

MANNINGHAM

## Ordinary Meeting of the Council

# MINUTES

<b>Date:</b>	<b>Tuesday, 28 May 2019</b>
<b>Time:</b>	<b>7:00pm</b>
<b>Location:</b>	<b>Council Chamber, Civic Centre 699 Doncaster Road, Doncaster</b>

## INDEX

<b>1</b>	<b>OPENING PRAYER AND STATEMENTS OF ACKNOWLEDGEMENT .....</b>	<b>3</b>
<b>2</b>	<b>APOLOGIES AND REQUESTS FOR LEAVE OF ABSENCE .....</b>	<b>3</b>
<b>3</b>	<b>PRIOR NOTIFICATION OF CONFLICT OF INTEREST.....</b>	<b>3</b>
<b>4</b>	<b>CONFIRMATION OF MINUTES.....</b>	<b>4</b>
<b>5</b>	<b>PRESENTATIONS.....</b>	<b>4</b>
5.1	Condolence Motion - Mr Murray (John) McMahon .....	4
<b>6</b>	<b>PETITIONS .....</b>	<b>4</b>
6.1	Smoking outside restaurants at Macedon Plaza Templestowe Lower (Heide Ward).....	4
<b>7</b>	<b>PUBLIC QUESTION TIME.....</b>	<b>5</b>
7.1	Mr Del Monaco - Bulleen.....	5
7.2	Mr Biondo - Bulleen .....	5
7.3	Mr Murray - Bulleen .....	5
7.4	Ms Lysikatos - Templestowe.....	6
7.5	Ms Racolini - Templestowe .....	7
7.6	Mr Ralph - Templestowe .....	7
<b>8</b>	<b>ADMISSION OF URGENT BUSINESS .....</b>	<b>7</b>
8.1	Urgent Business .....	7
<b>9</b>	<b>PLANNING PERMIT APPLICATIONS.....</b>	<b>8</b>
9.1	Planning Application PLN18/0635 23-29 Parker Street, Templestowe Lower for the installation and use of the land for an additional ten electronic gaming machines, to a total of 60 machines.....	9
9.3	Planning Application PLN18/0304 at 15 Glendale Avenue, Templestowe for the construction of eight, two-storey dwellings .....	40
9.2	Planning Application PLN18/0571 at 674-680 Doncaster Road, 2 Short Street, 14, 14A, 16 and 18 Hepburn Road, Doncaster for the partial demolition of the existing building, use and development of the land for a 13-storey mixed-use building comprising 136 dwellings, place of assembly, child care centre, food and drink premises and office, reduction in standard car parking requirements and the creation and alteration of access to a road in a Road Zone, Category 1.....	94
9.4	Planning Application PLN18/0452 at 312-316 Springvale Road, Donvale for the use and development of the land for a retirement village with associated facilities, basement car parking, tree removal including native vegetation, and altered access to a road in a Road Zone, Category 1 .....	179
9.5	Planning Application PLN18/0687 at 21-23 Clay Drive, Doncaster for the use and development of a three-storey building comprising fifteen (15) dwellings and a child care centre.....	266
<b>10</b>	<b>CITY PLANNING &amp; COMMUNITY .....</b>	<b>326</b>
10.1	Waldau Precinct Masterplan .....	326
10.2	Local Government Power Purchasing Agreement (LG PPA).....	447



---

**11 CITY SERVICES .....453**

**12 SHARED SERVICES .....453**

**13 CHIEF EXECUTIVE OFFICER.....454**

13.1 Manningham Quarterly Report, Q3 (Jan-March) 2019 ..... 454

13.2 Documents for Sealing..... 465

13.3 Record of Assembly of Councillors ..... 466

**14 URGENT BUSINESS .....471**

14.1 Suburban Rail Loop Advocacy..... 471

14.2 Appointment of Authorised Officer - Planning and Environment Act 1987 .....472

**15 COUNCILLORS’ QUESTION TIME .....475**

15.1 Question - Councillor Gough..... 475

15.2 Question - Councillor Gough..... 475

15.3 Question - Councillor Haynes ..... 476

15.4 Question - Councillor Chen ..... 476

**16 CONFIDENTIAL REPORTS .....476**

16.1 Maternal and Child Health Service Model - Future Directions ..... 477

---

**MANNINGHAM CITY COUNCIL  
MINUTES OF THE ORDINARY MEETING OF THE COUNCIL  
HELD ON 28 MAY 2019 AT 7:00PM  
IN COUNCIL CHAMBER, CIVIC CENTRE  
699 DONCASTER ROAD, DONCASTER**

---

The meeting commenced at 7:04pm.

**PRESENT:**

- Councillor Paula Piccinini (Mayor)**
- Councillor Anna Chen (Deputy Mayor)**
- Councillor Andrew Conlon**
- Councillor Dot Haynes**
- Councillor Mike Zafiroopoulos**
- Councillor Geoff Gough**
- Councillor Paul McLeish**
- Councillor Michelle Kleinert**
- Councillor Sophy Galbally**

**OFFICERS PRESENT:**

- Chief Executive Officer, Mr Andrew Day**
- Director City Planning & Community, Mr Angelo Kourambas**
- Director City Services, Mr Leigh Harrison**
- Acting Director Shared Services, Mr Kevin Ayre**
- Corporate Counsel and Group Manager Governance & Risk, Mr Andrew McMaster**
- Group Manager Approvals and Compliance, Niall Sheehy**

## **1 OPENING PRAYER AND STATEMENTS OF ACKNOWLEDGEMENT**

The Mayor read the Opening Prayer & Statements of Acknowledgement.

## **2 APOLOGIES AND REQUESTS FOR LEAVE OF ABSENCE**

There were no apologies or requests for leave of absence.

## **3 PRIOR NOTIFICATION OF CONFLICT OF INTEREST**

The Chairperson asked if there were any written disclosures of a conflict of interest submitted prior to the meeting and invited Councillors to disclose any conflict of interest in any item listed on the Council Agenda.

Councillor Piccinini advised that she had submitted two written disclosures of conflict of interest for this Council Meeting. They related to:

- Item 9.1 - Planning Application PLN18/0635 at 23-29 Parker Street, Templestowe Lower, the interest being an indirect interest due to close association; and
- Item 9.3 - Planning Application PLN18/0304 at 15 Glendale Avenue, Templestowe, the interest being an indirect interest due to close association.

## 4 CONFIRMATION OF MINUTES

### COUNCIL RESOLUTION

**MOVED:** CR SOPHY GALBALLY  
**SECONDED:** CR MIKE ZAFIROPOULOS

**That the Minutes of the Ordinary Meeting of Council held on 23 April 2019 be confirmed.**

**CARRIED**

## 5 PRESENTATIONS

### 5.1 Condolence - Mr Murray (John) McMahon

The Mayor noted the recent passing of Mr Murray (John) McMahon on 16 April 2019. Mr McMahon was a long standing resident of Warrandyte who was an active and passionate advocate for his local community. Mr McMahon made a significant contribution to Warrandyte as the founder and Chairman of Information Warrandyte and also served on the Board of Community Information and Support Victoria. The Mayor extended Councils' sympathies to Mr McMahon's family at this difficult time.

## 6 PETITIONS

### 6.1 Smoking outside restaurants at Macedon Plaza Templestowe Lower (Heide Ward)

### COUNCIL RESOLUTION

**MOVED:** CR GEOFF GOUGH  
**SECONDED:** CR MICHELLE KLEINERT

**That the joint letter with 32 signatories objecting to smoking outside the cafes and restaurants at Macedon Plaza in Templestowe Lower be received and referred through to the appropriate Officer for consideration.**

**CARRIED**

## 7 PUBLIC QUESTION TIME

### 7.1 Mr Del Monaco - Bulleen

- Q1 Is Council aware of this [potential restrictions on redeveloping within the floodplain] and if so what will it do to make sure that the North East Link Authority, Melbourne Water and other agencies support solutions developing in any flood plains so that sporting users can be protected?

*The Director of City Planning and Community, Mr Angelo Kourambas thanked Mr Del Monaco for his question and advised that Council was aware and is actively investigating the opportunities to maximise the use of land for active recreation in accordance with Council's 'Yarra River Corridor Concept Plan' with all the key stakeholders including Melbourne Water. He noted that the draft plan, provides for new active recreation areas on sites along Bulleen Road and Templestowe Road consistent with Council's Concept Plan. He further advised that Council will be making a submission to the draft Bulleen Land Use Framework Plan, which will seek to reinforce Council's Concept Plan.*

### 7.2 Mr Biondo - Bulleen

- Q1 Will Council continue strongly advocating for balanced development within areas that may flood or nearby so offsets and upgrades facilities lost by the North East Link project can occur in the future?

*The Director of City Planning and Community, Mr Angelo Kourambas thanked Mr Biondo for his question and assured Mr Biondo that Council is actively investigating the opportunities to maximise the use of land for active recreation in accordance with Council's 'Yarra River Corridor Concept Plan' with all the key stakeholders including Melbourne Water. The draft plan, as Council sees it, provides for new active recreation areas on sites along Bulleen Road and Templestowe Road consistent with Council's Concept Plan. Council will be making a submission to the draft Bulleen Land Use Framework Plan, which will seek to reinforce Council's Concept Plan.*

### 7.3 Mr Murray - Bulleen

- Q1 Is Council aware the North East Link authority now propose to relocate the Yarra Junior Football League out of Bulleen Park, as well as wanting to move us out to Ivanhoe? Because this is so far for many of our clubs, two thirds of whom are south of the river, does Manningham Council realise that this would likely contribute to the breakup of our entire football league, and be a major loss to the kids and families of Manningham?

*The Directory City Planning and Community, Mr Angelo Kourambas thanked Mr Murray for his question and advised the Council are aware of the proposed relocation of the Yarra Junior Football Club to potential locations in the City of Banyule as either temporary or permanent relocations. Mr Kourambas noted that Mr Murray had met with Council Officers and the Mayor on Monday 27 May 2019. Discussed in the meeting was that Council is working with North East Link Project and Banyule Council on possible options and are aware of the implications on the League and the club's preferences.*

- Q2 Will Council be prepared to work closely with us and the Manningham soccer community, including the Veneto Club and FC Bulleen Lions and Templestowe United (who have similar objectives to us), to achieve our relocation site and their goals, and urgently push the State Government to transform it into a sports and recreation driven precinct?

*The Director of City Planning and Community, Mr Angelo Kourambas advised that Council is actively working with all sporting clubs affected by the North East Link Project, in line with Council's 'Yarra River Corridor Concept Plan'. Mr Kourambas noted that Mr Murray was present at the meeting held with all affected clubs on Monday 27 May 2019, to help inform master planning of Bulleen Park and other identified sites. Council's aim is to accommodate affected soccer facilities at a new site at 35-59 Templestowe Road (the existing Bulleen Golf Driving Range site), and are working closely with North East Link Project and the State Government to seek the best possible outcome for all effected clubs and the City's future recreation needs.*

*The Mayor, Councillor Piccinini also noted that she had recently met with Mr Murray to discuss a range of issues regarding the North East Link Proposal, including potential relocation options for the YJFL as discussed between Mr Murray and the NELP.*

Councillor Piccinini stated:

*"Councillors, the following questions relate to Item 9.3 on tonight's Agenda. As disclosed I have a conflict of interest in Item 9.3, being an indirect interest due to close association. I will be leaving the meeting room for the duration of these questions. Councillor Chen, as Deputy Mayor, could you please chair the meeting in my absence."*

Having disclosed her conflict of interest, Councillor Piccinini left the meeting at 7:22pm prior to the following questions being asked and returned to the meeting at 7:35pm after a response to question 7.6 had been provided. Cr Piccinini took no part in the discussion of these questions.

Councillor Chen assumed the chair.

#### **7.4 Ms Lysikatos - Templestowe**

- Q1 The residents of Templestowe situated on Glendale Avenue, Atkinson Street, Hakea Street, Verbena Street and Hovea Street to be re-considered for re-zoning Council to submit amendment to Planning Scheme. Will Council consider this given the large volume of residents objecting to high rise in this area?

*The Director of City Planning and Community, Mr Angelo Kourambas thanked Ms Lysikatos for her question. Mr Kourambas responded that Council is the responsible planning authority who can consider re-zoning, however, from an Officer's perspective our advice would be that the planning in Manningham needs to be consistent with Plan Melbourne and the State Government Planning Regulations which encourage appropriate and well-designed higher density development in and around activity centres and along the principal public transport network. He noted that this area fits those requirements, which is why this area has been earmarked for some time for change in the form of the development before Council. Mr Kourambas advised that Council could consider this however in his opinion it is unlikely it would be successful, as this would be contrary to State Planning Policy and regulations and would not likely be supported by the Minister for Planning.*

## 7.5 Ms Racolini - Templestowe

- Q1 The development at 15 Glendale Avenue has just 1 visitor car park because of Glendale's proximity to public transport. Can MCC please provide the evidence to show people use public transport to visit friends and family on weekends, after hours and public transport?

