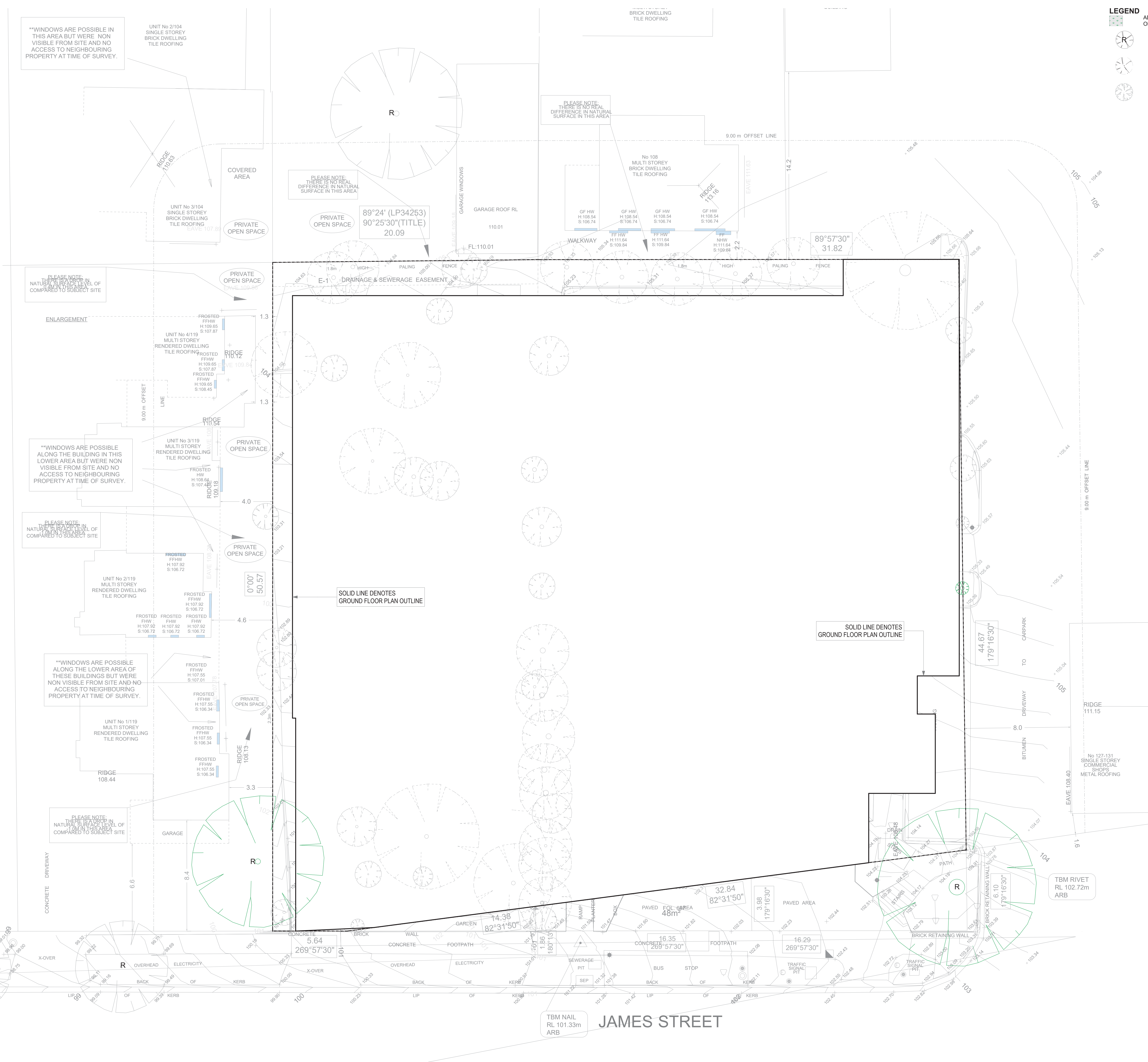
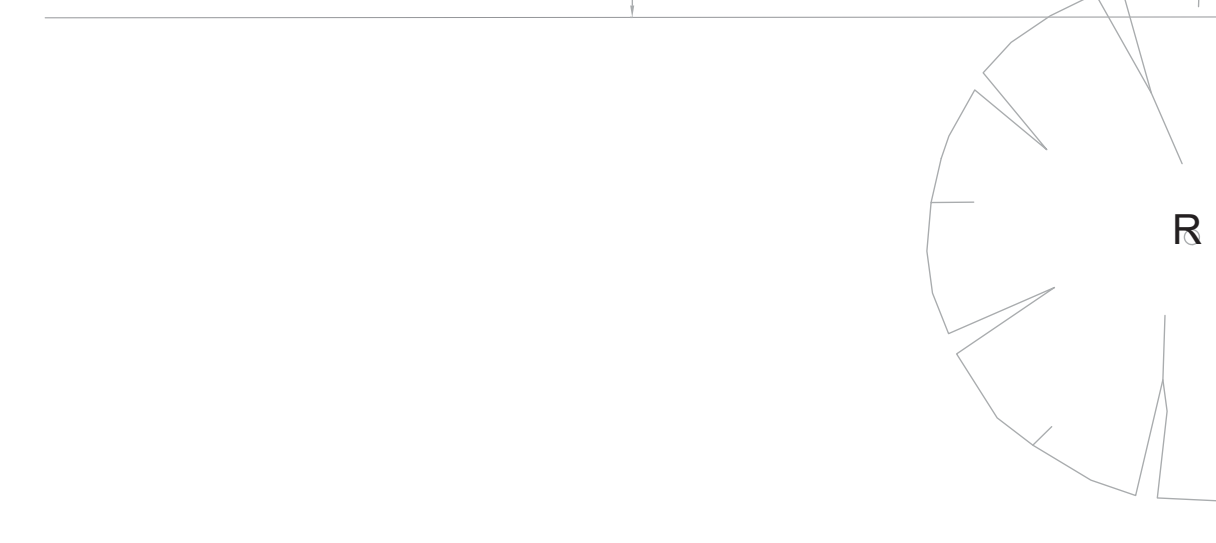
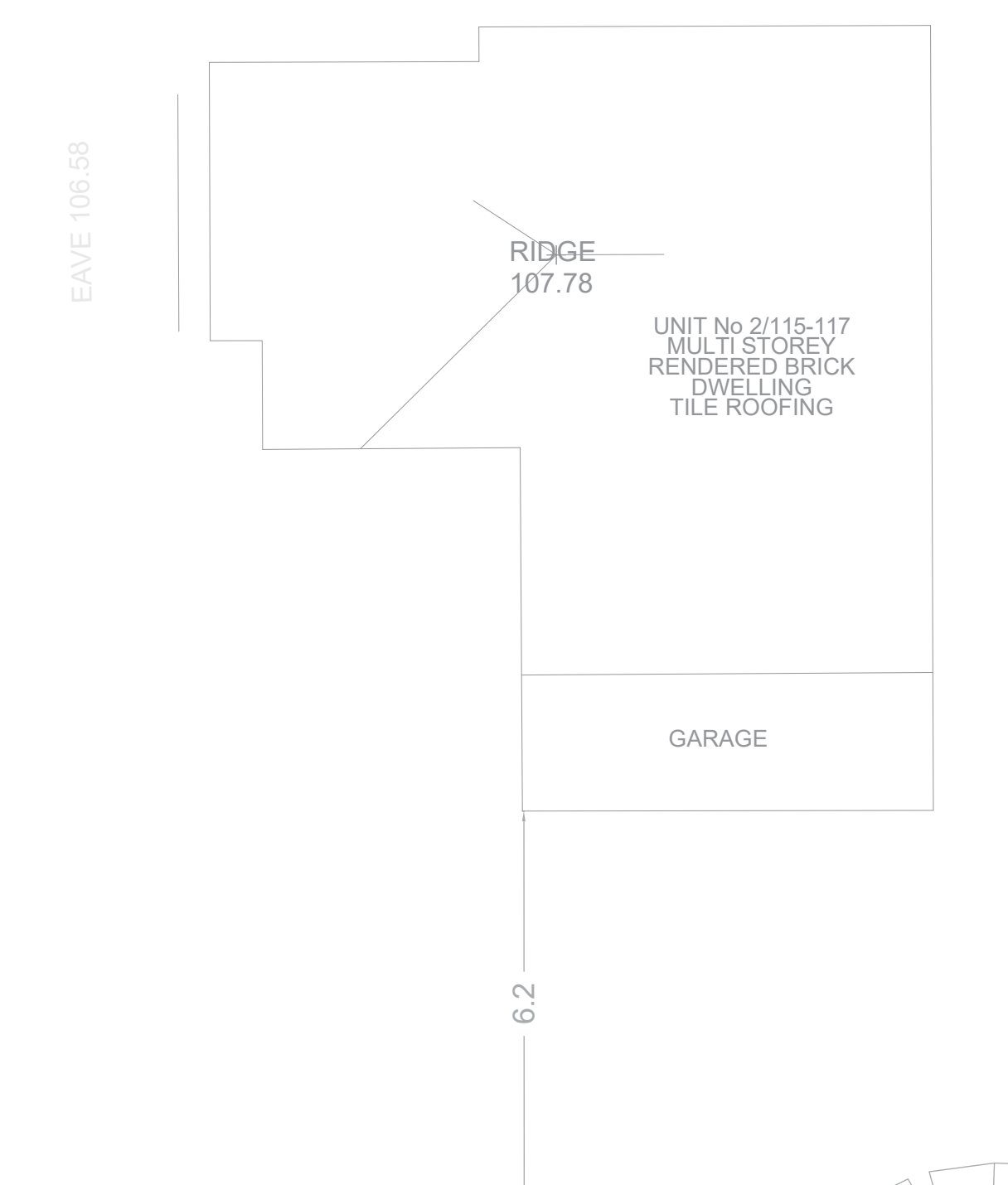


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THE DIFFERENCES BETWEEN THE OCCUPATION AND THE ADOPTED TITLE BOUNDARIES ARE SHOWN THUS:
 PALS 0.01 IN. - "IN" REFERS TO THE OCCUPATION BEING INSIDE THE TITLE BOUNDARY AND
 PALS 0.01 OUT - "OUT" REFERS TO THE OCCUPATION BEING OUTSIDE THE TITLE BOUNDARY
EASEMENT DETAILS :

E-1 DENOTES 1.83 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP34253 IN FAVOUR OF LOTS SHOWN ON LP34253.
 E-2 DENOTES 2.01 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP18344 IN FAVOUR OF LOTS SHOWN ON LP18344.
COVENANT DETAILS :

NIL.



LEGEND

- ADJOINING DWELLINGS PRIVATE OPEN SPACE
- EXISTING TREE TO REMAIN
See Arborist's Report
- EXISTING TREE TO BE REMOVED
See Arborist's Report
- PROPOSED TREE

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Drawing Name
TREES CONDITIONS