*The Director of City Planning and Community, Mr Angelo Kourambas thanked Ms Racolini for her question and responded that the parking requirements are a State Government requirement. He advised that Council has no capacity to mandate visitor parking in those locations along the principal public transport network. Mr Kourambas further advised that this cannot be a reason for Council to not support the application as the decision would not be supported at VCAT.*

## 7.6 Mr Ralph - Templestowe

- Q1 What is Council's response to our objection to overdevelopment?

*The Group Manager Approvals and Compliance, Mr Niall Sheehy thanked Mr Ralph for his question and advised that the proposal satisfies planning policy in terms of both the physical and policy context of the site. Mr Sheehy acknowledged Mr Ralph's concerns and views regarding on street parking, however, the proposal satisfies both the policy and planning scheme requirements. Mr Sheehy further responded that Council had recently endorsed a Car Parking Policy which will preclude these dwellings from obtaining approval to park on the street in the future should there be a congestion issue that requires attention.*

## 8 ADMISSION OF URGENT BUSINESS

### 8.1 Urgent Business

#### COUNCIL RESOLUTION

**MOVED: CR ANNA CHEN**  
**SECONDED: CR PAUL MCLEISH**

**That Council admits for consideration the following items of urgent business at Item 14 of this meeting -**

- **Item 14.1 - Suburban Rail Loop Advocacy**
- **Item 14.2 – Appointment of Authorised Officer Planning and Environment Act 1987 – Justin Richardson**

**CARRIED**

## 9 PLANNING PERMIT APPLICATIONS

Councillor Piccinini stated:

*“Councillors, I wish to disclose that I have a conflict of interest in Items 9.1 and 9.3, being an indirect interest due to close association. I will be leaving the meeting room for the duration of these matters. Councillor Chen, as Deputy Mayor, could you please chair the meeting in my absence.”*

Having disclosed her conflict of interest, Councillor Piccinini left the meeting at 7:40pm prior to consideration of Item 9.1 and returned to the meeting at 8:19 pm after Items 9.1 and 9.3 had been finalised. Cr Piccinini took no part in the discussion or voting on these items.

Councillor Chen assumed the Chair.

Councillor Chen stated:

*“Councillors, I would like to suggest that Item 9.3 be brought forward on the Agenda to be considered immediately following Item 9.1. Do I have a mover?”*

### **COUNCIL RESOLUTION**

**MOVED: CR PAUL MCLEISH**  
**SECONDED: CR SOPHY GALBALLY**

**That Item 9.3 be brought forward and considered immediately following Item 9.1 on the Agenda.**

**CARRIED**

### 9.1 Planning Application PLN18/0635 23-29 Parker Street, Templestowe Lower for the installation and use of the land for an additional ten electronic gaming machines, to a total of 60 machines

File Number: IN19/188  
Responsible Director: Director City Planning and Community  
Applicant: Supreme Templestowe Pty Ltd (Acn 162 814 548)  
Planning Controls: General Residential Zone, Schedule 3 (GRZ3), Heritage Overlay, Schedule 130 (HO130)  
Ward: Heide  
Attachments: 1 [Decision Plans](#) [↓](#)  
2 [Legislative Requirements](#) [↓](#)

#### EXECUTIVE SUMMARY

##### Purpose

1. This report provides Council with an assessment of a planning permit application submitted for land at 23-29 Parker Street, Templestowe Lower (Templestowe Hotel). This report recommends approval, subject to conditions. The application is being reported to Council as the application has been 'called in' for a decision.

##### Proposal

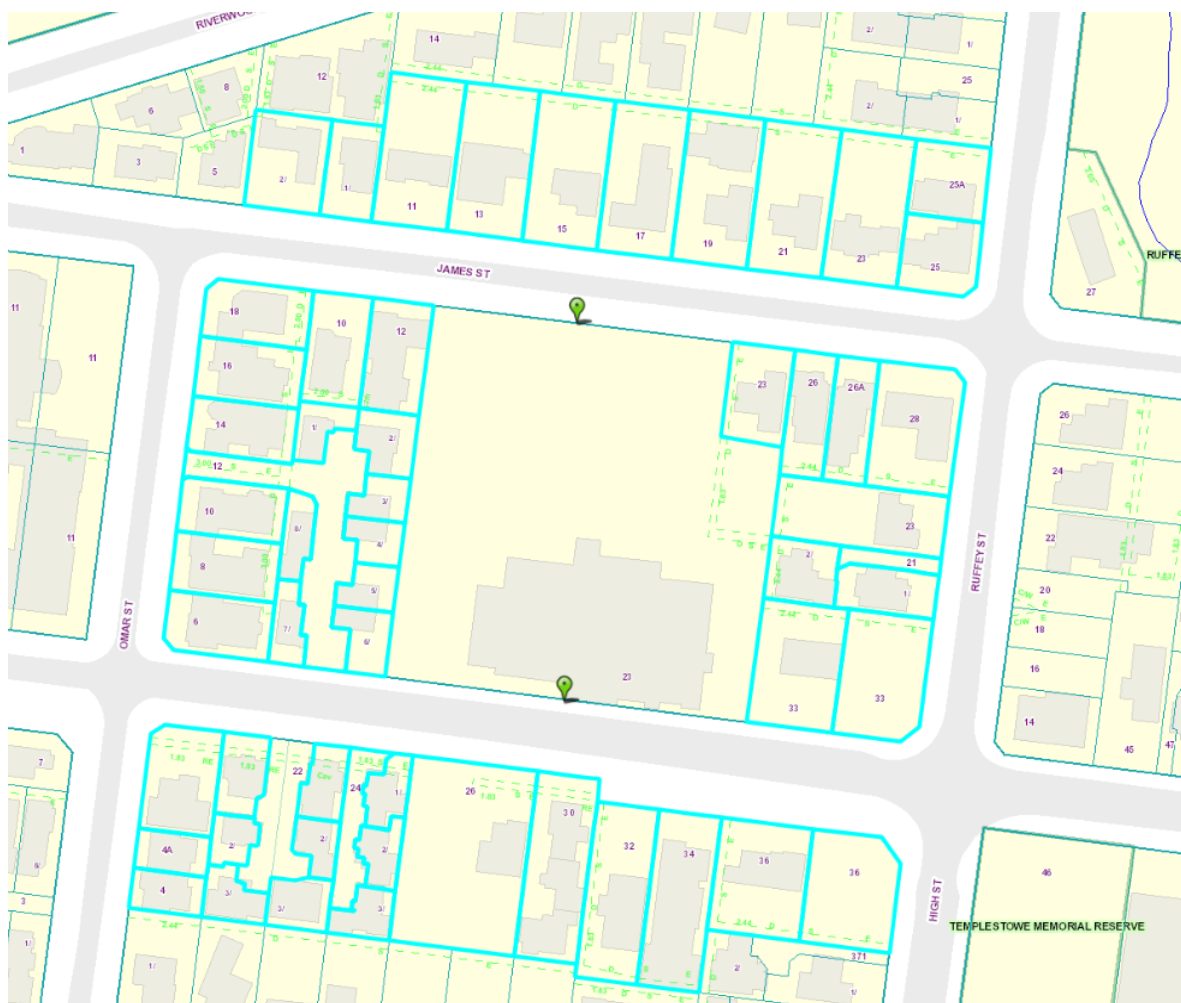
2. An application has been received to consider a proposal for the installation and use of the land for an additional 10 gaming machines at the Templestowe Hotel, increasing the total number of machines on site from 50 to 60.
3. Planning Permit PL12/023131 was issued on the 15 January 2013, allowing an additional 10 gaming machines, increasing the total number of machines on site from 50 to 60. This permit has since expired due to the failure of the owner to act on the permit or to request an extension of time within the allowable time frame.
4. It is proposed to use the existing gaming floor area of the hotel to accommodate the additional 10 machines.
5. The operating hours of the existing gaming machines at the hotel are between 7am-3am (Monday-Sunday). It is not proposed to extend the operating hours approved by the Victorian Commission for Gambling and Liquor Regulation (VCGLR).
6. The Templestowe Hotel is currently licensed for 60 Electronic Gaming Machines by the VCGLR, though the hotel is only using 50 of the existing 60 licences. The operating hours on the gaming machine licence allows the electronic gaming machines to be used at any time except between 3am-12pm on Good Friday and Anzac Day.

##### Advertising



7. The application was advertised by way of sending letters to all adjacent properties, and by wider notification to the immediate area, placing notices along the site boundaries to both Parker and James Street (see below). The application was also advertised in the local Leader newspaper.
8. No objections have been received to date.

### Notified properties and advertising sign location



### Key issues in considering the application

9. The key issues for Council in considering the proposal relate to:
  - Planning Policy Framework;
  - Local Policy Framework; and
  - Particular Provisions.
10. It is noted that Council has policy relevant to gaming, being Councils *Gambling Policy and Action Plan (2012-2017)* and the *Health City Strategy (2017-2021)*. However, it is noted that this policy sits outside of the Planning Scheme and therefore the Planning and Environment Act 1987 does not enable much weight to be given to these policies and strategies.

### Assessment

11. The proposed installation and use of the land for an additional 10 gaming machines resulting in a total of 60 machines, is consistent with the relevant objectives, strategies and policies of the Planning Policy Framework, Local Policy Framework and Particular Provisions of the Manningham Planning Scheme.
12. It is considered that the proposed increase to the number of gaming machines at the Templestowe Hotel is appropriate, taking into account the relevant planning assessment criteria and having considered the relevant social and economic impacts of the proposal on the area.
13. It is proposed to enter into an agreement under Section 173 of the Planning and Environment Act 1987 to accept the offer of an annual financial contribution by the owner of the hotel which is to be used to support local community groups within Manningham, providing on-going net community benefit. If Council resolves to accept the officer's recommendation of approval, this on-going contribution will provide community benefit by way of giving back to local community groups.

### Conclusion

14. It is recommended that the application be supported, subject to conditions.

Having declared a conflict of interest in items 9.1 and 9.3, Councillor Piccinini left the meeting at 7:40pm prior to consideration of Item 9.1 and returned to the meeting at 8:19pm after Items 9.1 and 9.3 had been finalised. Cr Piccinini took no part in the discussion or voting on these items.

### COUNCIL RESOLUTION

**MOVED: CR PAUL MCLEISH**  
**SECONDED: CR MIKE ZAFIROPOULOS**

**That Council:**

**Issue a NOTICE OF REFUSAL in relation to Planning Application PLN18/0635 at 23-29 Parker Street, Templestowe Lower for the installation and use of the land for an additional ten electronic gaming machines, to a total of sixty machines on the following grounds:**

- 1. The cumulative impact of the installation and use of 10 additional electronic gaming machines on the premises will adversely impact the social and economic well-being of the Manningham community.**
- 2. An increase in the number of electronic gaming machines in the City of Manningham is unnecessary and unreasonable.**
- 3. The proposal is contrary to the objectives of Clause 21.14-3 (Community Health and Well-Being), the objectives and policy of Clause 22.18-2 and 22.18-3 (Gaming) and the purpose of 52.25-1 (Gaming) of the Manningham Planning Scheme in that:**

- The Templestowe Hotel is not:
  - located within an Activity Centre in Manningham
  - on a land holding of more than 2 hectares;
- The proposed hours of operation between midnight and 3am are when there will be limited alternative non-gaming facilities operating both within the venue and the local community, and as such the proposal fails to adequately consider the social and economic benefit to the community;
- The proposed hours of operation exceed 18 hours per day;
- The proposed electronic gaming machines would be inappropriately located given the local community is already well served by accessible gambling facilities;
- The proposed financial community benefit in installing more electronic gaming machines is contrived in that it seeks to redistribute the losses from the operation of the said gaming machines rather than to prevent such losses, and is therefore contrary to the social and economic well-being of the community in the City of Manningham;
- Fails to satisfy the objectives of Clause 22.18 Gaming of the Manningham Planning Scheme in that the gaming lounge is inadequately screened to patrons of any age (including children) from other areas of the venue, meaning that the electronic gaming machines are clearly visible and audible from various areas including the reception area, lounge, waiting area, bistro, bar, buffet. This:
  - i. Fails to minimise or discourage opportunities for convenience gaming as required by the policy objectives,
  - ii. Serves to undermine the community's choice of non-gaming entertainment and activities within the gaming venue,
  - iii. Fails to ensure that gaming machines are physically and visually separate from the venue's non-gaming activities.

### **DIVISION**

A Division was called by Councillor McLeish and the Council divided as follows:

FOR (8): Councillors Anna Chen, Andrew Conlon, Dot Haynes, Mike Zafirooulos, Geoff Gough, Paul McLeish, Michelle Kleinert and Sophy Galbally.

AGAINST (0): Nil.

**THE MOTION WAS DECLARED CARRIED.**

## **1. BACKGROUND**

### **Application history**

1.1 The application was submitted to Council on 18 September 2018.

- 1.2 A further information request was sent on 16 October 2018 requesting a response to Council's Local Policy at Clause 22.18 (Gaming) and details of the current Venue Management Plan to manage patron behaviour.
- 1.3 The requested information was received by Council on 30 January 2019.
- 1.4 Notice of the application was given over a two week period which commenced on 8 February 2019. No objections have been received to the proposal.
- 1.5 The statutory time for considering a planning application is 60 days, which fell on the 31 March 2019.
- 1.6 The land is subject to Section 173 Agreement AJ027249K in relation to Planning Permit PL10/021713, approving a two lot subdivision.

The relevant section at Paragraph 3 in the agreement, states:

### Specific obligations of the owner

**3.1** The owner agrees that regardless of any rights conferred by the Planning Scheme, except with the consent of Council:

**3.1.1** A plan of consolidation, consolidating Lot 2 with the Templestowe Hotel, must be submitted to Council for approval and lodged at Land Registry within 6 months of the issue of the Statement of Compliance for Plan of Subdivision PS645827W.

- 1.7 The proposal will not impact on the requirements of the above mentioned Section 173 Agreement (as registered by Instrument AJ027249K).
- 1.8 The land is not affected by a Registered Restrictive Covenant.

### Site History

- 1.9 The following planning permits have been issued on the site, since 1992.

PLANNING PERMIT	CATEGORY	DESCRIPTION
PL17/027810	Signage	Approved the construction, erection and display of internally illuminated business identification signage.
PL15/025406	Liquor Licence and Building and Works	Approved buildings and works for alterations and additions (at the basement level) associated with an existing hotel; and use of the land to sell and consume liquor- variations to an existing liquor licence (red line plan and hours of operation).
PL14/024569	Building and works	Approved buildings and works associated with the relocation of a door on the eastern façade.
<b>PL12/023131</b>	<b>Gaming</b>	<b>Approved the installation and use of the land for an additional ten (10) electronic gaming machines.</b>
PL10/021713	Sub-division	Approved a two lot subdivision

PL06/018021	Building and works	Approved building and works associated with the construction of two vergolas.
PL05/016742	Signage	Approved the erection and display of internally illuminated signage.
PL05/016434	Signage	Approved the erection and display of an internally illuminated promotion sign.
PL02/013945	Building and works	Approved the alterations and additions to the hotel.
PL98/009934	Building and works	Approved the alterations to an existing bottle-shop and the upgrade of gaming facilities.
PL97/009378	Building and works	Approved the extensions and internal alterations to the hotel.
PL94/007107	Signage	Approved the erection and display of illuminated advertising signs.
PL93/006351	Building and works	Approved building alterations to the hotel.
PL92/005733	Signage	Approved the erection and display of internally illuminated advertising signs.

- 1.10 Of particular note is expired Planning Permit PL12/023131 which approved the installation and use of the land for an additional 10 electronic gaming machines. This planning permit was issued on 15 January 2013.
- 1.11 Planning Permit PL12/023131 was decided under delegation. The application was advertised, and received a total of two (2) objections. The grounds of objections were summarised as follows:
1. Additional gaming machines will increase patronage;
  2. Gamblers pose a security risk to local residents;
  3. Noise from the hotel's balcony and air-conditioning will be exacerbated by additional machines.
- 1.12 Condition 5 states... *"This permit will expire if the installation of the new electronic gaming machines is not completed within four (4) years of the date of this permit. The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or within three (3) months afterwards"*.
- 1.13 A request to extend the completion date of this permit was lodged by Zervos Lawyers (the applicant agent of the current planning application) on 26 September 2017. However, there was no scope to approve the extension of time request as the permit had already expired and the required legislative "grace period" had passed.

### **History of Gaming in Manningham**

- 1.14 Councils Gambling Policy and Action Plan (2012-2017) identified various policy objectives and strategies to manage electronic gaming machine use within the municipality. Whilst the policy is a number of years old, the policy positions outlined in the document provide some form of "guidance" in the absence of any new policy position.

- 1.15 The *City of Manningham Problem Gambling (Electronic Gaming Machines) Study 2014*, was endorsed by Council in April 2014. The study identified a need for strong policy guidance relating to the location of gaming venues in areas within the community that are vulnerable to problem gambling and areas that have the highest density of venues or electronic gaming machines. The study also identified harm minimisation measures through supply regulations of electronic gaming machines. Following on from this study, Amendment C108 introduced Clause 22.18 (gazetted 23 July 2015) into the Local Policy Framework of the Manningham Planning Scheme. The policy was introduced to assist with guiding decision making by setting out criteria for the location, design and operation of gaming venues and outlining the required information to be submitted with a planning application.
- 1.16 The “Healthy City Strategy 2017-2021”, outlines action areas for reducing the harms of drugs, alcohol and gambling and identifies that Council work towards reducing the harms of problem gambling, binge drinking and illicit drug use. It is worth noting that a target was not quantified in the Strategy in relation to gambling.
- 1.17 No further action has taken place to ‘cap’ or limit the amount of gaming venues or machines within the municipality, beyond the capping introduced pursuant to Sections 3.2.4 & 3.4A.5(3A) of the Gambling Regulation Act 2003 by the Minister for Gaming in 2017, being 945 machines in Manningham. At present, there are 522 electronic gaming machines operating within the municipality.

## 2. THE SITE AND SURROUNDS

### The Site

- 2.1 The subject site is known as the Templestowe Hotel, being on the northern side of Parker Street and southern side of James Street, Templestowe Lower. The site and immediate surrounds are within the General Residential Zone (Schedule 3). The site is irregular in shape, with an overall area of approximately 9347 square metres. The site has a street frontage of approximately 96 metres to Parker Street and approximately 80 metres to James Street, with a total length of approximately 115 metres shared to the eastern abutments and a depth of approximately 101 metres to the west.
- 2.2 The Templestowe Hotel (formerly Sheahan’s Hotel) was established in 1868. The hotel is part single storey (to the Parker Street frontage) and part double-storey to the rear, facing north. The hotel is listed on the Victorian Heritage Database being of local significance as an early timber hotel.
- 2.3 The hotel comprises a symmetrical timber, corrugated iron gable roofed building with a skillion verandah set between two projecting gables. The hotel has been subject to a number of extensions and renovations over the years. Part of the original building facing Parker Street was preserved when the hotel was remodelled and extended in 1964.
- 2.4 An extensive area of on-site car parking is located to the north, east (in-part) and west of the hotel.
- 2.5 The hotel comprises a Bistro with an associated buffet and centralised bar, public sports bar with TAB facilities, function room facilities, a drive-through bottle-shop and associated beer cool room, party room, amenity facilities and a gaming room.

- 2.6 The gaming room (178 square metres) is positioned on the eastern side of the building, with direct access to the Bistro, toilet facilities and an external smoking area. The gaming room currently comprises 50 electronic gaming machines, with five centralised clusters and a row along the eastern and south-western walls, respectively. The gaming area is visible from some sections of the dining area, rather than being secluded.
- 2.7 The hotel currently operates between 7am-3am (Monday-Sunday).

### The Surrounds

- 2.8 The Yarra River and associated parklands (Finns Reserve) are located approximately 1 kilometre to the north and north-west of the subject site, being accessible via the Ruffey Trail.
- 2.9 Approximately 50 metres to the east of the site along Parker Street is the intersection of Parker, High/Ruffey Streets. Located approximately 800 metres east of this intersection is the Templestowe Village Activity Centre, comprising a variety of shops and restaurants along Anderson and James Streets. The Manningham Templestowe Leisure Centre and Templestowe RSL are located on the periphery of this commercial hub.
- 2.10 The hotel is located in an established residential area, with the site sharing direct interfaces with private residential properties to the north-east, east and west. The Fronditha Lower Templestowe Aged Care facility is also to the west, along Parker Street.
- 2.11 There are some non-residential uses including a vet clinic and panel repair premises within proximity to the site to the east, along Parker Street.
- 2.12 Details of the various abutments are described as follows:

Direction	Address	Description
North-East	23 James Street	This lot is directly north-east of the car park and contains a single-storey brick dwelling.
East	26 James Street	This lot is a partial abuttal to the east and contains a double-storey dwelling,
East	23 Ruffey Street	This lot is directly east of the car park and contains a single-storey brick dwelling.
East	2/21 Ruffey Street	This lot is directly east of the car park and contains a recently constructed two storey dwelling.
East	33-35 Parker Street	This lot is directly east of hotel and has access to Parker and Ruffey street. The lot contains a single-storey veterinary clinic.
West	Units 2, 3, 4 and 5 at 12 Omar Street	These lots are directly west of the hotel, partly adjacent to the drive-through bottle-shop. The dwellings are all two-storey.

<b>West</b>	12 James Street	This lot is directly west of the car park and contains a single-storey brick dwelling.
All abutting properties listed above are located within the General Residential Zone (Schedule 3) and are not affected by any overlays.		

### 3. THE PROPOSAL

- 3.1 An application has been received to consider a proposal for the installation and use of the land for an additional 10 gaming machines at the Templestowe Hotel, increasing the total number of machines on site from 50 to 60.
- 3.2 The application would result in the net increase in the number of EGMs within the Templestowe Hotel from 50 to 60 machines.

#### Submitted plans and documents

- 3.3 The proposal is outlined on the plans prepared by Enth Degree Architects Pty Ltd, job number 1408, dated January 2017 which demonstrate how the additional 10 electronic gaming machines can be positioned within the existing floor area of the gaming room.
- 3.4 The following reports were submitted in support of the application:
1. A Social and Economic Impact Assessment prepared by Ratio Consultants, dated January 2019.
  2. A Gaming Expenditure Impact Analysis prepared by Shine Wing Australia, dated 29 January 2019.

### 4. LEGISLATIVE REQUIREMENTS

- 4.1 Refer to Attachment (Planning & Environment Act 1987, Manningham Planning Scheme and other relevant legislation policy).
- 4.2 Pursuant to Clause 52.28 (Gaming) of the Manningham Planning Scheme, a permit is required to "install or use a gaming machine".

#### Referrals

External

- 4.3 There are no statutory referrals required as part of the application.
- 4.4 Comments were sought from VicRoads, as Parker Street is within a Road Zone Category 1 (an arterial road being under the jurisdiction of VicRoads). VicRoads did not identify any traffic related issues with the proposal.

Internal

*The application was referred internally to the Social Planning and Community Development Unit. Their comments are as follows:*



- 4.5 *The Patron Analysis identified where patrons live and then utilises population-level statistics in those geographic areas to 'paint a picture' of the likely profile of customers. THE Social and Economic Impact Assessment suggests there is minimal community risk associated with the additional machines. The relative affluence of the catchment area (2.5km radius) suggests there is minimal social and community risk associated with the planning application. Using data from the VCROSS (Victorian Council of Social Services) Every Suburb Every Town indicates the poverty rate of Lower Templestowe is 12% which is marginally below the poverty rate of Greater Melbourne being 13%. This indicates there are some pockets of poverty within these 'affluent' areas from which the majority of patrons live.*
- 4.6 *It is acknowledged that disadvantaged segments of the community are most vulnerable to gambling problems.*
- 4.7 *Groups within the community most vulnerable are recent migrants, older people, people experiencing domestic violence, people with low proficiency in English and people living alone.*
- 4.8 *The 2016 census indicates that the patron catchment area has significantly higher percentage of older residents. Being 19.7% in Templestowe Lower are aged 65+, 24.6% in Bulleen, 21.9% in Templestowe, 22.4% in Doncaster (including Doncaster Hill) in comparison to 14.1% in the greater metro area.*
- 4.9 *The upgrade to the function centre at the venue (if permit PL15/025406 is acted on) will increase patronage at the hotel with the potential of increasing gaming revenue, not necessarily decreasing gaming revenue as it is argued in the Social and Economic Impact Assessment.*
- 4.10 *Future potential closures as references in the Social Economic Impact Assessment may reduce the gaming opportunities for the municipality as a whole. However on the flip side could potentially increase patronage numbers at the Templestowe Hotel.*
- 4.11 *The proposed community chest (\$40,000 per annum) can be considered equating to \$4,000 per annum for each of the 10 new EGM annually, or 3% of the anticipated annual Net Machine Revenue (NMR) of \$130,334. Should Council be in favour of granting this planning application then, in order to maximise the social benefits, Council may wish to explore directing contributions to research and projects designed to address the harmful effects of gambling.*
- 4.12 *It is suggested a 1.5% contribution of the net machine revenue of all sixty (60) machines could be explored.*

## **5. NOTIFICATION**

- 5.1 *The application was advertised by way of sending letters to all adjacent properties and by wider notification to the immediate area, placing notices on the site frontages to Parker Street and James Street, and through notice in the local Leader newspaper.*
- 5.2 *No objections have been received to date.*

## 6. ASSESSMENT

- 6.1 On 25 September 2009, the Victorian Commission for Gambling and Liquor Regulations (VCGLR) announced the maximum permissible number of gaming machines for each municipal district in Victoria. As required by the Minister for Gaming's order on 20 September 2017, the criteria for determining the maximum permissible number of gaming machines is a maximum of ten gaming machines per thousand adults. Accordingly, the maximum number of machines permitted in Manningham is currently 945. At present, there are 522 electronic gaming machines operating within the municipality.
- 6.2 It is noted, that Council's Healthy City Strategy (2017-2021) aims to *work towards reducing the harms of problem gambling*. A 'target' or quantified measure has not been adopted as part of the strategy to provide further guidance to achieving this within the strategy.
- 6.3 The 'Healthy City Strategy' has been endorsed by Council, but has not been incorporated into the Manningham Planning Scheme and therefore does not form a statutory basis for the assessment of this planning application.
- 6.4 The Templestowe Hotel management must adhere to the Responsible Gambling Code of Conduct to manage patron behaviour in the venue as a response to the potential harms associated with problem gambling associated with the use and installation of electronic gaming machines.
- 6.5 The proposed installation and use of an additional 10 electronic gaming machines is considered to be consistent with the aims and objectives of the Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement, as well as the Particular Provision and the zones and overlays which apply to the subject site, as discussed below.
- 6.6 The following assessment is made under the headings:
- Planning Policy Framework
  - Local Policy Framework
  - Particular Provisions

### **Planning Policy Framework**

- 6.7 The Planning Policy Framework does not include any specific gaming policy, however, there are some broader strategies of relevance.
- 6.8 Clause 17.01-1R seeks to facilitate growth and employment in areas that are supported by good public transport services and integrated walking and cycling paths and Clause 17.01-1S (Diversified Economy), seeks to improve access to jobs closer to where people live. The applicant has submitted that there will be an estimated increase of between 3- 5 equivalent full time positions at the venue as a result of the additional electronic gaming machines. This estimate is attributed to a number of factors including the function room opening at the hotel, the assumption that the Yarra Valley Country Club will not renew their gaming licence (currently have 70 electronic gaming machines) beyond 2022, as indicated on the VCGLRs website and the proposed increase to the number of electronic gaming machines operating at the hotel.