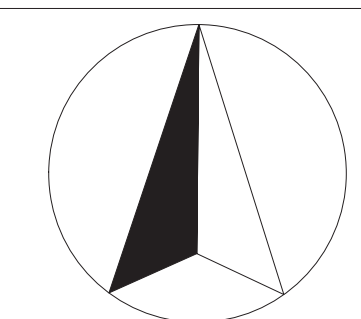
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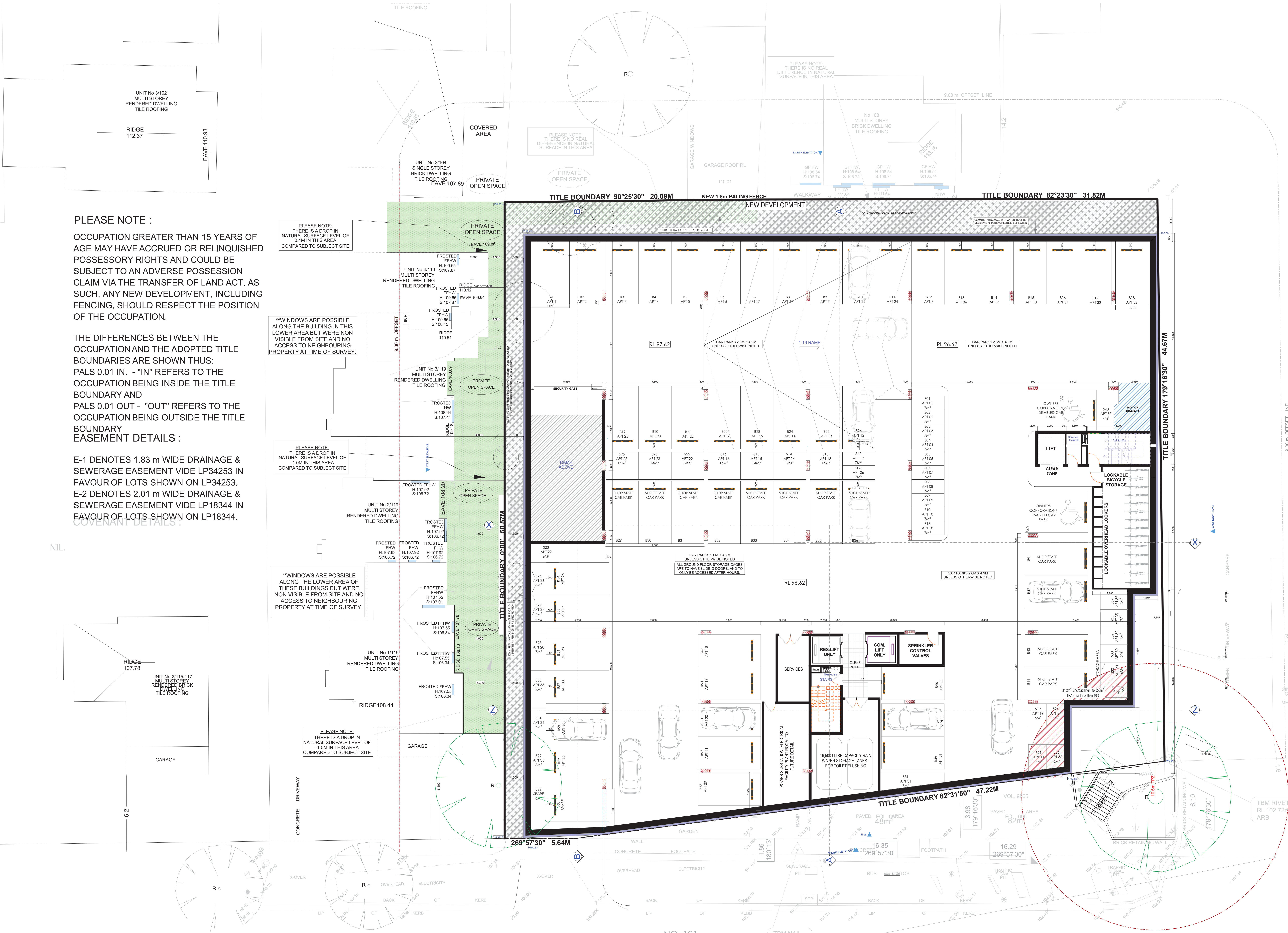
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 E-2 DENOTES 2.01 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP18344 IN FAVOUR OF LOTS SHOWN ON LP18344.
COVENANT DETAILS :

PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF 0.4M IN THIS AREA COMPARED TO SUBJECT SITE

**WINDOWS ARE POSSIBLE ALONG THE LOWER AREA OF THIS BUILDING BUT WERE NON VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY

PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF 1.0M IN THIS AREA COMPARED TO SUBJECT SITE

**WINDOWS ARE POSSIBLE ALONG THE LOWER AREA OF THESE BUILDINGS BUT WERE NON VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY

- LEGEND**
- ADJOINING DWELLINGS PRIVATE OPEN SPACE
 - SECLUDED PRIVATE OPEN SPACE
 - PRIVATE OPEN SPACE OPPORTUNITIES
 - CONCRETE DRIVEWAY
 - PERMEABLE CONCRETE DRIVEWAY
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - PROPOSED TREE
 - 2000L RAINWATER TANK
 - AIR CONDITIONER
 - WATER METER
 - GAS METER
 - GARBAGE AND RECYCLING BINS
 - HOT WATER SYSTEM
 - BOLLARD LIGHT
 - CLOTHESLINE
 - FIX OPAQUE GLASS
 - RETAINING WALL
 - HABITABLE WINDOW
 - TR LAUNDRY TROUGH
 - HWS HOT WATER SYSTEM

CAR PARK ANALYSIS	NUMBERS
RESIDENTS PARK	1-29 & 40-60
COMMERCIAL STAFF	39-38
DISABLED PARK	60,53,47,84,1
NOT FOR CONSTRUCTION	

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BASEMENT 2 FLOOR PLAN

Drawing Status
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DRAWN BY SM, AH & PB DATE 23/10/2017

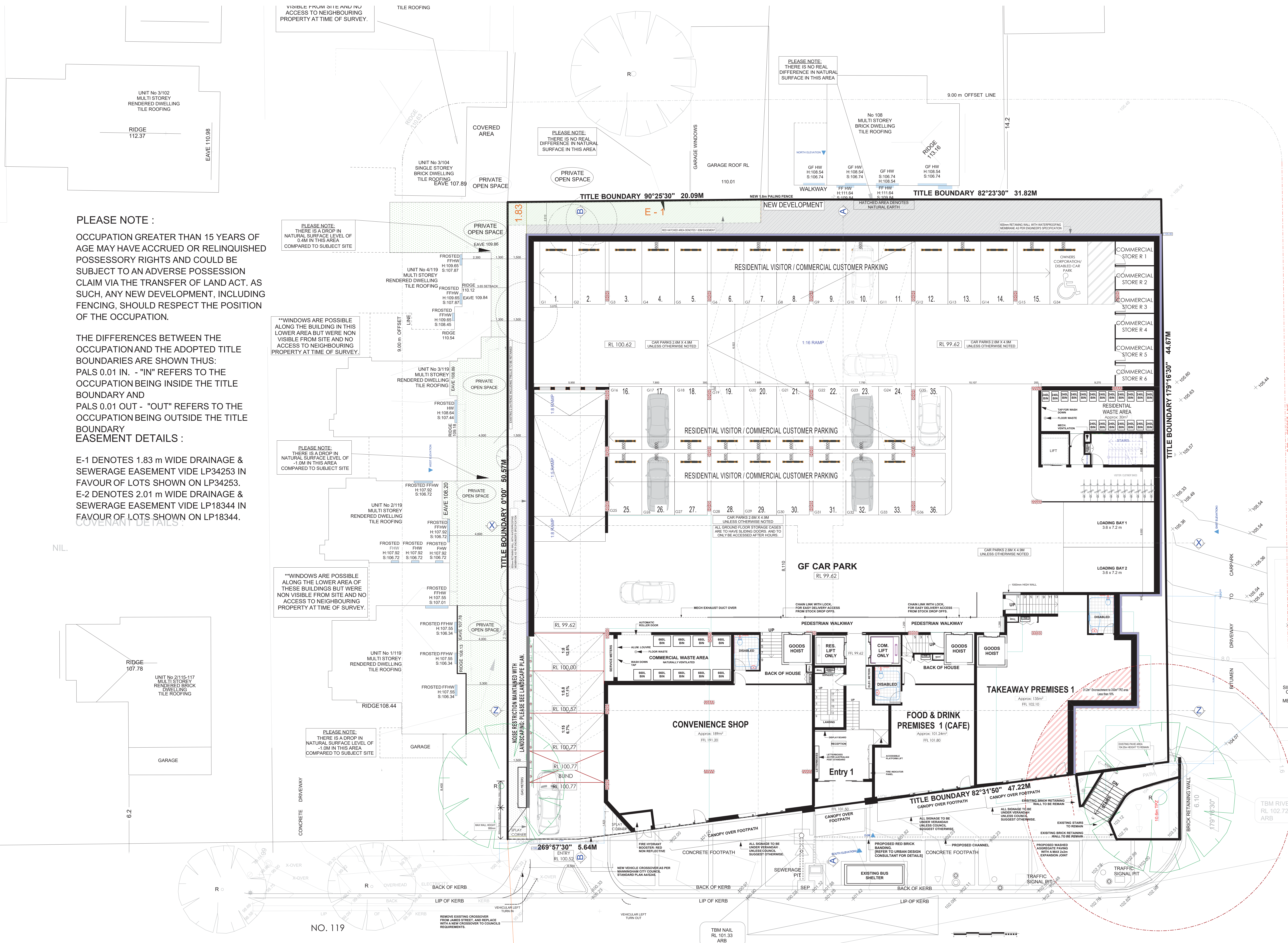
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Layout ID TP.04 Status TP Revision R

PLEASE NOTE:
 IN REGARDS TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17, THE FOLLOWING HAVE BEEN AMENDED:
 - HABITABLE WINDOWS ANALYSE TO 119 JAMES STREET.
 - NEIGHBOURING SECLUDED PRIVATE OPEN SPACE AREAS
 - CAR PARKING AMENDMENTS
 - APARTMENT STORAGE PROVIDED TO ALL APARTMENTS
 - ADJUSTMENT OF STORAGES
 - NORTHERN WALL AMENDED.
 - GRADIENT CHANGE
 - FLOOR LEVELS AMENDMENTS
 - RAMP GRADE CALCULATIONS RE CALCULATED

JAMES STREET



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NIL.

VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY.

PLEASE NOTE: THERE IS NO REAL DIFFERENCE IN NATURAL SURFACE IN THIS AREA

PLEASE NOTE: THERE IS NO REAL DIFFERENCE IN NATURAL SURFACE IN THIS AREA

PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF 0.4M IN THIS AREA COMPARED TO SUBJECT SITE

**WINDOWS ARE POSSIBLE ALONG THE BUILDING IN THIS LOWER AREA BUT WERE NON VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY.

PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF -1.0M IN THIS AREA COMPARED TO SUBJECT SITE

**WINDOWS ARE POSSIBLE ALONG THE LOWER AREA OF THESE BUILDINGS BUT WERE NON VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY.

PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF -1.0M IN THIS AREA COMPARED TO SUBJECT SITE

- LEGEND**
- ADJOINING DWELLINGS PRIVATE OPEN SPACE
 - SECLUDED PRIVATE OPEN SPACE
 - PRIVATE OPEN SPACE OPPORTUNITIES
 - CONCRETE DRIVEWAY
Light Grey
 - PERMEABLE CONCRETE DRIVEWAY
Dark Grey
 - EXISTING TREE TO REMAIN
See Arborist's Report
 - EXISTING TREE TO BE REMOVED
See Arborist's Report
 - PROPOSED TREE
 - 2000L RAINWATER TANK
 - AIR CONDITIONER
 - WATER METER
 - GAS METER
 - GARBAGE AND RECYCLING BINS
 - HOT WATER SYSTEM
 - BOLLARD LIGHT
 - CLOTHESLINE
 - RETAINING WALL
 - HABITABLE WINDOW
 - LAUNDRY TROUGH
 - HWS

CAR PARK ANALYSIS	NUMBERS
RESIDENTIAL VISITORS	1 - 7
COMMERCIAL STAFF	35 & 36
COMMERCIAL CUSTOMERS	8 - 33
DISABLED PARK	34

NOT FOR CONSTRUCTION
 REV R (09/10/17) : ISSUED IN RESPONSE TO LAUREN SHELTON & GREG WHITEHOUSE MANNINGHAM CITY COUNCIL PLANNER REQUEST FOR FURTHER VARIATIONS EMAIL DATED: OCTOBER 4TH 2017

REV P (17/08/17) : ISSUED IN RESPONSE TO MEETING WITH COUNCIL OFFICERS ON JUNE 14 2017

MUDHER ARCHITECTS PTY LTD

Surjeet S Mudher
 Director/Registered Architect N°:12688

Email: mudherarchitects@gmail.com
 Mobile Phone 0419 887 539 or 0414 451 921

Job Title
COMMERCIAL & RESIDENTIAL DEVELOPMENT
 121 - 125 JAMES STREET,
 TEMPLESTOWE, VICTORIA, 3108

Drawing Name
BASEMENT 1 FLOOR PLAN

Drawing Status
TOWN PLANNING APPLICATION

DRAWN BY
 SM, AH & PB

Checked by
 SM

Drawing Scale
1:100 @ A0

Layout ID
TP.05

Status
TP

Revision
R

PLEASE NOTE:
 IN REGARDS TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17. THE FOLLOWING HAVE BEEN AMENDED:
 - HABITABLE WINDOWS ANALYSIS TO 119 JAMES STREET.
 - NEIGHBOURING SECLUDED PRIVATE OPEN SPACE AREAS - NORTHERN WALL AMENDED.
 - STORAGE MANAGEMENT
 - AMENDMENTS OF RETAIL SHOPS
 - TRANSITION CHANGE FOR CARS
 - CANOPY OVER FOOTPATH
 - GRADIENT CHANGE
 - ADDITIONAL STEPS INTO RETAILS (BACK OF HOUSE REAR ACCESS)

JAMES STREET



LEGEND

- ADJOINING DWELLINGS PRIVATE OPEN SPACE
- SECLUDED PRIVATE OPEN SPACE
- PRIVATE OPEN SPACE OPPORTUNITIES
- CONCRETE DRIVEWAY
- PERMEABLE CONCRETE DRIVEWAY
- EXISTING TREE TO REMAIN (See Arborist's Report)
- EXISTING TREE TO BE REMOVED (See Arborist's Report)
- PROPOSED TREE
- RW1 2000L RAINWATER TANK
- AIR CONDITIONER
- WATER METER
- GAS METER
- GARBAGE AND RECYCLING BINS
- HOT WATER SYSTEM
- BOLLARD LIGHT
- CLOTHESLINE
- FIX OPAQUE GLASS
- RETAINING WALL
- HABITABLE WINDOW
- LAUNDRY TROUGH
- HOT WATER SYSTEM

PLEASE NOTE :
 OCCUPATION GREATER THAN 15 YEARS OF AGE MAY HAVE ACCRUED OR RELINQUISHED POSSESSORY RIGHTS AND COULD BE SUBJECT TO AN ADVERSE POSSESSION CLAIM VIA THE TRANSFER OF LAND ACT. AS SUCH, ANY NEW DEVELOPMENT, INCLUDING FENCING, SHOULD RESPECT THE POSITION OF THE OCCUPATION.