- 6.9 Clause 17.02-1S seeks to encourage development that meets the community's needs for retail, entertainment, office and other commercial services.
- 6.10 The Templestowe Hotel is accessible via the existing bus routes (290 & 905) along Parker Street and is within an established residential area. As a long established and well-presented entertainment venue with a variety of services and functions, the hotel is well supported by local and wider spectrum patronage.
- 6.11 An increase to the existing number of gaming machines will provide more choice for recreational gamers, whilst providing additional employment opportunities in a readily accessible venue.
- 6.12 In addition, the establishment of a Section 173 Agreement as part of any planning approval will provide an annual cash contribution to community groups within Manningham, in addition to the contributions already provided by the owner of the hotel to the Bulleen Boomers and Templestowe Bowls Club. This on-going contribution will provide community benefits by way of giving back to other localised community groups.
- 6.13 Clause 13.02-1S is relevant to the proposal as the Templestowe Hotel is located within a Bushfire Prone Area and falls within a use category for which bushfire risk should be considered.
- 6.14 In assessing bushfire risk, consideration can cover people, property and community infrastructure. Where risk is identified, appropriate bushfire protection measures can be required to be implemented to address such risk.
- 6.15 The applicant submits that the venue has evacuation measures in place in respect of the bushfire risk at the land.
- 6.16 Specific bushfire construction standards apply in designated bushfire prone areas in Victoria, which future buildings and works at the land must meet. Future works at the site will be required to provide a minimum BAL of 12.5.
- 6.17 As part of the use of the land for dining, alcohol consumption and recreational gambling purposes, the hotel provides an evacuation management plan.
- 6.18 Finns Reserve, to the north-west and the Ruffey Creek Linear Park to the east are the closest landscape features that may present a bushfire risk to the hotel. The reserve is located approximately 100m from the subject site and approximately 170m from the hotel. There is a buffer of a number of roads and relatively dense residential lots between the site and reserves, as well as a wide car park which is fully constructed.
- 6.19 The site is within the coverage of the MFB and is relatively close to a fire station in Williamsons Road. The subject land contains minimal vegetation.
- 6.20 There are three, well-spaced, points of vehicular access. Two are to Parker Street, with the first being a two-way accessway at the south-western frontage with access to the drive-through bottle shop and the second, a one-way vehicular access providing entry only from Parker Street via the south-eastern frontage. The third vehicular access is at the rear of the site, providing an entry/exit point to the north, via James Street. The dual entry/exit arrangement enables users of the hotel to safely evacuate the premises in the event of a fire.

- 6.21 Taking into consideration all of the above and recognising that the proposed use will not cause an increase in overall patron numbers within the hotel at any one time, the proposal is unlikely to increase any risk to human life relating to the possible impact of a bushfire.

### **Local Planning Policy Framework**

#### Clause 22.14 Community Health and Well-Being

- 6.22 This Clause seeks to minimise adverse impacts associated with the location and operation of gaming venues and associated gaming machines. A detailed assessment will be provided further in this report regarding the appropriateness of the site, venue and area pursuant to Clause 22.18 (Gaming).

- 6.23 Taking into consideration that the Templestowe Hotel is a current gaming venue, operating with 50 electronic gaming machines, the socio-economic status of the suburb and that there are no proposed works associated with the increase in the number of EGMs, the proposal is considered to minimise adverse impacts to adjoining land owners.

#### Clause 22.06 Eating and Entertainment

- 6.24 This Clause seeks to ensure entertainment premises are appropriately located. The proposal is at an existing venue which is well located on a main road (Parker Street) and within close proximity to public transport. The venue is well separated from Templestowe Village Activity Centre which is in part a “strip shopping centre” (a prohibited location for gaming).
- 6.25 The “free-standing” location of the hotel suggests it is a destination venue, thereby discouraging impulsive and opportunistic gambling.
- 6.26 Existing planning permits and VCGLR approvals at the site control the patron numbers and hours of operation of the venue, thereby ensuring the amenity of the neighbourhood is not adversely impacted by the operations of the hotel.

#### Clause 22.18 Gaming

- 6.27 Problem gambling has emerged as a significant public health and well-being issue for sections of the Victorian community, highlighting the need to assess the appropriateness of the proposed location of the gaming machines, as well as its associated socio-economic demographics.
- 6.28 The *objectives* of this policy are:
- *To ensure that the social and economic impacts of gaming are considered when determining applications for gaming venues and machines.*
  - *To support the social and economic wellbeing of Manningham’s communities.*
  - *To locate gaming machines in a manner consistent with Manningham’s activity centre hierarchy as part of the overall range of entertainment facilities and activities available in the municipality.*
  - *To ensure that gaming venues and machines are located, designed and operated in a manner that minimises opportunities for convenience gaming.*

- *To discourage the location of gaming machines where they are readily accessible from or highly exposed to disadvantaged areas or gambling-sensitive uses.*
- *To ensure that gaming venues and machines are located, designed and operated so the community has a choice of non-gaming entertainment and recreation facilities and activities within the gaming venue and in the local area.*
- *To protect the operation and amenity of existing uses surrounding gaming venues.*

## **Social and Economic Impacts**

### Problem Gambling

- 6.29 Gambling in general and the use of EGMs in particular, is a legal and legitimate form of entertainment and leisure that is associated with a range of social and economic harms and benefits. This assessment takes into account competing stakeholders interests that acknowledge both harms and benefits associated with increasing the number of EGMs operating at the Templestowe Hotel.
- 6.30 Problem gambling is *'characterised by difficulties in limiting money and/or time spent on gambling, which leads to adverse consequences for the gambler, other, or for the community.'* A person's vulnerability to problem gambling is determined by a number of interrelated social, health, economic and physical factors, essentially, their socio-economic advantage level.
- 6.31 In Australia, gambling is a legal form of entertainment and has become normalised as an integral part of Australian social, leisure and sporting culture. The liberalisation of gaming in Victoria in the early 1990's saw the rapid expansion and decentralisation of gaming venues in clubs and hotels, many of which were already located in existing communities.
- 6.32 Gaming venues such as the Templestowe Hotel provide a range of social, leisure and entertainment activities including dining, bars, music, viewing of televised sport and different forms of gambling, such as sports betting and Keno. Some social and leisure clubs, including those that cater for older people or people from a particular cultural group, use gaming venues as destinations for their outings.
- 6.33 In recent years, the profile of gambling in the community has been raised through increased sponsorship/marketing and the increased use of online betting available on a variety of sporting codes.
- 6.34 The Templestowe Hotel has demonstrated that it is committed to conducting all aspects of gambling in a professional and responsible manner and adhere to the Responsible Gambling Code of Conduct, as follows:
- Displaying 'Responsible Gambling Messages' at the cashier station or entry to the gaming room;
  - Providing Responsible Gambling information in a range of forms, including brochures, posters and on-screen player information displays;
  - Self-exclusion program for the venue;
  - Chance or probability of winning being available on screens or by request from venue staff;
  - Pre-commitment strategies;

- Staff interactions with customers to identify problem gambling behaviour;
- Preventing staff from gambling in the venue;
- Maintaining links with local problem gambling support services;
- Prohibiting gambling by minors;
- Encouraging/promoting patrons to take regular breaks;
- Paying all winnings greater than \$1000 by cheque;
- Displaying clocks in the gaming room and on-screen.

6.35 A **condition** will require a venue management plan to provide a further commitment to the management of complaints and patron behaviour and the location of lighting and security cameras at the venue.

#### Electronic Gaming Machines (EGMs)

6.36 Although EGMs are a popular form of gambling, they can pose significant risks to existing and potential gamblers due to a number of factors including:

- The capacity to play alone;
- Technological features that result in players losing touch with reality and time;
- Misunderstanding about how EGMs work and the misconception amongst some players that they are able to recover their losses;
- The speed of play (relating to cash input) and their relative accessibility due to location and operating hours.

6.37 In the case of the proposal, the 10 extra EGMs are sought to provide additional availability and choice for patrons, particularly during peak hours. The venue will continue to comply with the Responsible Gambling Code of Conduct to manage patron behaviour.

#### Social and Economic assessment

6.38 Findings of the Social and Economic Assessment (prepared by Ratio, dated January 2019) concluded:

1. *The proposal for an additional 10 electronic gaming machines will have slightly positive social and economic impact on the local community and the City of Manningham.*
2. *The benefits associated with the proposal include increased community contributions of \$40,000 per annum to community organisations. If council are supportive of the application this contribution could be established by way of a 173 Agreement or conditions on permit.*
3. *The benefits associated with the proposal also include additional employment. The operator considers this to be between 3-5 EFTs over a period of time.*
4. *The additional machines will also offer more choice for recreational gamers.*

5. *We consider that the existing underlying risk to problem gaming behaviour is unlikely to change as a result of the proposed additional 10 EGMs.*
  6. *As this is an application for a top-up at an existing venue within a relatively affluent area, the benefits attached to the application are small. However, the disbenefits associated with the application, such as the additional potential problem gambling, are also small.*
  7. *We are satisfied that these benefits will neutralise any potential disbenefits, including the risk of increased problem gambling behaviour, mindful that the gaming room, if the proposal is approved, will remain relatively modest in size.*
- 6.39 The relative mobility of Manningham's community, and the distances people actually travel to gaming venues highlights the challenges associated with identifying suitable locations for gaming venues which are able to protect people who are potentially vulnerable to problem gambling.
- 6.40 Harm minimisation that encompasses the social model of health that recognises a range of social, economic and environmental conditions forms part of this assessment to determine the appropriateness of intensifying gaming machines at the Templestowe Hotel.
- 6.41 Research has identified specific social and economic factors that increase a person's risk of developing problem gambling, such as age, gender, family, household structure, culture and socio-economic disadvantage. However, a consultation and engagement process undertaken in Manningham as part of the 2014 Study on Electronic Gaming Machines, found that there is no clearly identifiable cohort that is particularly at risk of problem gambling in the municipality.
- 6.42 Both the research and the consultation/engagement process did reveal, however, that the two key factors determining a person's vulnerability to problem gambling are social isolation and the experience of traumatic life event. Groups within the community most vulnerable to social isolation and socio-economic disadvantage, and therefore problem gambling, are recent migrants, older people, people experiencing domestic violence, people with low proficiency in English and people living alone.
- 6.43 There is a strong correlation between these minority groups and the level of disadvantage. As such, this application must provide an assessment of the Index or Relative Socio-economic Disadvantage in Templestowe Lower, and nearby suburbs.
- 6.44 On the contrary, the presence of EGMs and gaming venues in the community results in a number of social and economic benefits. These include the provision of affordable social, leisure and recreational facilities and opportunities, employment generation, redistribution of revenue to community groups, tourism, and opportunities for volunteering. Gaming venues also provide people with opportunities to socialise in an accessible, safe, comfortable, affordable and welcoming environment.

#### **Social-Economic Index of Relative Socio-economic Disadvantage**

- 6.45 The relevant index contained within the Australian Bureau of Statistics Socio-Economic Indexes for Areas (SEIFA) is derived from attributes that reflect a person's level of disadvantage such as low income, low education attainment,

high unemployment, and jobs in relatively unskilled occupations. A higher score on the index means a lower level of disadvantage. The percentile column indicates the approximate position of the suburb in relation to surrounding suburbs, municipalities and the nation. A higher number indicates a higher socio-economic status. The 2019 Australian Bureau of Statistics (ABS) attributes a percentile of 84 for Templestowe Lower meaning that approximately 84% of Australian suburbs have a lower classification (are more disadvantaged) than this area, while 16% are higher.

- 6.46 Based on the current statistics provided by the Australian Bureau of Statistics (ABS), Manningham sits well above the median for Melbourne Metro Local Government Areas at 1066. The primary and secondary patron catchment have scores ranging from the 69<sup>th</sup> percentile to the 93<sup>rd</sup> percentile. The catchment area displays scores all sitting above the Victorian suburb average (1020). These scores indicate, that there are very limited areas of disadvantage located within close proximity to the venue.
- 6.47 The Social-Economic Impact Assessment report submitted by the applicant provides an assessment of the Primary Patron Catchment, encompassing Templestowe, Templestowe Lower, Bulleen, Doncaster and Manningham as a whole. The findings suggest a mix of socio-economic profiles in the primary catchment area, however, on balance the majority of indicators are positive in comparison to the averages of Metropolitan Melbourne. An assessment of the indicators with higher representation amongst problem gambling suggests that the primary catchment area generally exhibits few of the characteristics that are commonly found in problem gamblers.
- 6.48 The applicant submits that overall, the analysis of the key social and economic indices illustrates that the primary patron catchment is typically characterised by a mixed socio-economic profile that is mostly above the Metropolitan Melbourne average on a number of indicators.
- 6.49 As this data is relevant to the current statistics and most recent census (2016) and ABS figures available, it is reasonable to expect that there could be changes to the demographics in time. It is therefore considered appropriate to apply a **condition** to limit the use of the additional machines for a period of 15 years. This will enable an updated review of the socio-economic position and census data for the municipality and assess any apparent disadvantage. Any further application made to continue the use of the machines upon expiry would consider these matters of relevance.

#### Location of EGMs

- 6.50 The location of additional machines within an existing approved venue, as sought as part of this application, is considered to provide for better social outcomes, compared to the creation of a new venue within the municipality.
- 6.51 The availability of opportunities to gamble, which is a determinant of gambling, is a function of the social and environmental context of the local area. This is influenced by factors including locational convenience, number of adults per gaming venue, advertising, exposure and opening hours.
- 6.52 There is a direct link between problem gambling and factors such as the number or density of EGMs and the level of gaming expenditure per adult, particularly in disadvantaged areas. The location of gaming venues and machines is a primary consideration of this Clause and the objectives of the Particular Provision at Clause 52.28 (Gaming).



- 6.53 The location of electronic gaming machines is based on the principle that they should be accessible, but not overly convenient. When determining appropriate locations for electronic gaming machines, it is reasonable to focus on the concept of availability, rather than accessibility. Gambling should be available, as it is a lawful form of entertainment that is associated with a range of social and economic benefits, as well as harms, however, venues should be well located to discourage impulsive and opportunistic gambling.
- 6.54 A detailed assessment of the appropriateness of the location of the electronic gaming machines is provided as follows:

<u>Policy</u>	<u>Response</u>
<u>Appropriate areas</u> : Gaming venues and machines should be located:	
<i>In the Doncaster Hill Activity Centre, the Pines Activity Centre or Commercial Areas</i>	Not satisfied- The Templestowe Hotel is an existing venue which is not located within a prescribed activity centre or a commercial area. It should be noted that this <u>is not</u> a new gaming venue application.
<i>In areas where residents within a 5km radius of the proposed location of the gaming machines have a reasonable choice of alternative non-gaming entertainment and recreation facilities</i>	Satisfied - The Templestowe Hotel is located approximately 850 metres to the west of Templestowe Village Activity Centre, which encompasses a variety of commercial facilities (including shops and restaurants, the Manningham Templestowe Centre and Templestowe RSL).  The venue is within close proximity to parklands to the north and north-west, accessible via the Ruffey Trail.
<i>Where they will make a positive contribution to the redistribution of gaming machines away from areas of relative socio-economic disadvantage</i>	Satisfied - The proposal is not a redistribution of electronic gaming machines from another venue, however, the location is considered acceptable when considering the low level of socio-economic disadvantage in Templestowe Lower and surrounding suburbs and the anticipated 'transfer' from other venues, in more disadvantaged areas.
<u>Gaming venues and machines should not be located:</u>	
<i>In or within 800 metres of areas of relative socio-economic disadvantage. This is defined as locations where any Australian Bureau of Statistics collection district is within the most</i>	N/A- Not applicable to this application (the Templestowe Hotel is an existing venue).

<p><i>disadvantaged 20 per cent of collection districts in Victoria, as established by the SEIFA index of Relative Disadvantage.</i></p> <p><u><i>This does not apply to existing venues.</i></u></p>	
<p><i>In suburbs or townships where the density of gaming machines per 1,000 resident adults, including the proposed machines, is greater than the metropolitan Melbourne average.</i></p> <p><u><i>This does not apply to Doncaster Hill.</i></u></p>	<p>Satisfied - The Australian Bureau of Statistics states the current population in Templestowe Lower in 2019 is estimated to be 14,762. This equates to a density of 4.06 EGMs per 1,000 adults, which is below the Metropolitan average of 5.15.</p>
<p><u>Appropriate sites</u> : Gaming venues and machines should be located:</p>	
<p><i>Within the Doncaster Hill Activity Centre or the Pines Activity Centre, outside of the main shopping, transport, community and civic functions of the centre. This does not apply to a sports or recreation club with a land holding of more than 2 hectares.</i></p>	<p>Not satisfied -The Templestowe Hotel is an existing venue that is not located within an Activity Centre in Manningham. It should be noted that this <u>is not</u> a new gaming venue application.</p>
<p><i>At a sports or recreation club with a land holding of more than 2 hectares.</i></p>	<p>Not satisfied - The Templestowe Hotel is an existing venue, with a site area of 9347 square metres.</p>
<p>Gaming venues and machines should not be located:</p>	
<p><i>Where they are convenient to core retail areas, supermarkets, community facilities and services or bus interchanges where large numbers of pedestrians are likely to pass in the course of their daily activities, increasing the likelihood of spontaneous decisions to play gaming machines.</i></p>	<p>Satisfied - The Templestowe Hotel is not conveniently located to core retail areas, supermarkets, community facilities and services or bus interchanges, where large numbers of pedestrians are likely to pass in the course of their daily activities.</p>

<p><i>Within 400 metres of:</i></p> <ul style="list-style-type: none"> <li>• <i>Gambling-sensitive uses, such as social security offices, welfare agencies, and gambler support services;</i></li> <li>• <i>A bus interchange;</i></li> <li>• <i>Social (public and community) housing developments or clusters comprising 50 or more dwellings.</i></li> </ul>	<p>Satisfied - The Templestowe Hotel is not located within 400 metres of any of these facilities.</p>
<p><i>Council owned land.</i></p>	<p>Satisfied - The Templestowe Hotel is not located on Council owned land.</p>
<p>Appropriate venues: Gaming machines should be located in venues which:</p>	
<p><i>Provide a range of social, leisure and recreational activities other than gaming as the primary purpose of the venue. Alternative non-gaming social, leisure and recreational facilities include hotels, clubs, cinemas, restaurants, bars and indoor recreation facilities.</i></p>	<p>Satisfied- The Templestowe Hotel provides a range of social, leisure and recreational facilities, including a bistro, sports bar, kid's playground and function room (nearing completion).</p>
<p><i>Operate alternative social and recreational activities at all times when gaming machines are available for use by patrons.</i></p>	<p>Not satisfied - The above listed facilities will be available for the majority of the time the gaming room is in operation, however, between midnight and 3am there will be limited alternative facilities operating within the venue. Once the function room has been completed, there may be functions that run until 1am (hours restricted by liquor licence permit PL15/025406).</p>
<p><i>Have a gaming floor area less than 25 per cent of the total floor area of the venue.</i></p>	<p>Satisfied - The gaming floor area will not be increased as part of the proposal.</p> <p>The existing total area of the gaming floor area is below 25 per cent of the total area of the venue.</p>

<p><i>Have access to natural light and allow patron surveillance of outdoor areas.</i></p>	<p>Satisfied - The existing gaming floor area has access to natural light to the north and east.</p>
<p><i>Have clear directional signs from gaming areas to all non-gaming amenities, including toilets and dining areas, lounges, recreation facilities.</i></p>	<p>Satisfied - Signage at the Templestowe Hotel currently provides directional advice to dining, lounge and sports bars facilities.</p>
<p><i>Physically and visually separate the venue's non-gaming activities from gaming activities.</i></p>	<p>Satisfied - The gaming room is located in the north-eastern corner of the hotel and is separated from the dining area by toilet amenities and bar facilities.</p>
<p><i>Are designed so that amenities for the venue's non-gaming activities, including entrances and exits, toilets, meeting spaces and dining areas, can be accessed without entering the gaming area.</i></p>	<p>Satisfied - Access to all amenities of the hotel can be obtained without passing through the gaming area.</p>
<p><i>Do not operate for more than 18 hours per day, or beyond 2am.</i></p>	<p>Not Satisfied- The Social Economic Impact Statement provides an EGM Utilisation Survey from 7am-3am for a seven day period. This suggests that the venue is operating for more than 18 hours per day and beyond 2am.</p> <p>The existing VCGLR approvals at the land allow the operation of gaming machines between 7am-3am (Monday-Sunday).</p> <p>Given the proposal is for an additional 10 machines at the site, it is not considered reasonable to require the additional machines proposed to operate for a shorter period.</p> <p>In this instance, the hours of operation for the 10 additional machines is in line with the existing operations of the site, and it is not envisaged that allowing the additional machines to operate in line with the existing use of the land will cause any additional impact to the area.</p> <p>A condition will limit the hours of operation to between the hours of 7am-3am from (Monday-Sunday) and from 12pm (noon) to 12am (midnight) on Anzac Day and Good Friday</p>

<p><i>Will not have a significant adverse amenity impact on the adjoining land uses as a result of operating hours, traffic, noise, car parking, safety and security.</i></p>	<p>Satisfied - Given the Templestowe Hotel is a long established venue operating with fifty (50) electronic gaming machines and that existing planning permits and VCGLR approvals control the patron numbers and hours of operation at the venue, it is not considered that there will be adverse impacts to the adjoining residential properties.</p>
---	---

## Expenditure

- 6.55 The application is estimated to increase gaming expenditure in the hotel by \$774,963, with 50% of this figure being attributed to “transferred expenditure”.
- 6.56 Findings of the Gaming Expenditure Impact Analysis (prepared by Shine Wing Australia, dated 29 January 2019), indicates:

*“In the 2003 Victorian Longitudinal Community Attitudes Survey, Commission research has found the distance travelled by individuals to gaming venues is generally less than five kilometres with people tending to prefer their local area.*

*This research relating to the distance travelled to a gaming venue in metropolitan areas, indicates 59% of patrons travel less than 5 kilometres, and 39.7% travel less than 2.5 kilometres to attend a gaming venue. The research also suggests that the 6.5% of persons who travel more than 20 kilometres are likely to represent those persons who are visiting the area and/or persons resident in one of the LGAs with no EGMs who travel to nearby venues.*

*There are no competing gaming venues within a 2.5 kilometre radius of the Templestowe Hotel and 11 venues within a 5 kilometre radius.*

*We believe that a notional transfer rate of 50% is appropriate for adoption based on consideration of the following factors in totality:*

1. *There are 11 competitor venues within 5 kilometres;*
2. *Of the gaming patrons surveyed at the venue, approximately 74% reside in suburbs within the immediate catchment area (being Templestowe, Templestowe Lower, Bulleen, Doncaster and Eltham) to the Templestowe Hotel. This demonstrates that a material component of gaming patronage is localised.*
3. *A large portion of the gaming patrons who reside in those suburbs within close proximity would also have easy access to a high performing gaming competitors (e.g Shoppingtown Hotel), therefore with the increased availability of gaming machines at the Templestowe Hotel, it is highly likely that some of these residents would transfer their gaming patronage from this competitor venue to the Templestowe Hotel.*
4. *There would be patrons residing in areas within the LGA where there are currently no venues operating gaming machines as well as patrons residing in the immediate capture area who do not currently play gaming machines, or only play in part. As such, it is highly likely that some of these residents would undertake gaming activities at the Templestowe Hotel with an increased availability of gaming machines, and would not be transferring gaming expenditure from other venues.*

5. *As suggested by the gaming patron locality survey, there are a number of patrons frequenting the venue who do not reside in close proximity to the Templestowe Hotel. These patrons would subsequently visit the Templestowe Hotel and conduct an incidental gaming experience that they may otherwise have conducted at their local/preferred venue of choice."*
  6. *Given an equal weighting of these above factors, whilst the location of the venue would indicate a proportion of gaming expenditure will be derived from local patrons whose gaming expenditure (or part thereof) is not occurring at other venues, there will also be a component, of gaming expenditure derived from patrons who are currently conducting their gaming expenditure at competing venues within the State of Victoria, although not necessarily within the City of Manningham.*
- 6.57 An application requirement of Clause 22.18, states if the applicant contends that gaming expenditure is likely to be transferred from other venues, the applicant is to provide detail of how the transfer has been calculated, the amount of transfer expenditure anticipated and the resulting impact on revenue and employment of the venue where the expenditure is transferred.
- 6.58 The expenditure report submitted with the application concludes that 50% of additional expenditure would be transferred expenditure, equating to \$387,481 in the first 12 months of trade, post installation of the additional 10 electronic gaming machines.
- 6.59 The applicant submits that the transferred expenditure impact is spread across a number of venues and the largest impact on a singular venue is 1.31% of the 2018 gaming expenditure derived.
- 6.60 The transferred expenditure anticipated from the venues within close proximity to the Templestowe Hotel will not detrimentally impact the revenue or employment of these venues.