THE DIFFERENCES BETWEEN THE OCCUPATION AND THE ADOPTED TITLE BOUNDARIES ARE SHOWN THUS:
 PALS 0.01 IN. - "IN" REFERS TO THE OCCUPATION BEING INSIDE THE TITLE BOUNDARY AND
 PALS 0.01 OUT - "OUT" REFERS TO THE OCCUPATION BEING OUTSIDE THE TITLE BOUNDARY
EASEMENT DETAILS :

E-1 DENOTES 1.83 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP34253 IN FAVOUR OF LOTS SHOWN ON LP34253.
 E-2 DENOTES 2.01 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP18344 IN FAVOUR OF LOTS SHOWN ON LP18344.
COVENANT DETAILS :

PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF 0.4M IN THIS AREA COMPARED TO SUBJECT SITE

**WINDOWS ARE POSSIBLE ALONG THE BUILDING IN THIS LOWER AREA BUT WERE NON VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY.

PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF 1.0M IN THIS AREA COMPARED TO SUBJECT SITE

PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF 1.0M IN THIS AREA COMPARED TO SUBJECT SITE

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PLEASE NOTE: THERE IS A DROP IN NATURAL SURFACE LEVEL OF 1.0M IN THIS AREA COMPARED TO SUBJECT SITE

NOT FOR CONSTRUCTION
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Surjet S Mudher
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Email: mudherarchitects@gmail.com
 Mobile Phone 0419 887 539 or 0414 451 921

Job Title
COMMERCIAL & RESIDENTIAL DEVELOPMENT
 121 - 125 JAMES STREET,
 TEMPLESTOWE, VICTORIA, 3108

Drawing Name
GROUND FLOOR PLAN

Drawing Status
TOWN PLANNING APPLICATION

Drawn by
 SM, AH & PB

Checked by
 SM

Drawing Scale
 1:100 @ A0

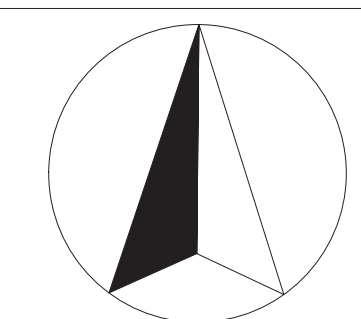
Layout ID
 TP.06

Status
 TP

Revision
 R

PLEASE NOTE:
 IN REGARD TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17, THE FOLLOWING HAVE BEEN AMENDED:
 - HABITABLE WINDOWS ANALYSIS TO 119 JAMES STREET.
 - NEIGHBOURING SECLUDED PRIVATE OPEN SPACE AREAS
 - NORTHERN WALL AMENDED.
 - STORAGE MANAGEMENT
 - AMENDMENTS OF RETAIL SHOPS
 - TRANSITION CHANGE FOR CARS
 - CANOPY OVER FOOTPATH
 - GRADIENT CHANGE
 - ADDITIONAL STEPS INTO RETAILS (BACK OF HOUSE REAR ACCESS)
 - STEPPING STONES ACCESS ADDED ON THE WESTERN BOUNDARY
 - 1700 SCREEN GLAZING TO APARTMENTS 7 & 8
 - CENTRAL AREA REDESIGN (REFER TO LANDSCAPE PLAN)
 - CAR PARK ACCESS RE DESIGN

JAMES STREET





- LEGEND**
- ADJOINING DWELLINGS PRIVATE OPEN SPACE
 - SECLUDED PRIVATE OPEN SPACE
 - PRIVATE OPEN SPACE OPPORTUNITIES
 - CONCRETE DRIVEWAY
 - PERMEABLE CONCRETE DRIVEWAY
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - PROPOSED TREE
 - 2000L RAINWATER TANK
 - AIR CONDITIONER
 - WATER METER
 - GAS METER
 - GARAGE AND RECYCLING BINS
 - HOT WATER SYSTEM
 - BOLLARD LIGHT
 - CLOTHESLINE
 - F.O.G. FIX OPAQUE GLASS
 - RETAINING WALL
 - HABITABLE WINDOW
 - LAUNDRY TROUGH
 - HWS HOT WATER SYSTEM

PLEASE NOTE :
 OCCUPATION GREATER THAN 15 YEARS OF AGE MAY HAVE ACCRUED OR RELINQUISHED POSSESSORY RIGHTS AND COULD BE SUBJECT TO AN ADVERSE POSSESSION CLAIM VIA THE TRANSFER OF LAND ACT. AS SUCH, ANY NEW DEVELOPMENT, INCLUDING FENCING, SHOULD RESPECT THE POSITION OF THE OCCUPATION.

THE DIFFERENCES BETWEEN THE OCCUPATION AND THE ADOPTED TITLE BOUNDARIES ARE SHOWN THUS:
 PALS 0.01 IN. - "IN" REFERS TO THE OCCUPATION BEING INSIDE THE TITLE BOUNDARY AND
 PALS 0.01 OUT - "OUT" REFERS TO THE OCCUPATION BEING OUTSIDE THE TITLE BOUNDARY EASEMENT DETAILS :

E-1 DENOTES 1.83 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP34253 IN FAVOUR OF LOTS SHOWN ON LP34253.
 E-2 DENOTES 2.01 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP18344 IN FAVOUR OF LOTS SHOWN ON LP18344.

NIL.

PLEASE NOTE:
 THERE IS A DROP IN NATURAL SURFACE LEVEL OF 0.4M IN THIS AREA COMPARED TO SUBJECT SITE

**WINDOWS ARE POSSIBLE ALONG THE BUILDING IN THIS LOWER AREA BUT WERE NON VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY.

PLEASE NOTE:
 THERE IS A DROP IN NATURAL SURFACE LEVEL OF -1.0M IN THIS AREA COMPARED TO SUBJECT SITE

**WINDOWS ARE POSSIBLE ALONG THE LOWER AREA OF THESE BUILDINGS BUT WERE NON VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY.

PLEASE NOTE:
 THERE IS A DROP IN NATURAL SURFACE LEVEL OF -1.0M IN THIS AREA COMPARED TO SUBJECT SITE

THE BUILDING FLOOR LEVEL IS LOCATED ABOVE THE GROUND AND THEREFORE NO INTERIOR ANY CLIMATE AND SUPPORT STRUCTURE WITHIN THE TRY TO BE OBTAINED AND SITED UNDER SUPERVISION OF AN ANNOTATED SURVEYOR/ARCHITECT AND ANNOTATED MATCH ON THE THIS BOOK.

NOT FOR CONSTRUCTION
 REV R (09/10/17) : ISSUED IN RESPONSE TO LAUREN SHELTON & GREG WHITEHOUSE MANNINGHAM CITY COUNCIL PLANNER REQUEST FOR FURTHER VARIATIONS EMAIL DATED: OCTOBER 4TH 2017
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MUDHER ARCHITECTS PTY LTD

Surjeet S Mudher
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 Mobile Phone 0419 887 539 or 0414 451 921

Job Title
COMMERCIAL & RESIDENTIAL DEVELOPMENT
 121 - 125 JAMES STREET,
 TEMPLESTOWE, VICTORIA, 3108

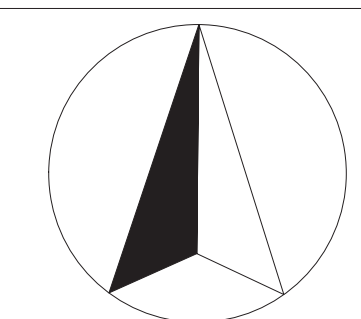
Drawing Name
FIRST FLOOR PLAN

Drawing Status
TOWN PLANNING APPLICATION

Drawn by
 SM, AH & PB

Checked by
 SM

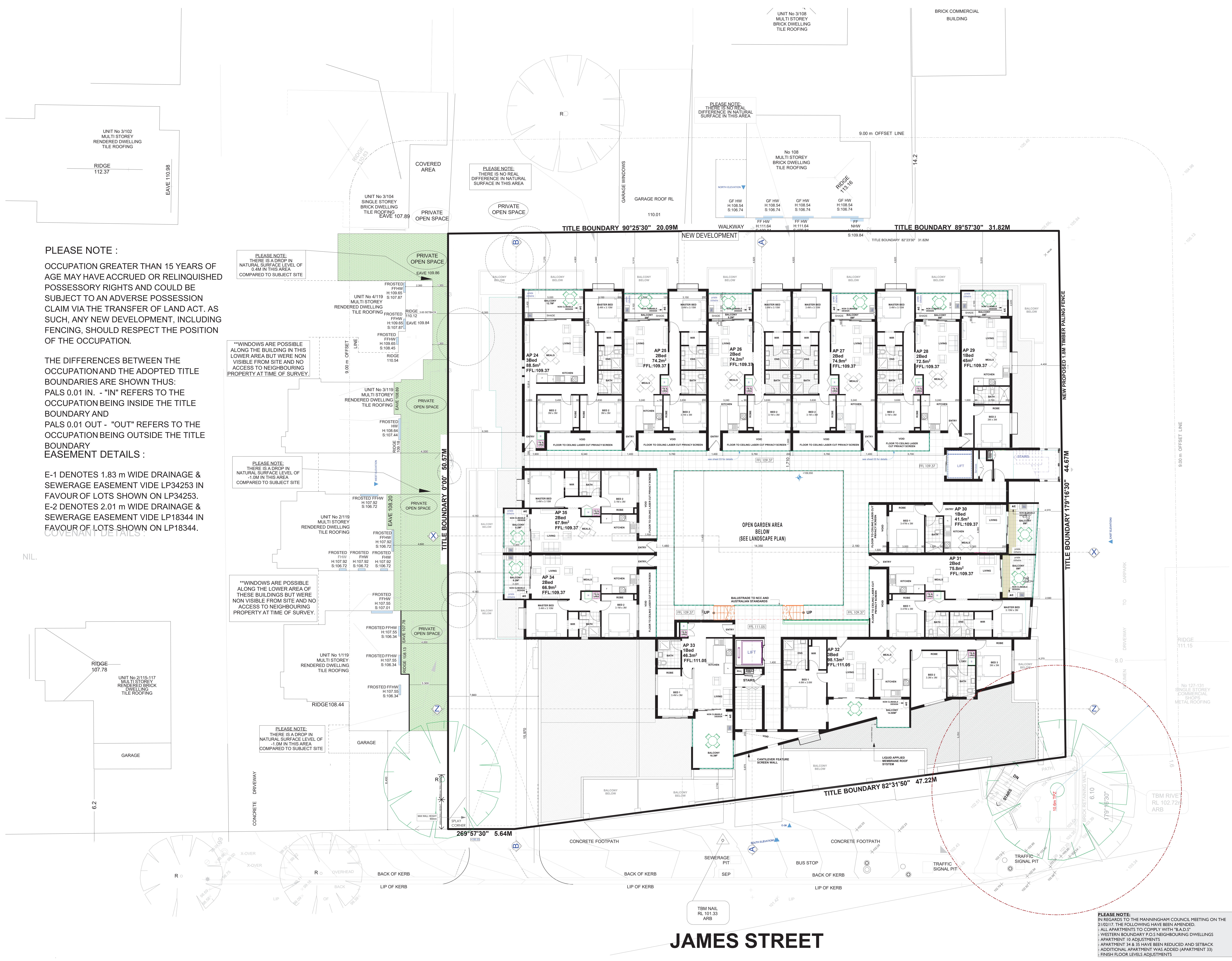
Layout ID
 TP.07



DATE 23/10/2017
Revision R

JAMES STREET

PLEASE NOTE:
 IN REGARDS TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17, THE FOLLOWING HAVE BEEN AMENDED:
 - UNITS 18 - 21 BROUGHT FORWARD
 - ANGLE THE SOUTHERN WALLS
 - ALL APARTMENTS TO COMPLY WITH "B.A.D.S"
 - WESTERN BOUNDARY P.O.S NEIGHBOURING DWELLINGS
 - ADJUSTMENTS TO APARTMENTS
 - APARTMENT 10, 22 AND 23 PUSHED BACK FROM WESTERN BOUNDARY SETBACK.
 - FINISH FLOOR LEVEL ADJUSTMENTS AND DESIGN



PLEASE NOTE :
 OCCUPATION GREATER THAN 15 YEARS OF AGE MAY HAVE ACCRUED OR RELINQUISHED POSSESSORY RIGHTS AND COULD BE SUBJECT TO AN ADVERSE POSSESSION CLAIM VIA THE TRANSFER OF LAND ACT. AS SUCH, ANY NEW DEVELOPMENT, INCLUDING FENCING, SHOULD RESPECT THE POSITION OF THE OCCUPATION.

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 PALS 0.01 IN. - "IN" REFERS TO THE OCCUPATION BEING INSIDE THE TITLE BOUNDARY AND
 PALS 0.01 OUT - "OUT" REFERS TO THE OCCUPATION BEING OUTSIDE THE TITLE BOUNDARY
EASEMENT DETAILS :

E-1 DENOTES 1.83 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP34253 IN FAVOUR OF LOTS SHOWN ON LP34253.
 E-2 DENOTES 2.01 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP18344 IN FAVOUR OF LOTS SHOWN ON LP18344.
COVENANT DETAILS :

PLEASE NOTE:
 THERE IS A DROP IN NATURAL SURFACE LEVEL OF 0.4M IN THIS AREA COMPARED TO SUBJECT SITE

**WINDOWS ARE POSSIBLE ALONG THE BUILDING IN THIS LOWER AREA BUT WERE NON VISIBLE FROM SITE AND NO ACCESS TO NEIGHBOURING PROPERTY AT TIME OF SURVEY.

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PLEASE NOTE:
 THERE IS A DROP IN NATURAL SURFACE LEVEL OF -1.0M IN THIS AREA COMPARED TO SUBJECT SITE

PLEASE NOTE:
 THERE IS NO REAL DIFFERENCE IN NATURAL SURFACE IN THIS AREA

PLEASE NOTE:
 THERE IS NO REAL DIFFERENCE IN NATURAL SURFACE IN THIS AREA

- LEGEND**
- ADJOINING DWELLINGS PRIVATE OPEN SPACE
 - SECLUDED PRIVATE OPEN SPACE
 - PRIVATE OPEN SPACE OPPORTUNITIES
 - CONCRETE DRIVEWAY
 - PERMEABLE CONCRETE DRIVEWAY
 - EXISTING TREE TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - PROPOSED TREE
 - 2000L RAINWATER TANK
 - AIR CONDITIONER
 - WATER METER
 - GAS METER
 - GARBAGE AND RECYCLING BINS
 - HOT WATER SYSTEM
 - BOLLARD LIGHT
 - CLOTHESLINE
 - FIX OPAQUE GLASS
 - RETAINING WALL
 - HABITABLE WINDOW
 - LAUNDRY TROUGH
 - HOT WATER SYSTEM

NOT FOR CONSTRUCTION

REV R (09/10/17)
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REV P (17/08/17)
 ISSUED IN RESPONSE TO MEETING WITH COUNCIL OFFICERS ON JUNE 14 2017

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Job Title
COMMERCIAL & RESIDENTIAL DEVELOPMENT
 121 - 125 JAMES STREET,
 TEMPLESTOWE, VICTORIA, 3108

Drawing Name
SECOND FLOOR PLAN

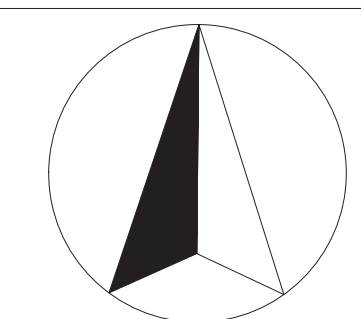
Drawing Status
TOWN PLANNING APPLICATION

DRAWN BY SM, AH & PB DATE 23/10/2017

Checked by SM

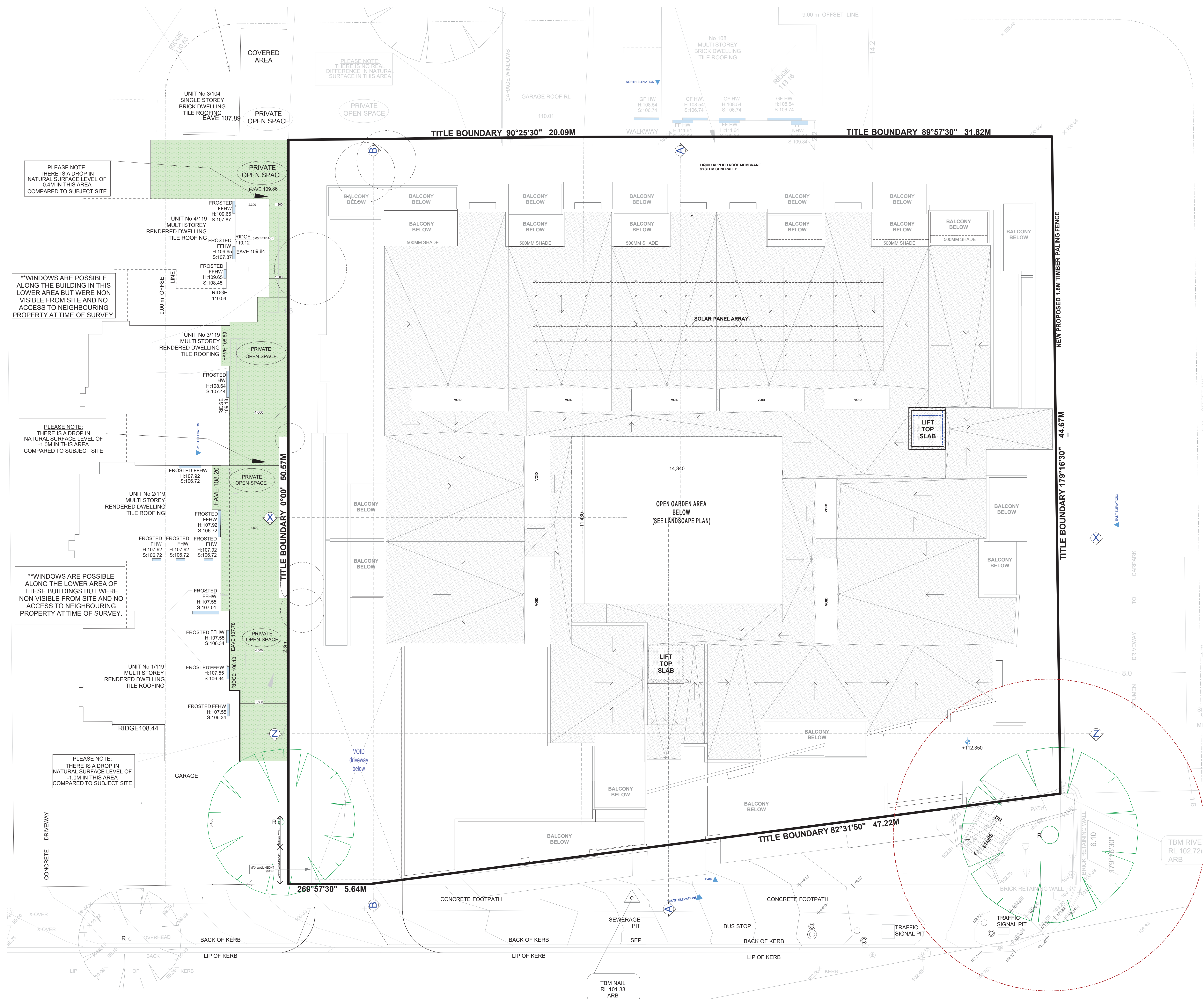
Drawing Scale
1:100 @ A0

Layout ID Status Revision
TP.08 TP R



PLEASE NOTE:
 IN REGARDS TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17, THE FOLLOWING HAVE BEEN APPENDED:
 - ALL APARTMENTS TO COMPLY WITH 5.8.4.2.5
 - WESTERN BOUNDARY P.O.S NEIGHBOURING DWELLINGS
 - APARTMENT 10 ADJUSTMENTS
 - APARTMENT 34 & 35 HAVE BEEN REDUCED AND SETBACK
 - ADDITIONAL APARTMENT WAS ADDED (APARTMENT 33)
 - FINISH FLOOR LEVELS ADJUSTMENTS

JAMES STREET



- LEGEND**
- ADJOINING DWELLINGS PRIVATE OPEN SPACE
 - SECLUDED PRIVATE OPEN SPACE
 - PRIVATE OPEN SPACE OPPORTUNITIES
 - CONCRETE DRIVEWAY
Light Grey
 - PERMEABLE CONCRETE DRIVEWAY
Dark Grey
 - EXISTING TREE TO REMAIN
See Arborist's Report
 - EXISTING TREE TO BE REMOVED
See Arborist's Report
 - PROPOSED TREE
 - 2000L RAINWATER TANK
 - AIR CONDITIONER
 - WATER METER
 - GAS METER
 - GARBAGE AND RECYCLING BINS
 - HOT WATER SYSTEM
 - BOLLARD LIGHT
 - CLOTHESLINE
 - FIX OPAQUE GLASS
 - RETAINING WALL
 - HABITABLE WINDOW
 - LAUNDRY TROUGH
 - HOT WATER SYSTEM

NOT FOR CONSTRUCTION

REV R (09/10/17)
ISSUED IN RESPONSE TO LAUREN SHELTON & GREG WHITEHOUSE MANNINGHAM CITY COUNCIL PLANNER REQUEST FOR FURTHER VARIATIONS EMAIL DATED: OCTOBER 4TH 2017

REV P (17/08/17)
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Email: mudherarchitects@gmail.com
Mobile Phone 0419 887 539 or 0414 451 921

Job Title
COMMERCIAL & RESIDENTIAL DEVELOPMENT
121 - 125 JAMES STREET,
TEMPELSTOWE, VICTORIA, 3108

Drawing Name

ROOF PLAN

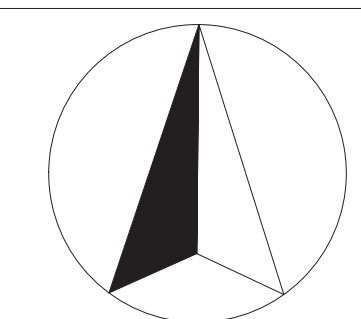
Drawing Status
TOWN PLANNING APPLICATION