### **Community contributions**

- 6.61 In addition, to providing weekly food and beverage specials, including senior buffet meals, the venue currently provides the following annual cash contributions to the community:
- Bulleen Boomers: \$10,000
  - Templestowe Bowling Club: \$2,500
- 6.62 It is anticipated that the net machine revenue from the additional gaming machines will be \$130,334. The applicant submits that a proposed annual contribution to local community groups to the sum of \$40,000 will provide an overall net community benefit. This figure is thus slightly more than a 3% calculation which equates to \$39,100.20,
- 6.63 Agreements providing for community based cash contributions are commonplace inclusions in respect of planning approvals for gaming machine throughout Victoria. There is no prescribed rate for such a contributions and Council policy does not touch on this in terms of a dollar value or percentage of the net machine revenue.

- 6.64 The inclusion of a percentage of the net machine revenue will enable the agreement to run with the land for years. The impacts of inflation will result in the sum of \$40,000 depreciating in value over time, thus a percentage of the net machine revenue may be a more appropriate method to ensure ongoing community benefit for years to come.
- 6.65 The level of contribution may be deemed to be reasonable, given the machines are “topping up” an established gaming venue. It is proposed to manage the contribution through the establishment of a Section 173 Agreement. It is considered that the drafting of the agreement will state-

*“In addition to any voluntary contributions made to local community and sporting groups, an annual contribution to the sum of \$40,000 or 3% (whichever is greater) of the Net Machine Revenue (NMR) for each financial year of the additional ten (10) electronic gaming machines is to be distributed to local community group(s), as determined by Council.”*

- 6.66 Council’s Social Planner has suggested a 1.5% contribution of the net machine revenue of all sixty (60) machines could be explored. Given the applicant is currently providing an annual contribution to the Bulleen Boomers and Templestowe Bowling Club and that the application is only for additional machines at the site, it is not considered reasonable to require an annual payment derived from all 60 machines.
- 6.67 The applicant was provided an opportunity to increase their annual contribution in relation, but chose to only offer the \$40,000 for the additional 10 machines being applied for.
- 6.68 The annual contribution will not be a direct payment to Council, but rather to community project groups or organisations within the municipality. This payment could be directed to groups within the community most vulnerable to social isolation and socio-economic disadvantage or research and projects designed to address the harmful effects of gambling.
- 6.69 An annual cash contribution to community groups will provide net community benefit to these groups and organisations within the municipality.
- 6.70 Council’s Corporate Counsel and Group Manager Governance and Risk sighted the proposed wording of the agreement. No issues were raised in terms of the legality of establishing a Section 173 Agreement to this effect.

### **Heritage**

- 6.71 The relevant Statement of significance in respect of the Templestowe Hotel indicates that it is:
- “Of local significance as an early timber hotel, in form and materials retaining much of the characteristics of an 1870s country hotel, and one of only a few examples remaining within the metropolitan area; its significance is reduced to local by the extent of the changes to the building.”*
- 6.72 Clause 21.11 (Heritage) and Clause 43.01 (Heritage Overlay) seek to enhance cultural heritage through the retention and protection of significant buildings, precincts, trees and landscapes and minimise impacts on heritage places as a result of changes to adjoining land uses.

- 6.73 The proposal will not adversely affect the significance of the heritage place as there are no external works or vegetation removal proposed and the Templestowe Hotel is currently operating as a gaming venue.

#### **Particular Provisions**

- 6.74 Clause 52.28 – Gaming, seeks to ensure gaming machines are situated in appropriate locations/premises and that social and economic impacts are considered as part of any assessment on their suitability.
- 6.75 A purpose of this clause is to prohibit gaming machines in specified shopping complexes and strip shopping centres. The Schedule to Clause 52.28, sets out shopping complexes in Manningham where the installation or use of a gaming machine is prohibited. Prohibition also exists in all strip shopping centres.
- 6.76 Decision guidelines are provided at Clause 52.28-9. Apart from planning policy considerations regard must be given to compatibility with adjoining/nearby land uses, capability of the site to accommodate the proposal and whether the gaming premises provides a full range of services to patrons.
- 6.77 These matters have been considered through the assessment section of this report.

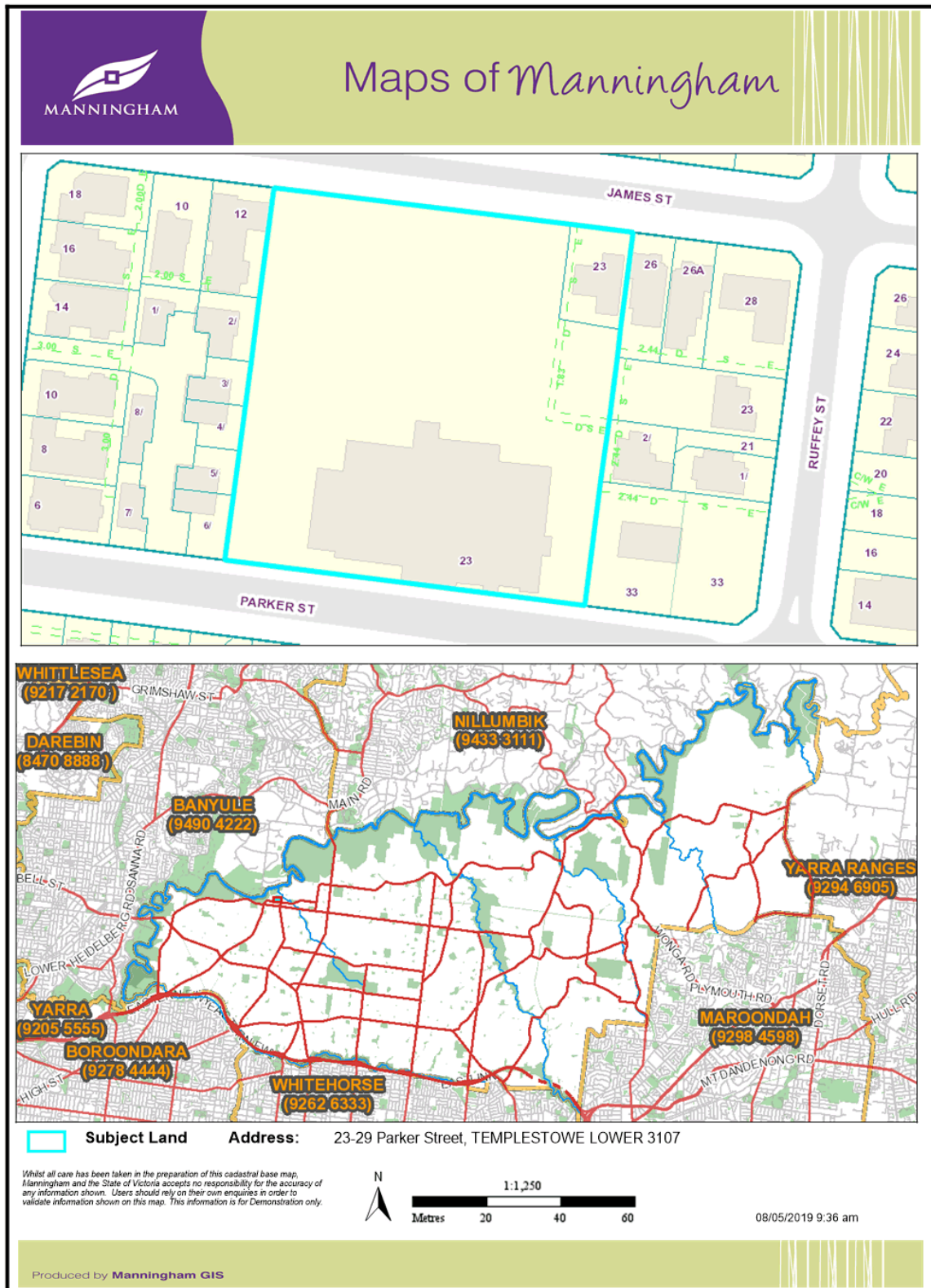
### **7. CONCLUSION**

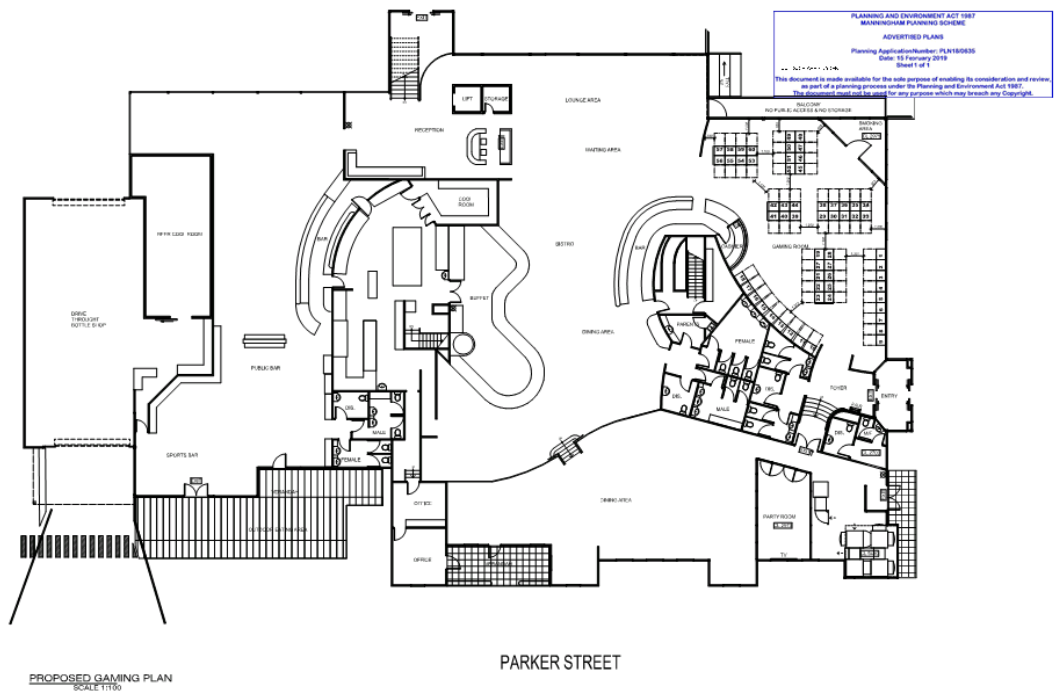
- 7.1 It is recommended that the application be supported, subject to conditions.

### **8. DECLARATION OF CONFLICT OF INTEREST**

- 8.1 No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.







PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application Number: PLN1505036  
 Date: 15 February 2019  
 Sheet 1 of 1  
 This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document shall not be used for any purpose which may breach any Copyright.

PROPOSED GAMING PLAN  
 SCALE 1:100

PARKER STREET



Edi Design Architecture Pty Ltd  
 12/14-18/19, 21/22, 23/24  
 12/13/14/15/16/17  
 24/25/26/27/28/29/30/31  
 32/33/34/35/36/37/38/39/40/41

No.	Description	Drawn By	Checked By	Date

Project: **TEMPLESTOWE HOTEL**  
 23-29 PARKER STREET  
 LOWER TEMPLESTOWE 3107

Drawn: **PROPOSED GAMING PLAN**

Project Name	Issue	Date	Author	Checked By	Scale

Sheet No: **GC02**  
 Total Sheets: **1408**

## 5. LEGISLATIVE REQUIREMENTS

### 5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### 5.2 MANNINGHAM PLANNING SCHEME

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.08 General Residential Zone, Schedule 3
- Clause 43.01 Heritage Overlay, Schedule HO130
- Clause 52.28 Gaming
- Clause 65 Decision Guidelines

#### Zones

##### Clause 32.08 General Residential Zone (Schedule 3)

The *purpose* of the General Residential Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework;*
- *To encourage development that respects the neighbourhood character of the area;*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport;*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

#### Overlays

##### Clause 43.01 Heritage Overlay (Schedule HO130)

The *policy purpose* is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework;*
- *To conserve and enhance heritage places of natural or cultural significance;*

- To conserve and enhance those elements which contribute to the significance of heritage places;
- To ensure that development does not adversely affect the significance of heritage places;
- To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

The requirements of this overlay apply to both the heritage place and its associated land:

PS Map Ref	Heritage Place	External Paint Controls Apply?	Internal Alteration Controls Apply?	Tree Controls Apply?	Outbuildings or fences which are not exempt under Clause 43.01-3	Included on the Victorian Heritage Register under the Heritage Act 1995?	Prohibited uses may be permitted?	Name of Incorporated Plan under Clause 43.01-2?	Aboriginal heritage place?
HO130	Templestowe Hotel- 23-29 Parker Street, Templestowe	No	No	Yes	No	No	No	-	No

## Planning Policy Framework

### Clause 13.02-1S Bushfire Planning

The policy objective is:

- To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

### Clause 17.01-1R Diversified economy- Metropolitan Melbourne

The policy strategies are:

- To facilitate the development of National Employment and Innovation Clustered by ensuring they are supported by good public transport services and integrated walking and cycling paths;

### Clause 17.01-1S Diversified Economy

The policy objective is:

- To strengthen and diversify the economy.

The policy strategy is:

- To improve access to jobs closer to where people live.

### Clause 17.02-1S Business

The policy objective is:

- To encourage development that meets the community's needs for retail, entertainment, office and other commercial services.

## Local Planning Policy Framework

### Municipal Strategic Statement

#### Clause 21.11 Heritage

The policy objective is:

- *To enhance cultural heritage through the retention and protection of significant buildings, precincts, trees and landscapes.*

#### Clause 21.14 Community Health and Well-Being

The relevant policy objective is:

- *To minimise adverse impacts associated with the location and operation of gaming venues and machines.*

## Local Planning Policy

### Clause 22.06 Eating and Entertainment Premises Policy

This policy applies to the use and development of land for eating and entertainment premises.

This Clause sets policy direction for the use of land for entertainment purposes.

### Clause 22.18 Gaming

This policy applies to all applications to install or use a gaming machine or use land for the purpose of gaming.

This policy identifies that gaming machine gambling is a legal form of recreation for adult members of the community and needs to be planned for among other forms of entertainment available within Manningham. While gaming can bring social and economic benefits, problem gambling can also have negative impacts on some individuals, their families and the broader community. In response to these potential negative impacts, Manningham has adopted a policy based on the principle of harm minimisation.

The policy objectives are:

- *To ensure that the social and economic impacts of gaming are considered when determining applications for gaming venues and machines.*
- *To support the social and economic wellbeing of Manningham's communities.*
- *To locate gaming machines in a manner consistent with Manningham's activity centre hierarchy as part of the overall range of entertainment facilities and activities available in the municipality.*
- *To ensure that gaming venues and machines are located, designed and operated in a manner that minimises opportunities for convenience gaming.*
- *To discourage the location of gaming machines where they are readily accessible from or highly exposed to disadvantaged areas or gambling-sensitive uses.*
- *To ensure that gaming venues and machines are located, designed and operated so the community has a choice of non-gaming entertainment and recreation facilities and activities within the gaming venue and in the local area.*
- *To protect the operation and amenity of existing uses surrounding gaming venues.*

### Particular Provisions

#### Clause 52.28 Gaming

The policy *purpose* is:

- *To ensure that gaming machines are situated in appropriate locations and premises.*
- *To ensure the social and economic impacts of the location of gaming machines are considered.*
- *To prohibit gaming machines in specified shopping complexes and strip shopping centres.*

(Schedule to Clause 52.28 Gaming)

Pursuant to Table 1 of paragraph 1.0 of the Schedule, the installation or use of a gaming machine is prohibited on the following land:

<b>Name of shopping complex and locality</b>	<b>Land description</b>
Westfield Doncaster Shoppingtown, Doncaster	Land on the northeast corner of Doncaster Rd and Williamsons Rd, Doncaster
The Pines Shopping Centre, Doncaster East	Land on the northeast corner of Blackburn Rd and Reynolds Rd, Doncaster East
Bulleen Village Shopping Centre, Bulleen	Land on the northwest corner of Grant Olson Avenue and Manningham Rd, Bulleen

As specified in Clause 52.28-4, a gaming machine is prohibited in all strip shopping centres on land covered by this planning scheme.

### General Provisions

#### Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

### 9.3 Planning Application PLN18/0304 at 15 Glendale Avenue, Templestowe for the construction of eight, two-storey dwellings

File Number:	IN19/253
Responsible Director:	Director City Planning and Community
Applicant:	Advanced Choice Property Group
Planning Controls:	General Residential Zone, Schedule 2; Design and Development Overlay Schedule 8-3 (Sub-precinct B)
Ward:	Heide
Attachments:	1 Decision Plans <a href="#">↓</a>
	2 Legislative Requirements <a href="#">↓</a>

#### EXECUTIVE SUMMARY

##### Purpose

1. This report provides Council with an assessment of the planning permit application submitted for the land at 15 Glendale Avenue, Templestowe and recommends approval of the submitted proposal, subject to amendments that will be addressed by way of permit conditions. The application is being reported to Council due to the extent of interest from the community in response to the application being advertised.

##### Proposal

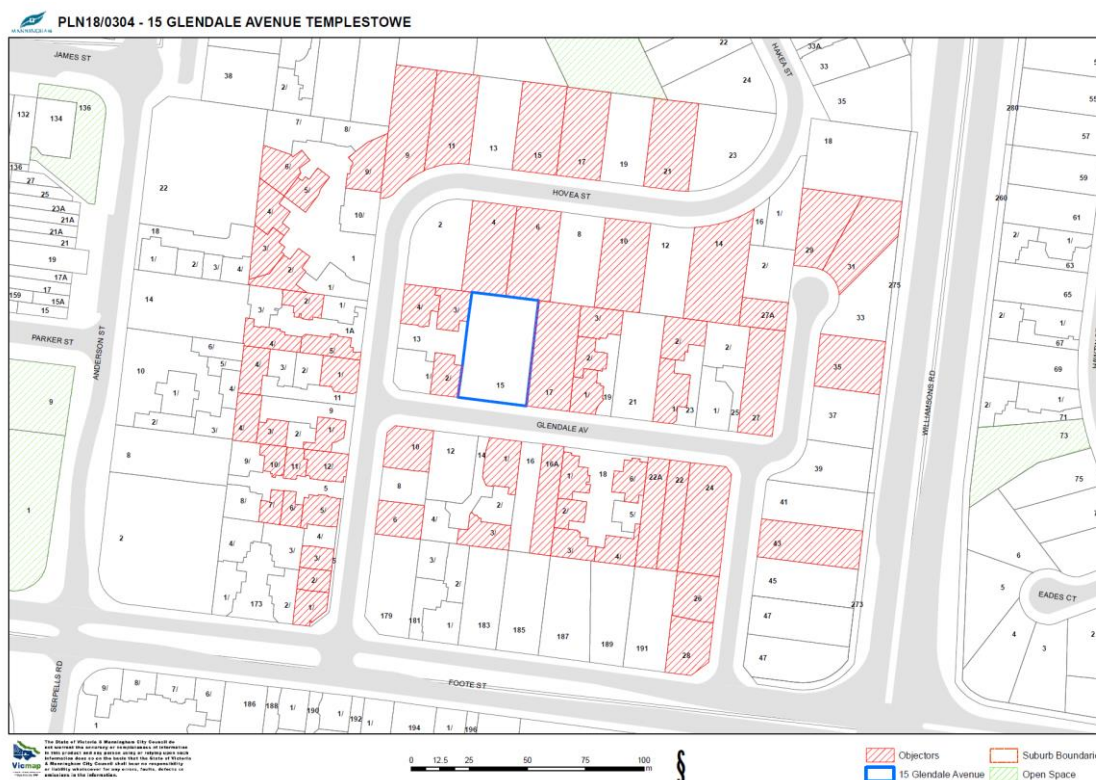
2. The proposal involves the demolition of the existing single dwelling and the construction of eight, two-storey dwellings, each with single, at-grade garages.
3. The eight dwellings are arranged in two rows of four, along the eastern and western boundaries of the site. A central common driveway runs between the dwellings, with an uncovered visitor car parking space provided at the end of the driveway.
4. The land has a total area of 1,323 square metres. The development has an overall site coverage of 46.7%, site permeability of 30.2% and achieves a garden area of 35.6%. The maximum height of the development is 8.335 metres (north elevation). A total of 17 on-site car spaces are provided; a single garage providing two car spaces within via the use of a mechanical parking system (car stacker), and one visitor space.

##### Advertising

5. Notice of the application was originally given over a two week period which concluded on 7 November 2018.
6. Following an amendment to the application pursuant to Section 57A of the *Planning and Environment Act 1987*, the application was readvertised. This second two week notification period concluded on 13 February 2019.



7. To date, 75 objections have been received over the two notification periods. They include issues relating to car parking (use of car stackers), traffic, neighbourhood character, overshadowing, loss of views, safety, overlooking, visual bulk, on-site amenity, landscaping, impacts during construction, overdevelopment (including setting a precedent), energy efficiency, loss of property values, and boundary fencing.
8. The location of most objectors are shown by the indicators on the map below, with one additional objection being received from a property that is not within proximity of the site.



**Key issues in considering the application**

9. The key issues for Council in considering the proposal relate to:
  - Planning Policy Frameworks;
  - Design and built form;
  - Two or more dwellings on a lot and residential buildings;
  - Car parking and traffic; and
  - Objector Concerns.

**Assessment**

10. The development of the land for eight, two-storey dwellings is consistent with the Planning Policy Frameworks, Zone, Overlay and relevant Particular Provisions of the Manningham Planning Scheme (the Scheme).
11. Subject to the recommended conditions, the proposal complies with the objectives of Clause 55 (two or more dwellings on a lot and residential buildings), the design requirements of Schedule 8 to the Design and Development Overlay, and provides an appropriate response to both its physical site context and strategic policy context.



12. The proposed car parking arrangement is consistent with the requirements of Clause 52.06 (Car parking) of the Scheme, and has been determined by Council's Infrastructure Services Unit to be satisfactory subject to conditions.

### Conclusion

13. It is recommended that the application be supported, subject to conditions.

Having declared a conflict of interest in items 9.1 and 9.3, Councillor Piccinini left the meeting at 7:40pm prior to consideration of Item 9.1 and returned to the meeting at 8:19pm after Items 9.1 and 9.3 had been finalised. Cr Piccinini took no part in the discussion or voting on these items.

### MOTION

**MOVED: CR GEOFF GOUGH**  
**SECONDED: CR ANDREW CONLON**

**That Council:**

- A. Having considered all objections issue a Notice of Decision to Grant A Permit in relation to Planning Application PLN18/0304 at 15 Glendale Avenue, Templestowe for the construction of eight, two-storey dwellings, subject to the following conditions -**

#### **Amended Plans**

- 1. Before the development starts, amended plans drawn to scale and dimensioned, must be submitted via email and approved by the Responsible Authority. When approved the plans will then form part of the permit. The plans must be generally in accordance with the decision plans (*prepared by Tom Motta Building Designer, dated 15 January 2019*), but modified to show:**

#### **Dwelling 1**

- 1.1 A new highlight west-facing window to Bedroom 4, with a minimum sill height of 1.7 metres above finished floor level;**  
**1.2 A new highlight east-facing window to Bedroom 1 with a minimum sill height of 1.7 metres above finished floor level;**

#### **Dwellings 2 and 3**

- 1.3 A minimum one metre separation at ground floor between Dwellings 2 and 3 without encroaching any other setbacks;**  
**1.4 A minimum 2 metre separation at first floor between Dwellings 2 and 3 without encroaching any other setbacks;**  
**1.5 Bedroom 3 of both Dwellings 2 and 3 set back at least a further 500mm from the western boundary;**  
**1.6 The Bedroom 3 window of Dwelling 2 notated as fixed obscure glazed on the west elevation so it is consistent with the upper floor plan;**  
**1.7 The roof form modified to follow the alignment of the walls on the west elevation;**

**Dwellings 4 and 8**

- 1.8 The Dwelling 4 upper level bathroom set back at least a further 500mm from the western boundary;
- 1.9 The Dwelling 4 garage relocated one metre towards the western boundary;
- 1.10 The Dwelling 8 garage relocated one metre towards the eastern boundary;
- 1.11 A north-facing highlight window to the living room for both Dwellings 4 and 8, with a minimum sill height of 1.7 metres above finished floor level;
- 1.12 The first floor north facing Bedroom 2 walls set back at least 3.425 metres or lowered in height to comply with Standard B17 of Clause 55.04-1 of the Scheme;
- 1.13 The north facing kitchen window of both Dwellings 4 and 8 are fixed obscure glazed;

**Dwelling 5**

- 1.14 A new highlight east-facing window to Bedroom 4, with a minimum sill height of 1.7 metres above finished floor level;
- 1.15 A new highlight west-facing window to Bedroom 1 with a minimum sill height of 1.7 metres above finished floor level;