DRAWN BY
SM, AH & PB

DATE 23/10/2017

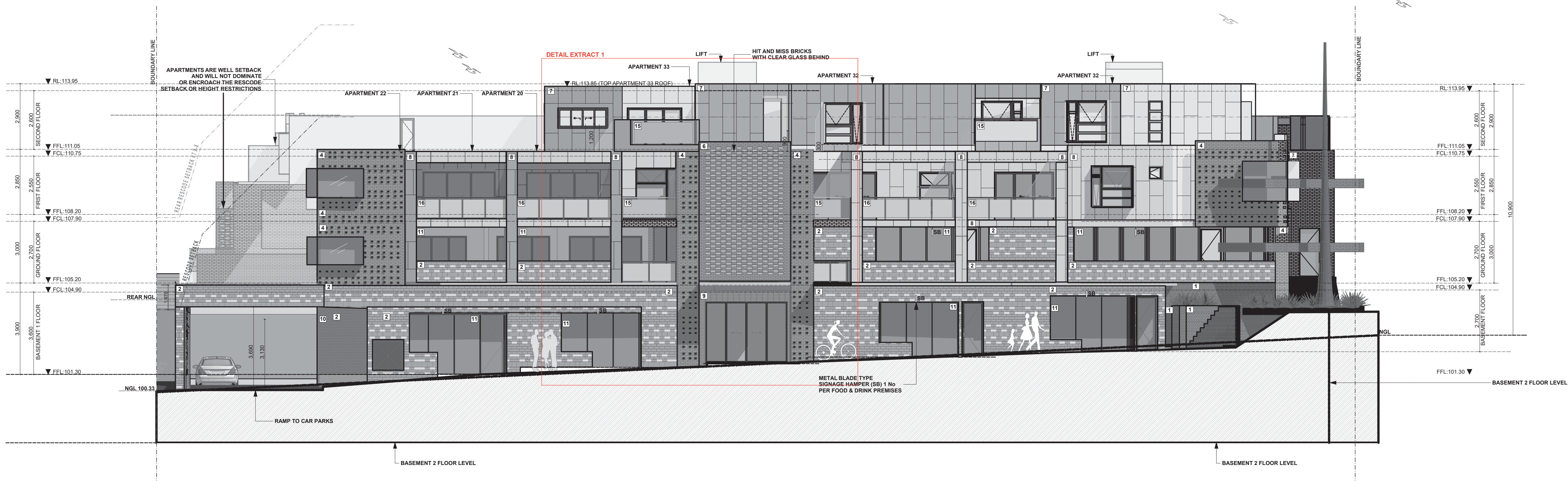
Checked by
SM

Drawing Scale
1:100 @ A0

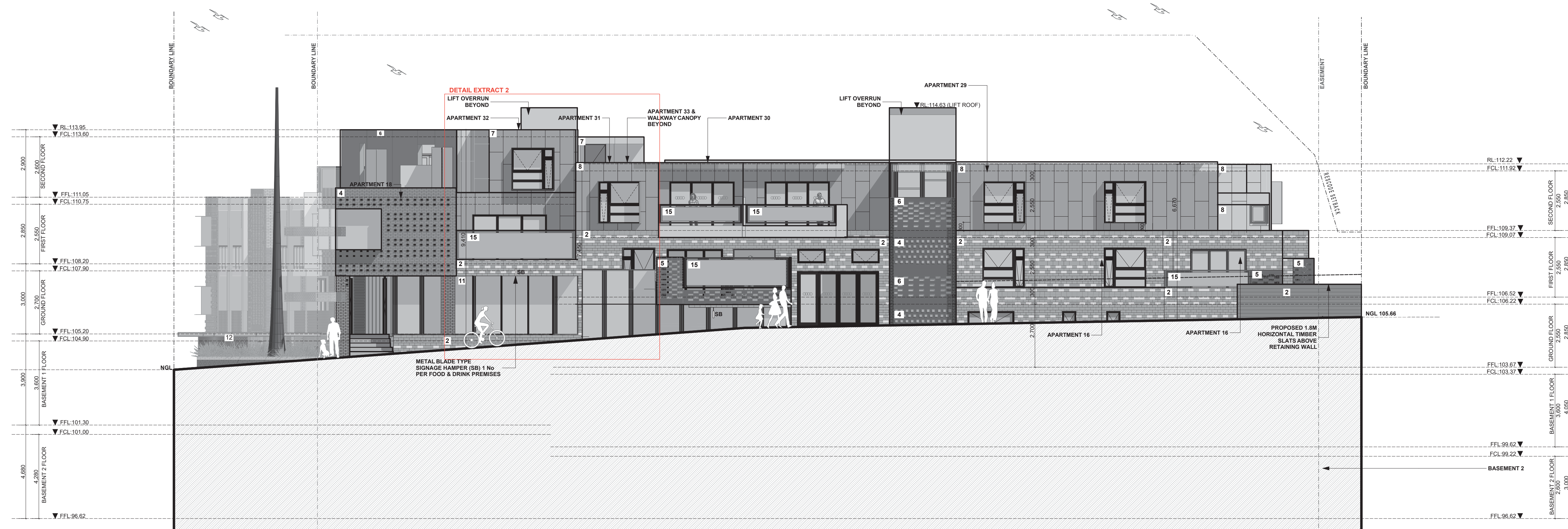


Layout ID Status Revision
TP.10 TP R

PLEASE NOTE:
IN REGARDS TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17, THE FOLLOWING HAVE BEEN AMENDED:
- ALL APARTMENTS TO COMPLY WITH "B.A.D.S"
- REMOVING AN APARTMENT ON THE NORTHERN BOUNDARY TO REDUCE VISUAL BULK
- COMMON AREA PROVIDED



**SOUTH ELEVATION
(JAMES STREET)**



EAST ELEVATION



**SOUTH ELEVATION
(JAMES STREET)
(NOT TO SCALE)**



**DETAIL EXTRACT 1 - SOUTH ELEVATION
SCALE 1:50**



**DETAIL EXTRACT 2 - EAST ELEVATION
SCALE 1:50**

BUILDING MATERIAL

1	RED COMMON BRICK (SAME AS EXISTING COLOUR)
2	BLUE AND ULTRA SMOOTH JAZZ BRICKS (TWO COLOURS, BLUE BEING THE DOMINANT COLOUR)
3	BLUE AND ULTRA SMOOTH JAZZ BRICKS (TWO COLOURS, BLUE BEING THE DOMINANT COLOUR)
4	DARK BLUE WITH HALF BLACK BRICKS PATTERN (TWO COLOURS, BLUE BEING THE DOMINANT COLOUR HALF BRICK AT 118MM, ARTICULATING DOWN OUT)
5	HIT AND MISS BRICKS
6	HIT AND MISS BRICKS WITH GLASS PANEL BEHIND
7	'LIGHT GREY SCYON' MATRIX WALL CLADDING 60MM VERTICALS
8	'MID GREY SCYON' MATRIX WALL CLADDING 60MM VERTICALS
9	LIGHT BLUE/TURQUOISE DECORATIVE CERAMIC TILES
10	LIME GREEN BRICK
11	ALUMINIUM CURTAIN WALL BLUE GLAZING
12	ALUMINIUM GLASS FEATURE ENTRY DOOR GREY GLAZING
13	ALUMINIUM DOOR & WINDOW FRAMES NATURAL ANODISED COLOUR, COLOURBOND 'DESKAY'
14	BOUNDARY TIMBER FENCE
15	CLEAR GLASS - WINDOW GLAZING / BALUSTRADE PANEL, F16 GLASS
16	F.O.G. F16 OPAQUE GLASS - WINDOW GLAZING / BALUSTRADE PANEL, F16 GLASS

LEGEND
SB SIGNAGE BLADE

NOTE:
WHILE CAREFUL CONSIDERATION IS GIVEN
TO THE NAMES OF COLOURS
AT THIS TIME OF SUBMISSION, COLOUR
NAMES CAN CHANGE AT THE TIME OF
CONSTRUCTION. WE WILL ENDEAVOUR TO
SUPPLY THE COLOUR SPECIFIED. SLIGHT
VARIATION MAY OCCUR. THIS OFFICE
TAKES NO RESPONSIBILITY FOR ANY
ALTERATIONS.

NOT FOR CONSTRUCTION

REV R (09/10/17) :
ISSUED IN RESPONSE TO LAUREN SHELTON &
GREG WHITEHOUSE MANNINGHAM CITY COUNCIL
PLANNER REQUEST FOR FURTHER VARIATIONS
EMAIL DATED, OCTOBER 4TH 2017

REV P (17/08/17) :
ISSUED IN RESPONSE TO MEETING WITH COUNCIL
OFFICERS ON JUNE 14 2017

**MUDHER
ARCHITECTS PTY LTD**

Surjeet S Mudher
Director/Registered Architect N°:12688

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Job Title
**COMMERCIAL & RESIDENTIAL
DEVELOPMENT**
121 - 125 JAMES STREET,
TEMPLESTOWE, VICTORIA, 3108

Drawing Name

ELEVATIONS (1)

Drawing Status
TOWN PLANNING APPLICATION

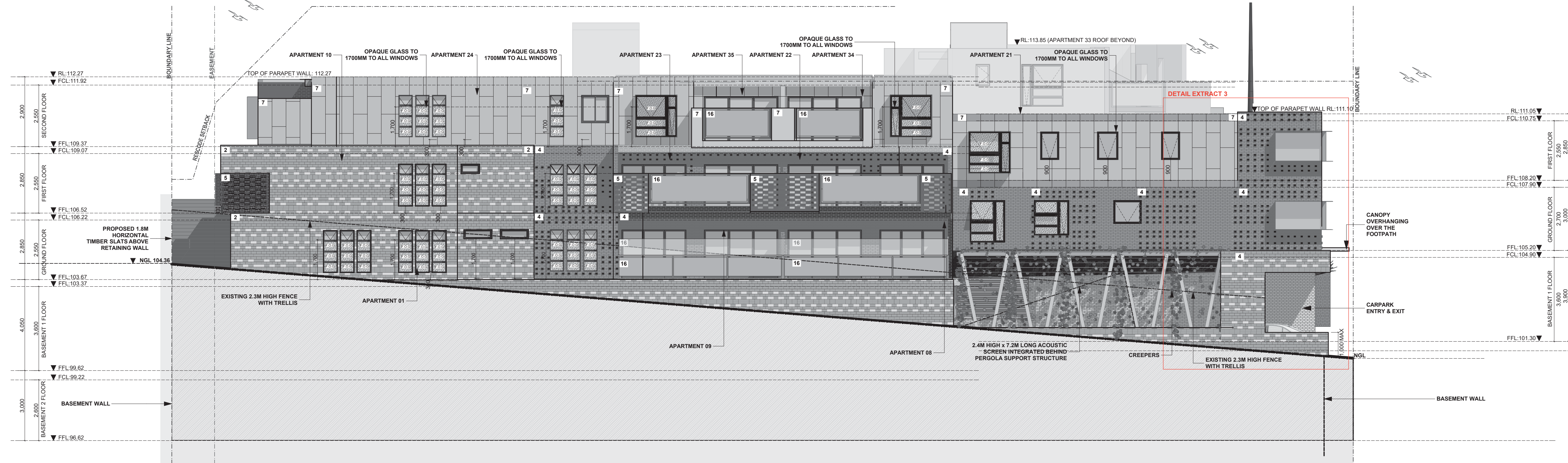
DRAWN BY
SM, AH & PB DATE 23/10/2017

Checked by
SM

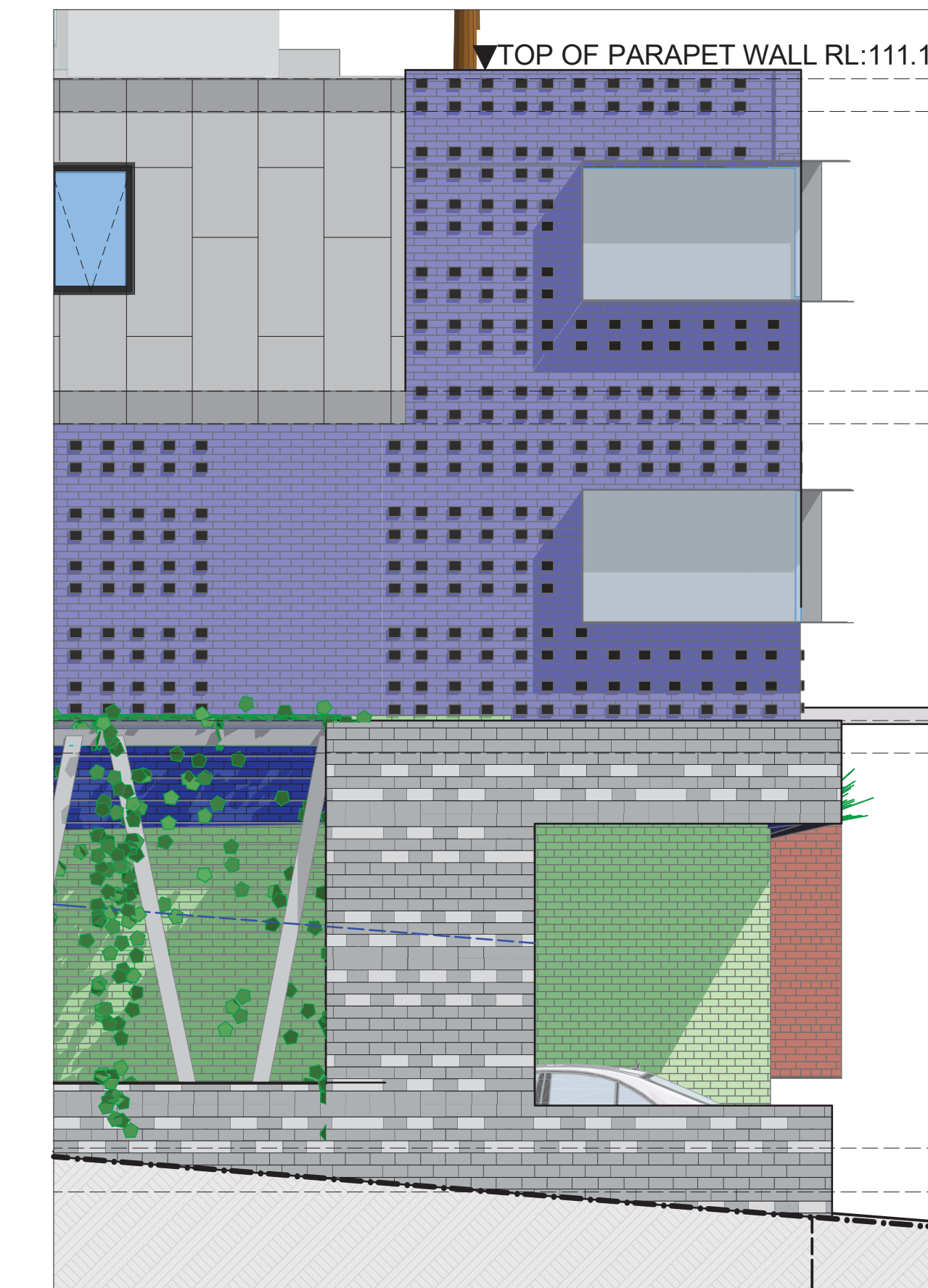
Drawing Scale
1:100, 1:50 @ A0

Layout ID Status Revision
TP.11.1 TP R

PLEASE NOTE:
IN REGARDS TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17, THE
FOLLOWING HAVE BEEN AMENDED:
- ALL ELEVATIONS HAVE BEEN AMENDED TO SUIT NEW PROPOSED DESIGN.
- FLOOR TO CEILING HEIGHTS AND DIMENSIONS ADDED
- AMENDMENTS TO MATERIALS AND COLOURS



WEST ELEVATION



DETAIL EXTRACT 3 - WEST ELEVATION
SCALE 1:50

BUILDING MATERIAL	
1	RED COMMON BRICK (SAME AS EXISTING COLOUR)
2	BLUE AND ULTRA SMOOTH JAZZ BRICKS (TWO COLOURS, JAZZ BEING THE DOMINATE COLOUR)
3	BLUE AND ULTRA SMOOTH JAZZ BRICKS (TWO COLOURS, BLUE BEING THE DOMINATE COLOUR)
4	DARK BLUE WITH HALF BLACK BRICKS PATTERN (TWO COLOURS, BLUE BEING THE DOMINATE COLOUR HALF BRICK AT 118MM, ARTICULATING DOWN OUT)
5	HIT AND MISS BRICKS
6	HIT AND MISS BRICKS WITH GLASS PANEL BEHIND
7	'LIGHT GREY SCYON' MATRIX WALL CLADDING 60MM VERTICALS
8	'MID GREY SCYON' MATRIX WALL CLADDING 60MM VERTICALS
9	LIGHT BLUE/TURQUOISE DECORATIVE CERAMIC TILES
10	LIME GREEN BRICK
11	ALUMINIUM CURTAIN WALL BLUE GLAZING
12	ALUMINIUM GLASS FEATURE ENTRY DOOR GREY GLAZING
13	ALUMINIUM DOOR & WINDOW FRAMES NATURAL ANODISED COLOUR 'COLORBOND' DESKAY
14	BOUNDARY TIMBER FENCE
15	CLEAR GLASS - WINDOW GLAZING / BALUSTRADE PANEL F16 GLASS
16	F.O.G. F16 OPAQUE GLASS - WINDOW GLAZING / BALUSTRADE PANEL F16 GLASS

LEGEND
SB SIGNAGE BLADE



NORTH ELEVATION

NOTE:
WHILE CAREFUL CONSIDERATION IS GIVEN TO THE NAMES OF COLOURS, AT THIS TIME OF SUBMISSION, COLOUR NAMES CAN CHANGE AT THE TIME OF CONSTRUCTION. WE WILL ENDEAVOUR TO SUPPLY THE COLOUR SPECIFIED. SLIGHT VARIATION MAY OCCUR. THIS OFFICE TAKES NO RESPONSIBILITY FOR ANY ALTERATIONS.

NOT FOR CONSTRUCTION

REV R (09/10/17)
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Job Title
COMMERCIAL & RESIDENTIAL DEVELOPMENT
121 - 125 JAMES STREET, TEMPLESTOWE, VICTORIA, 3108

Drawing Name

ELEVATIONS

Drawing Status
TOWN PLANNING APPLICATION

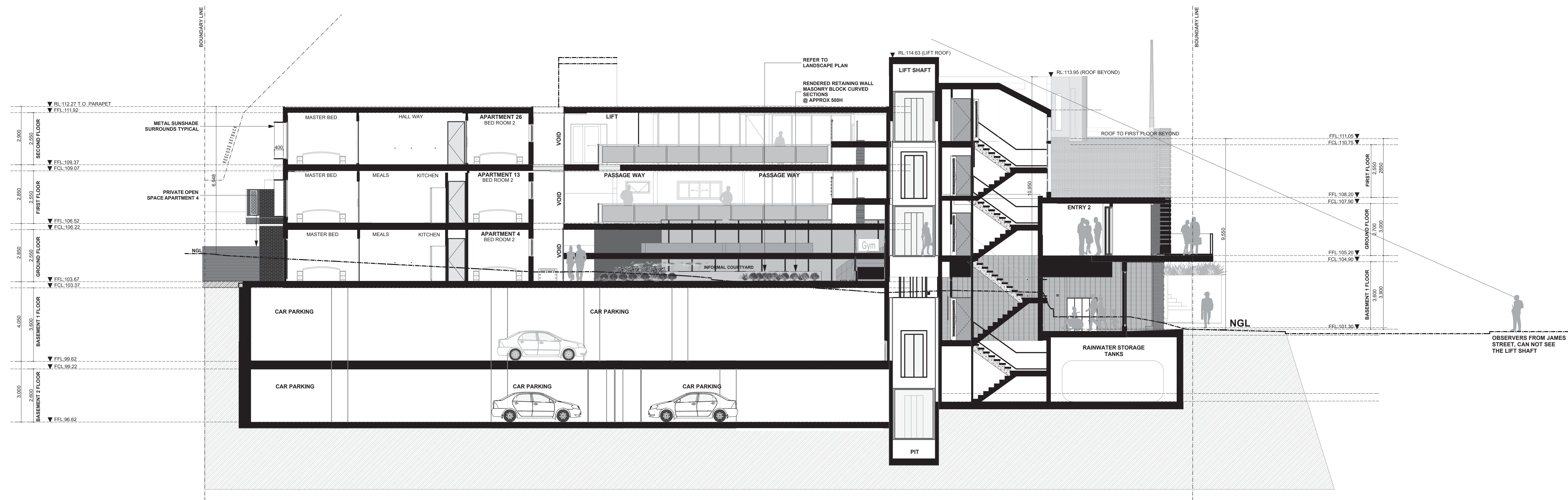
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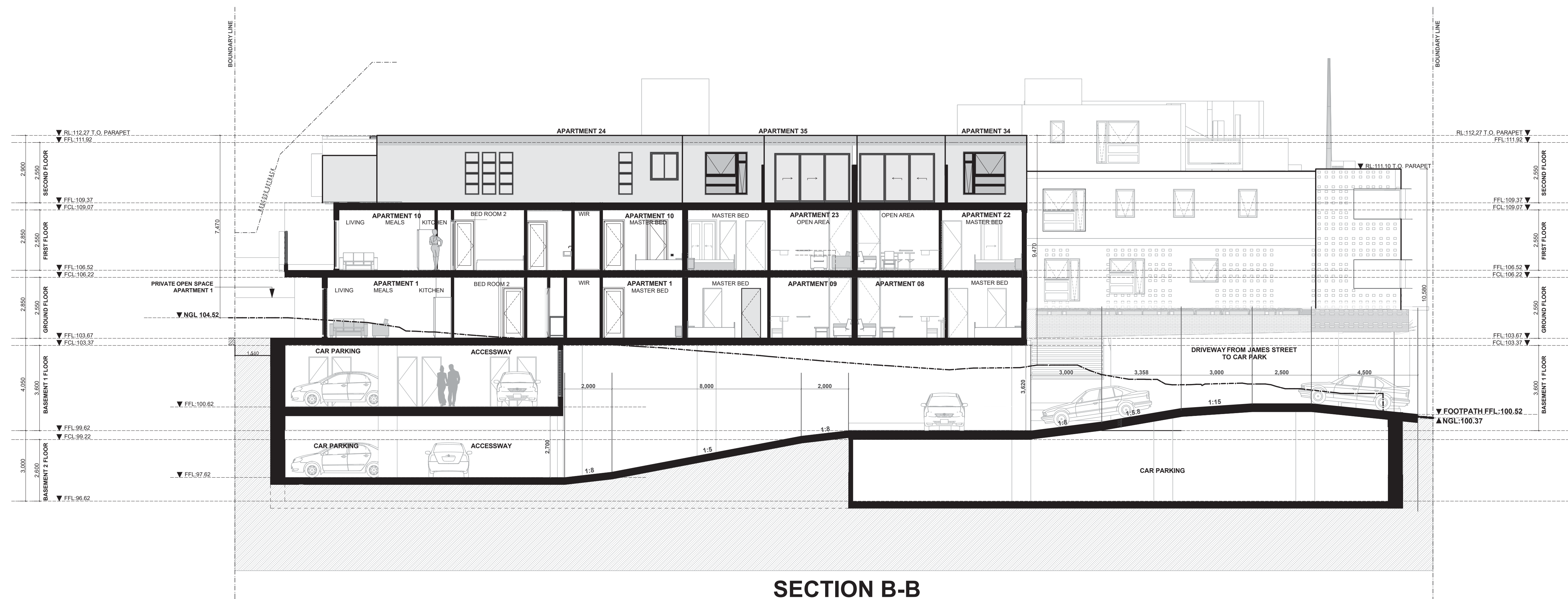
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Layout ID Status Revision
TP.11.2 TP R

PLEASE NOTE:
IN REGARDS TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17, THE FOLLOWING HAVE BEEN AMENDED:
- ALL ELEVATIONS HAVE BEEN AMENDED TO SUIT NEW PROPOSED DESIGN.
- FLOOR TO CEILING HEIGHTS AND DIMENSIONS ADDED
- AMENDMENTS TO MATERIALS AND COLOURS.



SECTION A-A



SECTION B-B

NOTE:
WHILE CAREFUL CONSIDERATION IS GIVEN TO THE NAMES OF COLOURS, COLOUR NAMES CAN CHANGE AT THE TIME OF CONSTRUCTION. WE WILL ENDEAVOUR TO SUPPLY THE COLOUR SPECIFIED. SLIGHT VARIATION MAY OCCUR. THIS OFFICE TAKES NO RESPONSIBILITY FOR ANY ALTERATIONS.

NOT FOR CONSTRUCTION

REV R (09/10/17)
ISSUED IN RESPONSE TO LAUREN SHELTON & GREG WHITEHOUSE MANNINGHAM CITY COUNCIL PLANNER REQUEST FOR FURTHER VARIATIONS EMAIL DATED: OCTOBER 4TH 2017

REV P (17/08/17)
ISSUED IN RESPONSE TO MEETING WITH COUNCIL OFFICERS ON JUNE 14 2017

MUDHER ARCHITECTS PTY LTD

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Drawing Name

SECTIONS A & B

Drawing Status
TOWN PLANNING APPLICATION

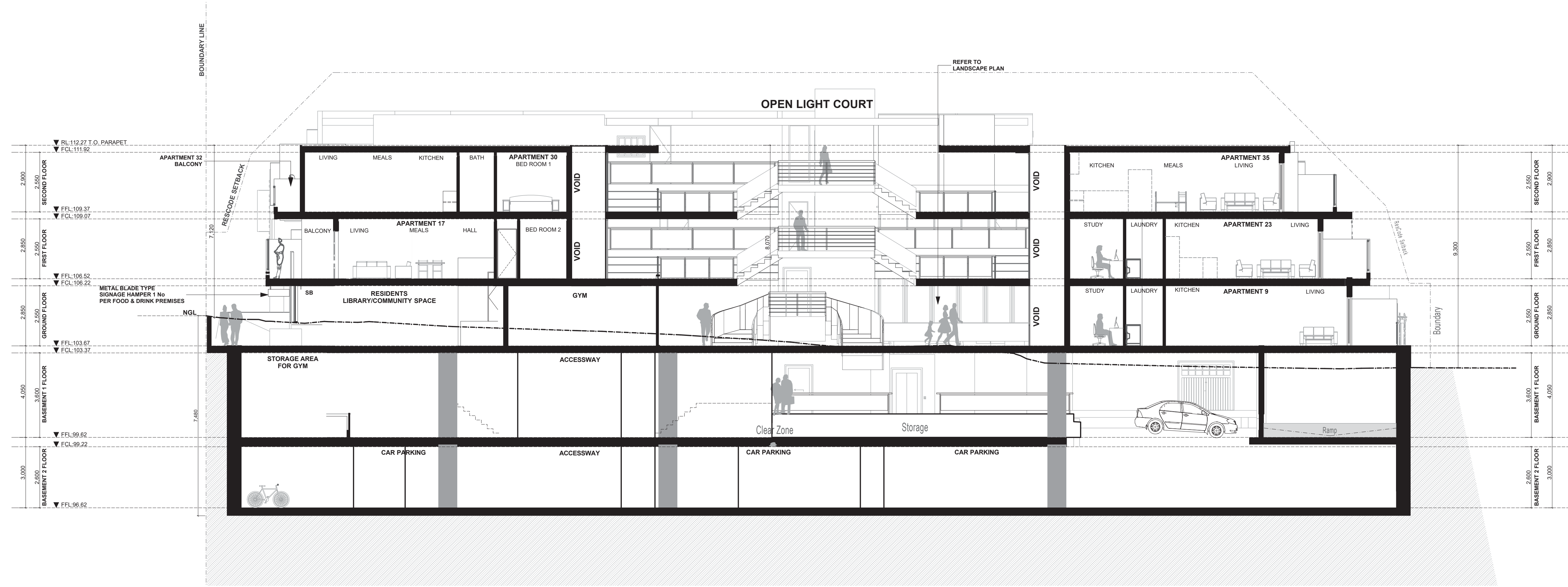
DRAWN BY SM, AH & PB DATE 23/10/2017

Checked by SM

Drawing Scale
1:100 @ A0

Layout ID Status Revision
TP.12.1 TP R

PLEASE NOTE:
IN REGARDS TO THE MANNINGHAM COUNCIL MEETING ON THE 21/02/17, THE FOLLOWING HAVE BEEN AMENDED:
- ALL SECTIONS HAVE BEEN AMENDED TO SUIT NEW PROPOSED DESIGN.
- FLOOR TO CEILING HEIGHTS AND DIMENSIONS ADDED



REV R (09/10/17) :
ISSUED IN RESPONSE TO LAUREN SHELTON &
GREG WHITEHOUSE MANNINGHAM CITY COUNCIL
PLANNER REQUEST FOR FURTHER VARIATIONS
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Drawing Name

SECTIONS X & Z

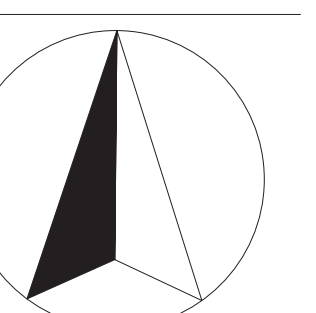
Drawing Status
TOWN PLANNING APPLICATION

DRAWN BY
SM, AH & PB

DATE 23/10/2017

Checked by
SM

Drawing Scale
1:100 @ A0



Layout ID Status Revision
TP.12.2 TP R

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Registered Restrictive Covenants & Section 173 Agreements

Section 61(4) of the Act

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

The subject land is not affected by any registered restrictive covenant.

Section 173 Agreement

The land is affected by a Section 173 Agreement. The Section 173 Agreement is not relevant to the proposal.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 22.05 Non-Residential Uses in Residential Areas
- Clause 32.08 General Residential Zone, Schedule 2
- Clause 43.02 Design and Development Overlay, Schedule 8
- Clause 52.06 Car Parking
- Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

Zone

Clause 32.08 General Residential Zone, Schedule 2

The purpose of the General Residential Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To implement neighbourhood character policy and adopted neighbourhood character guidelines.*
- *To provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot within this zone and Planning Permit is required for the uses of Convenience restaurant and shop and any other food and drink premises or retail space.

An assessment for buildings and works for two or more dwellings is required under the provisions of Clause 55 of the Manningham Planning Scheme.

The purpose of Clause 55 is generally to provide well designed dwellings with considered regard to internal amenity, while at the same time, maintaining the amenity and character of the locality, with particular emphasis on the amenity of adjoining residents.

The applicable decision guidelines for non-residential use and development are as follows:

- *Whether the use or development is compatible with residential use.*
- *Whether the use generally serves local community needs.*
- *The scale and intensity of the use and development.*
- *The design, height, setback and appearance of the proposed buildings and works.*
- *The proposed landscaping.*
- *The provision of car and bicycle parking and associated accessways.*
- *Any proposed loading and refuse collection facilities.*
- *The safety, efficiency and amenity effects of traffic to be generated by the proposal.*

Overlay(s)

Clause 43.02 Schedule 8 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To support two storey townhouse style dwellings with a higher yield within sub-precinct B and sub-precinct A, where the minimum land size cannot be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *Higher developments on the perimeter of sub-precinct A must be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the building.*
- *To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*

- To create a boulevard effect along Doncaster Road and Manningham Road by planting trees within the front setback that are consistent with the street trees.
- To encourage landscaping around buildings to enhance separation between buildings and soften built form.

Permit Requirement

- A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.
- A permit is not required to construct or extend one dwelling on a lot more than 500 square metres.

Building Height & Setbacks

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.
- A permit cannot be granted to vary the condition regarding the minimum land size and configuration specified in Table 2 to this Schedule.
- A permit cannot be granted to vary the Maximum Building Height specified in Table 2 to this Schedule. This does not apply to:
 - The rebuilding of a lawful building or works which have been damaged or destroyed.
 - A building which exceeds the specified building height for which a valid building permit was in effect prior of the introduction of this provision.
- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

Sub-Precinct	Maximum Building Height	Condition regarding minimum land size	Street Setback
DDO8-2 Sub-precinct A	11 metres provided the condition regarding minimum lot size is met. If the condition is not met, the maximum height is 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.	1800 square metres must be all the same sub-precinct. Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage	<p>For one dwelling on a lot:</p> <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 54.03-1 or 6 metres, whichever is the lesser. • Minimum side street setback is the distance specified in Clause 54.03-1. <p>For two or more dwellings on a lot or a residential building:</p> <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser. • Minimum side street setback is the

			distance specified in Clause 55.03-1.
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The other design requirements under this schedule to the overlay are included under Section 8 of this report.

A Planning Permit is required to construct a building or construct or carry out works under this overlay.

5.3 State Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01 Urban environment

Clause 15.01-1 Urban design

The objective of this policy is:

- *To create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.*

Clause 15.01-2 Urban design principles

The objective of this policy is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

Clause 15.01-4 Design for safety

The objective of this policy is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

Policy guidelines

Planning must consider as relevant:

- *Safer Design Guidelines for Victoria (Crime Prevention Victoria and Department of Sustainability and Environment, 2005).*

Clause 15.01-5 Cultural identity and neighbourhood character

The objective of this policy is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

Clause 15.02 Sustainable development

Clause 15.02-1 Energy and resource efficiency

The objective of this policy is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

Clause 16.01 Residential development

Clause 16.01-1 Integrated housing

The objective of this policy is:

- *To promote a housing market that meets community needs.*

Clause 16.01-2 Location of residential development

The objective of this policy is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

Clause 16.01-4 Housing diversity

The objective of this policy is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 16.01-5 Housing affordability

The objective of this policy is:

- *To deliver more affordable housing closer to jobs, transport and services.*

5.4 Local Planning Policy Framework (LPPF)

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

The site is within "Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads".

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The three sub-precincts within Precinct 2 consist of:

Sub-precinct – Main Road (DDO8-1) is an area where three storey (11 metres) 'apartment style' developments are encouraged on land with a minimum area of 1,800m². Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage. The area of 1,800m² must all be in the same sub-precinct. All development in the Main Road sub-precinct should have a maximum site coverage of 60 percent.

Higher developments on the perimeter of the Main Road sub-precinct should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct A or B, or other adjoining zone.

Sub-precinct A (DDO8-2) is an area where two storey units (9 metres) and three storey (11 metres) 'apartment style' developments are encouraged. Three storey, contemporary developments should only occur on land with a minimum area of 1800m². Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and

have a shared frontage. The area of 1800m² must all be in the same sub-precinct. In this sub-precinct, if a lot has an area less than 1800m², a townhouse style development proposal only will be considered, but development should be a maximum of two storeys. All development in Sub-precinct A should have a maximum site coverage of 60 percent.

Higher developments on the perimeter of sub-precinct A should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B, or other adjoining zone.

Sub-precinct B (DDO8-3) is an area where single storey and two storey dwellings only will be considered and development should have a maximum site coverage of 60 percent. There is no minimum land area for such developments.

The site is located within **Sub-Precinct – A**.

Development in Precinct 2 should:

- Provide for contemporary architecture;
- Achieve high design standards;
- Provide visual interest and make a positive contribution to the streetscape;
- Provide a graduated building line from side and rear boundaries;
- Minimise adverse amenity impacts on adjoining properties;
- Use varied and durable building materials;
- Incorporate a landscape treatment that enhances the overall appearance of the development;
- *Integrate car parking requirements into the design of buildings and landform.*

Clause 21.05-2 Housing

The relevant objectives of this policy are:

- To accommodate Manningham's projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*
- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality's population.*
- Promote the consolidation of lots to provide for a diversity of housing types and design options.
- Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

Clause 21.05-4 Built form and neighbourhood character

The objective of this policy is:

- *To ensure that residential development enhances the existing or preferred neighbourhood character of the residential character precincts as shown on Map 1 to this Clause.*

The strategies to achieve this objective include:

- *Require residential development to be designed and landscaped to make a positive contribution to the streetscape and the character of the local area.*
- *Ensure that where development is constructed on steeply sloping sites that any development is encouraged to adopt suitable architectural techniques that minimise earthworks and building bulk.*
- *Ensure that development is designed to provide a high level of internal amenity for residents.*
- *Require residential development to include stepped heights, articulation and sufficient setbacks to avoid detrimental impacts to the area's character and amenity.*

Local Planning Policy

Clause 22.05 (Non-residential uses in residential areas) applies to non-residential uses in a Residential Growth Zone, General Residential Zone, Neighbourhood Residential Zone and Low Density Residential Zone. The policy seeks to balance the need for residents to access services in residential locations, while ensuring that residential amenity is not adversely affected. The policy encourages a range of non-residential uses to be clustered together, to service local community needs, reduce car dependency and provide opportunities for social interaction.

Clause 22.08 (Safety through urban design) applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 (Access for disabled people) also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Particular Provisions

Clause 52.06 (Car Parking) is relevant to this application. Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings
- 1 visitor space to every 5 dwellings for developments of 5 or more dwellings

Clause 52.06-8 outlines various design standards for parking areas that should be achieved.

Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road

The purpose of this clause is:

- *To ensure appropriate access to identified roads.*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Road Zone, Category 1.

Clause 52.34 Bicycle Facilities

Clause 52.03 sets out requirements for bicycle parking. The retail and residential uses attract differing provisions. An assessment against this clause is provided within the Assessment Section of this report

Clause 55 Two more dwellings on a lot and residential buildings

The development of two or more dwellings on a lot must meet the requirements of this clause. An assessment against this clause is provided within the Assessment Section of this report.

General Provisions

Clause 65 (Decision Guidelines) outlines that before deciding on an application, the responsible authority must consider, as appropriate:

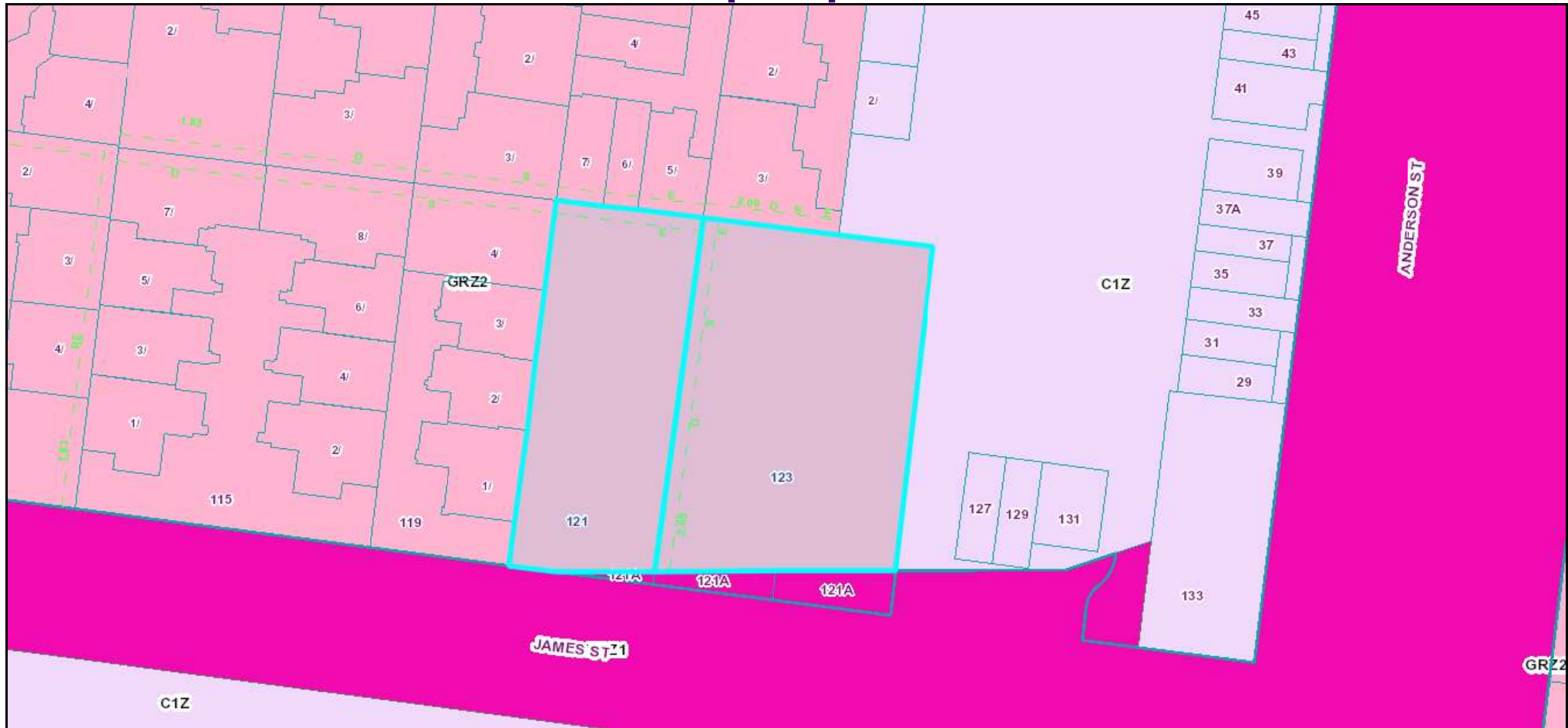
- The State Planning Policy Framework and the Local Planning Policy *Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*

5.5 OTHER RELEVANT LEGISLATION AND POLICY

The following are relevant documents referenced in the Scheme that are particularly applicable to this application:

- (a) *Templestowe Village Structure Plan (Manningham City Council, 2012 - revised 2013);*
- (b) *Better Apartment Design Standards (Environment, Land, Water, Water and Planning (DELWP and Office of the Victorian Government Architect (OVGA), December 2016 - to come into effect March 2017); and*
- (c) *Design Guidelines for Higher Density Residential Development (Department of Sustainability and Environment, 2004).*

Map Report

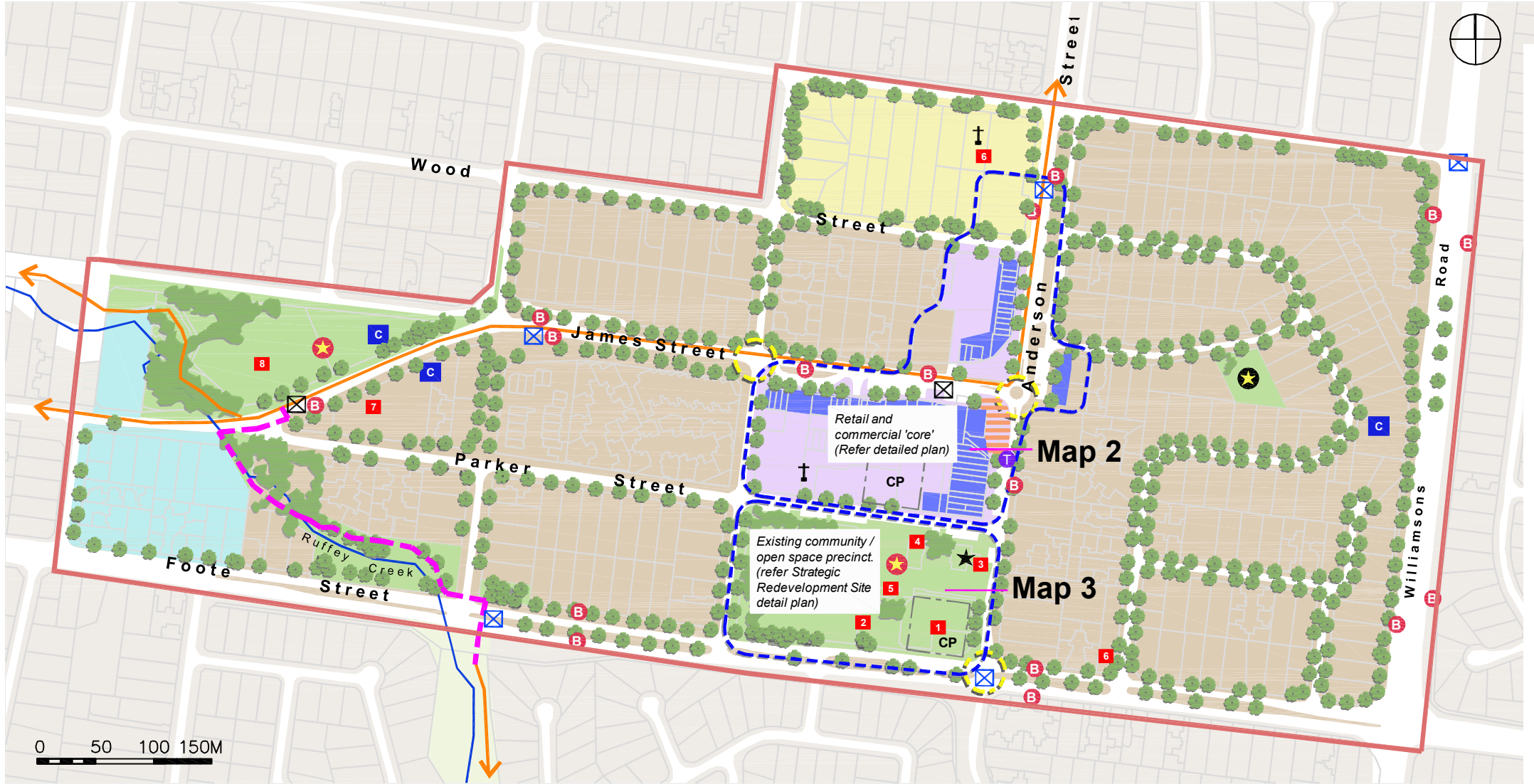


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Map 1: Structure Plan Boundary



LEGEND

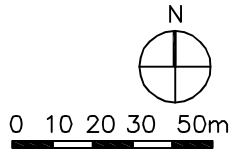
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|--|-------------------------------|--|---|--|-------------------------|
| | Study area | | Increased residential densities (No change proposed) | | Child care / pre-school |
| | Key activity centre precincts | | Existing lower density residential (No change proposed) | | Public Hall |
| | Village entrances | | Existing residential zone (No change proposed) | | Existing playspace |
| | Civic plaza | | Business zoned properties | | Churches |
| | Existing open space | | | | |

- | | |
|--|----------------------|
| | Basketball stadium |
| | Netball pavilion |
| | Mechanics institute |
| | Templestowe RSL |
| | Heritage schoolhouse |
| | Heritage churches |
| | Leisure centre |
| | Bowling club |

ACTIONS

- | | | | |
|--|---|--|--------------------------------------|
| | Future shop-top residential / office | | New playspace |
| | Car parking future development site | | Continued street tree planting |
| | New / upgraded bus stops | | Strengthen existing shared path link |
| | Upgraded pedestrian crossings | | Future shared path section |
| | New pedestrian crossings (subject to Vicroads approval) | | New taxi zone |

Map 2: Retail and commercial core



Encourage property owners to upgrade existing privately-owned carpark. Opportunity exists to reorientate the carpark to achieve increased parking spaces

Encourage property owners to upgrade existing staff toilets to allow for future public use

New on-road shared path line marking

New centre identification signage

Explore opportunities for improved / additional on-street carparking

Encourage further development infill and site consolidation while protecting key pedestrian linkages

Explore opportunities for a joint venture public/private supermarket redevelopment that provides a carparking solution using the existing Council-owned surface carpark. Increase building setback to Parker Street provide for a widened pedestrian way and feature landscaping

Encourage property owners to upgrade existing privately-owned carpark. Opportunity exists to reorientate the carpark to achieve increased parking spaces

Encourage property owners to upgrade existing staff toilets to allow for future public use

Upgrade existing bus stops throughout retail and commercial core

Encourage property owners to refurbish / replace existing centre identification sign

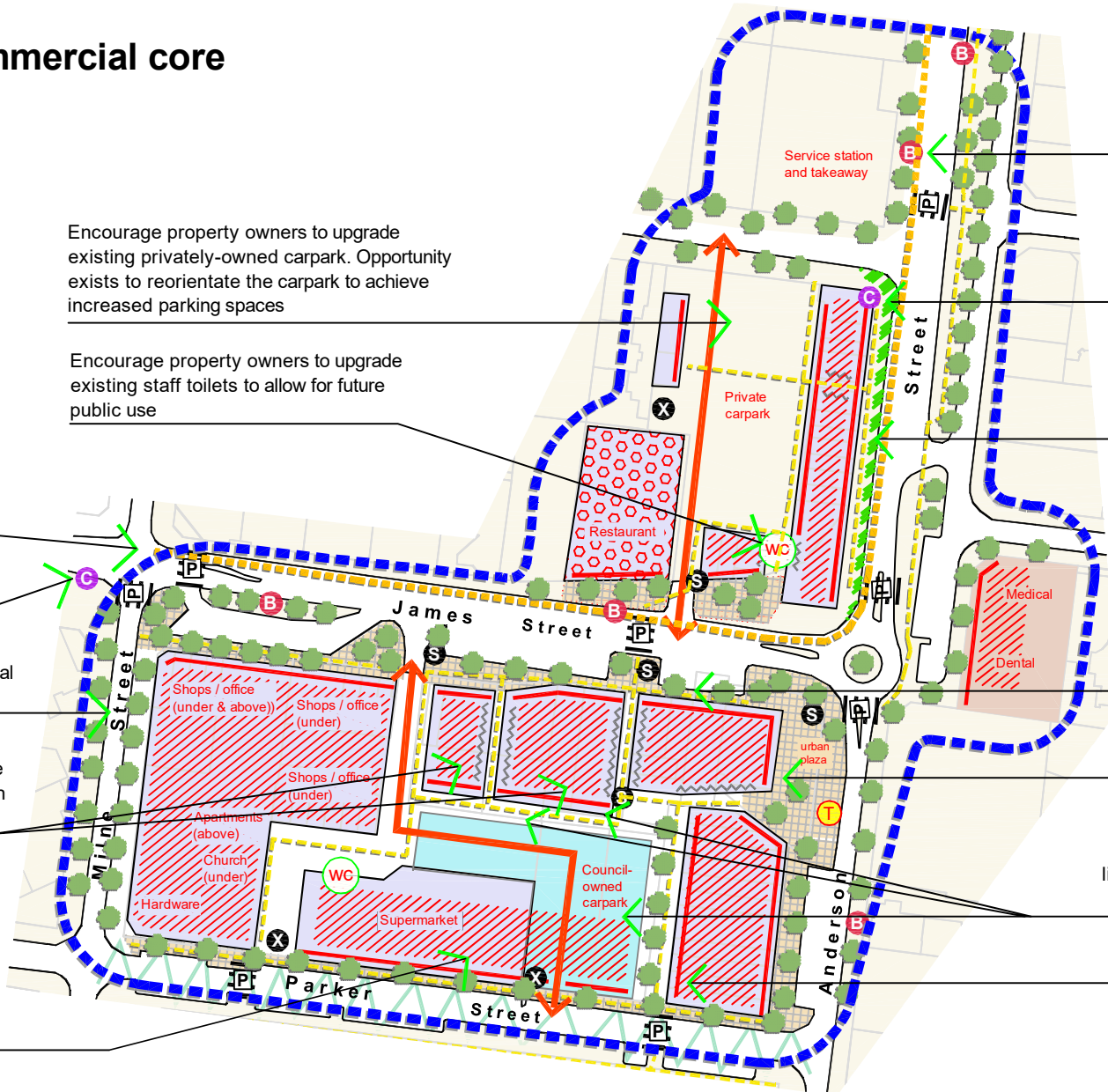
Undertake landscape improvements to existing embankment. Works to incorporate a coordinated promotional signage solution to replace existing A-frames.

Widen existing pedestrian way to provide improved opportunity for outdoor dining and product display. Consider provision of angled parking.

Proposed location for a taxi pick-up / drop-off zone

Protect rear shop access, pedestrian desire lines and key view lines as part of any future redevelopment of any infill development.

Encourage second storey shop-top residential / office



LEGEND

- Precinct boundary
- Existing business zoned properties (No change proposed)
- Existing residential zone (No change proposed)
- Enhanced pedestrian connection between precincts

ACTIONS

- Activated street frontages
- Laneway activation
- Civic plaza and widened pedestrian promenade
- Proposed business zoned properties (Eastern Court)
- Future shop-top residential / office

- Public car parking future development site
- Primary vehicle circulation
- New taxi zone
- Future on-road shared path link
- Strengthened pedestrian link

- Centre directory / wayfinding signage
- Improved centre identification signage
- New / upgraded bus stops
- New / upgraded pedestrian crossings (Subject to Vicroads approval)

- Reinforce street tree planting to enhance streetscape character
- Improved bin enclosure presentation
- New / improved public toilets
- Landscape improvements incorporating coordinated promotional signage to replace A-frames