**Dwellings 6 and 7**

- 1.16 A minimum one metre separation at ground floor between Dwellings 6 and 7 without encroaching any other setbacks;
- 1.17 A minimum 2 metre separation at first floor between Dwellings 6 and 7 without encroaching any other setbacks;
- 1.18 The upper level bathroom and ensuite for Dwellings 6 and 7 set back at least a further one metre from the eastern boundary;
- 1.19 Bedroom 3 set back at least a further 500mm from the eastern boundary;
- 1.20 The roof form modified to follow the alignment of the walls on the east elevation;

**Dwellings 7 and 8**

- 1.21 A minimum 2 metre separation at first floor between Dwellings 7 and 8 without encroaching any other setbacks;
- 1.22 The Dwelling 8 upper level bathroom set back at least a further one metre from the eastern boundary;

**Built form and fencing**

- 1.23 The internal west elevation of the development;
- 1.24 All windows clearly shown on the first floor site plan;
- 1.25 Boundary fencing along the eastern and western boundaries to be 1.7 metres above the finished floor level of all habitable room windows;

- 1.26 Solar / weather protection measures above all sliding doors accessing the ground level decks and all north and west-facing habitable room windows, except for the north-facing ground floor kitchen window of Dwellings 4 and 8;**

**Materials**

- 1.27 The north, east and west external upper floor walls of Dwellings 2, 3, 4, 6, 7 and 8 provided with varying materials, colours, and/or architectural features to correspond with the architectural style and details of the south (street) elevation to the satisfaction of the Responsible Authority;**

- 1.28 A schedule including colour samples of the materials, colours and finishes of all external walls, roofs, fascias, architectural features/accents, fencing, window frames, and paving (including driveway surfacing);**

**Access and car parking**

- 1.29 The crossover width reduced to align with the driveway;**
- 1.30 The visitor car parking space increased in width by one metre, by reducing the length of both Dwellings 4 and 8 by 500mm without encroaching any other setbacks;**
- 1.31 The width of the landscaping strips adjacent to the kitchen windows of Dwellings 2, 3, 6 and 7 at least 1.5 metres in width;**
- 1.32 Headroom clearance of all garage openings shown on the internal elevations;**
- 1.33 A notation to indicate where signage will be provided to identify the visitor car space;**
- 1.34 Landscaping strips around the visitor car parking space;**

**Mechanical parking**

- 1.35 The model number and specifications of the mechanical parking system provided within the garages, which must incorporate pits that allow direct vehicle access from the driveway to either level;**
- 1.36 The location and dimensions of the mechanical parking system within the garages, including the location and dimensions of the pits and shafts;**
- 1.37 A cross section diagram to show the depth of the pit and required height clearance for the mechanical parking system within the garages;**
- 1.38 Details of the mechanical parking system to demonstrate at least 25% of the spaces can accommodate a vehicle height of at least 1.8 metres, as per Design Standard 4 in Clause 52.06-9 of the Scheme;**
- 1.39 The under stairwell internal storage doors within the garages of Dwellings 2 and 6 removed or replaced with sliding doors;**

1.40 The driveway gradients leading into the garages specified to ensure that gradients are not steeper than the relevant specifications required for the mechanical parking systems to the satisfaction of the Responsible Authority;

1.41 Any acoustic measures required in accordance with the Acoustic Assessment as per Condition 5 of this permit;

#### Open Space

1.42 The paved areas within the front setback of Dwellings 1 and 5 around the porch and the associated path to the side gate deleted in lieu of landscaping, with retaining walls relocated as necessary to the satisfaction of the Responsible Authority;

1.43 Retaining walls set back at least 500mm from the western and eastern site boundaries where practicable, to the satisfaction of the Responsible Authority;

1.44 Services/equipment including storage sheds, clotheslines and water tanks relocated away from site boundaries where practicable to the satisfaction of the Responsible Authority;

1.45 Location of bin storage for each dwelling, which must not be within the garages;

1.46 Details of tree protection measures to be implemented for all existing vegetation within adjoining properties, as per Conditions 14 and 15 of this permit;

1.47 A new 2 metre high paling fence on the northern, eastern and western site boundaries;

1.48 An elevation showing the height and design of the mail and electrical meter boxes, which must not be greater than 900mm in height if located within the visibility splay areas;

1.49 The location of any utilities and service equipment on the frontage, with design details of any screening measures to complement the overall development where practicable to the satisfaction of the Responsible Authority;

1.50 A plan notation to indicate that the front fence will be at least 50% transparent and a detailed elevation provided;

1.51 Sensor lights provided above porch entries and garage openings;

#### Sustainable Design Assessment

1.52 A notation to indicate that the development must be constructed in accordance with the Sustainable Design Assessment required by Condition 3 of this permit;

1.53 All plan notations required by the Sustainable Design Assessment required by Condition 3 of this permit;

#### Waste Management

1.54 A notation to indicate that the development must be managed in accordance with the Waste Management Plan required by Condition 4 of this permit;

**Garden Area**

- 1.55 An updated Garden Area percentage as a result of any changes to the proposal required by the above conditions to demonstrate compliance with the Manningham Planning Scheme.

**Endorsed Plans**

2. The development as shown on the approved plans must not be altered without the written consent of the Responsible Authority.

**Sustainable Design Assessment**

3. The development must be constructed in accordance with the Sustainable Design Assessment approved and forming part of this permit (prepared by Northern Environmental Design, dated 6 August 2018), and all of its requirements must be implemented and complied with at all times to the satisfaction of the Responsible Authority, unless with the further written approval of the Responsible Authority.

**Waste Management Plan**

4. Before the review of plans under Condition 1 of this permit, a Waste Management Plan must be prepared and submitted to the Responsible Authority. The plan must demonstrate how waste and recycling is to be managed and collected by a private contractor within the site. This includes details on how the waste collection vehicle can enter and exit the site in a forward direction. When approved, the Waste Management Plan will form part of the permit and all of its requirements must be implemented and complied with at all times to the satisfaction of the Responsible Authority, unless with the further written approval of the Responsible Authority.

**Mechanical Parking**

5. Before development starts, an Acoustic Assessment of the development must be submitted to the Responsible Authority. The assessment must be prepared by a suitably qualified acoustic engineer and must detail recommended treatments of the mechanical parking system to ensure that:
  - 5.1 Noise emissions from the operation of the mechanical parking system and roller doors do not impact adversely on the amenity of dwellings within the development and neighbouring residential properties.
  - 5.2 Details of any controls to the operation of the mechanical parking systems required to minimise noise impacts off site.
6. The development must be constructed and maintained in accordance with the requirements / recommendations of the approved Acoustic Assessment to the satisfaction of the Responsible Authority.
7. Upon request of the Responsible Authority, an acoustic review to verify ongoing compliance with Condition 5 must be undertaken at the land owner's cost to the satisfaction of the Responsible Authority. In the event that the nominated decibel levels are not being met, the acoustic expert must recommend further noise attenuation measures, which must be implemented on site, to ensure compliance with the condition to the satisfaction of the Responsible Authority.

8. The mechanical parking systems must be maintained in a good working order and be permanently available for the parking of vehicles in accordance with their purpose to the satisfaction of the Responsible Authority.

#### Completion

9. Before the occupation of the approved dwellings, landscaped areas must be fully planted and mulched or grassed generally in accordance with the approved plan and to the satisfaction of the Responsible Authority.
10. Privacy screens and obscure glazing as required in accordance with the approved plans must be installed prior to occupation of the building to the satisfaction of the Responsible Authority and maintained thereafter to the satisfaction of the Responsible Authority. The use of obscure film or spray fixed to transparent windows is not considered to be 'obscure glazing' or an appropriate response to screen overlooking.

#### Landscape Plan

11. Before the development starts, a landscaping plan prepared by a landscape architect or person of approved competence must be submitted via email to the Responsible Authority for approval. Such plan must be generally in accordance with the plan approved under Condition 1 of this permit, and must show:
  - 11.1 Any changes to the development layout required under Condition 1 of this permit as relevant;
  - 11.2 Species, locations, approximate height and spread of proposed planting and the retention of existing trees and shrubs, where appropriate or as directed by any other condition of this Permit;
  - 11.3 Details of soil preparation and mulch depth for garden beds and surface preparation for grassed areas;
  - 11.4 Fixed edge strips for separation between grassed and garden areas and/or to contain mulch on batters;
  - 11.5 A sectional detail of the canopy tree planting method which includes support staking and the use of durable ties;
  - 11.6 A minimum of one (1) canopy tree, capable of reaching a minimum mature height of 8 metres, within each of the front setbacks of Dwelling 1 and 5. The trees must be a minimum height of 1.5 metres at the time of planting;
  - 11.7 A minimum of one (1) canopy tree, within the private open space of each dwelling, capable of reaching a minimum mature height of 4 metres. The trees must be a minimum height of 1.5 metres at the time of planting;
  - 11.8 Screen planting along the north, east and west boundaries, capable of reaching a minimum mature height of 3 metres and to be a minimum height of 0.5 metres at the time of planting;
  - 11.9 Planting within 2 metres along the frontage from the edge of the driveway(s) and 2.5 metres along the driveway(s) from the frontage to be no greater than 0.9 metres in height at maturity.

The use of synthetic grass as a substitute for open lawn area within secluded private open space or a front setback will not be supported. Synthetic turf may be used in place of approved paving decking and/or other hardstand surfaces.

#### **Landscape Bond**

12. Before the review of development plans under Condition 1 of this permit, a \$10,000 cash bond or bank guarantee must be lodged with the Responsible Authority to ensure the completion and maintenance of landscaped areas and such bond or bank guarantee will only be refunded or discharged after a period of 13 weeks from the completion of all works, provided the landscaped areas are being maintained to the satisfaction of the Responsible Authority.

#### **Vegetation**

13. No vegetation, apart from that shown on the approved plan as vegetation to be removed may be felled, destroyed or lopped without the written consent of the Responsible Authority.
14. All existing trees shown on the approved plan as being retained (including those within adjoining properties in close proximity to site boundaries), must be provided with a protective barrier erected a minimum of 1 metre from the trunk to assist in the preservation of such vegetation. Such barriers must be constructed before the works start on site and be maintained to the satisfaction of the Responsible Authority during construction.
15. The following actions must not be undertaken in any vegetation protection zone to the satisfaction of the Responsible Authority:
  - 15.1 The storage of materials or equipment;
  - 15.2 The disposal of any contaminated waste water;
  - 15.3 The use of a tree for temporary attachment of wiring or such like;
  - 15.4 Open cut trenching, or excavation works (whether or not for the laying of services);
  - 15.5 Changes to the soil grade level.
16. The owner must ensure that contractors/tradespersons who install services or work near the vegetation to be retained are made aware of the need to preserve the vegetation and to minimise impacts through appropriate work practices.

#### **Stormwater – On-site detention (OSD)**

17. The owner must provide on-site storm water detention storage or other suitable system (which may include but is not limited to the re-use of stormwater using rainwater tanks), to limit the Permissible Site Discharge (PSD) to that applicable to the site coverage of 35 percent of hard surface or the pre-existing hard surface if it is greater than 35 percent. The PSD must meet the following requirements:
  - 17.1 Be designed for a 1 in 5 year storm; and
  - 17.2 Storage must be designed for 1 in 10 year storm.

**Construction Plan (OSD)**

18. Before the development starts, a construction plan for the system required by Condition 17 of this permit must be submitted to and approved by the Responsible Authority. The system must be maintained by the Owner thereafter in accordance with the approved construction plan to the satisfaction of the Responsible Authority.

**Drainage**

19. Stormwater must not be discharged from the subject land other than by means of drainage to the legal point of discharge. The drainage system within the development must be designed and constructed to the requirements and satisfaction of the relevant Building Surveyor. A connection to Council maintained assets must not be constructed unless a Connection to Council Drain Permit is first obtained from the Responsible Authority.
20. The whole of the land, including landscaped and paved areas must be graded and drained to the satisfaction of the Responsible Authority, to prevent ponding and to minimise overland flows onto adjoining properties.

**Site Services**

21. All services, including water, electricity, gas, sewerage and telephone, must be installed underground and located to the satisfaction of the Responsible Authority.
22. All external services including pipes must be concealed and screened respectively to the satisfaction of the Responsible Authority.
23. Communal lighting must be connected to reticulated mains electricity and be operated by a time switch, movement sensors or a daylight sensor to the satisfaction of the Responsible Authority.
24. Any reverse cycle air-conditioning unit, hot water boosters or other service plant erected on the walls of the approved dwellings must be appropriately designed and finished with screening if necessary to minimise general visual impacts from off the site to the satisfaction of the Responsible Authority.

**Vehicle Crossings and Accessways**

25. Prior to occupation of the approved dwellings, any new or modified vehicular crossover must be constructed in accordance with the plans endorsed under Condition 1 of this permit to the satisfaction of the Responsible Authority.
26. Redundant vehicle crossovers must be removed and the footpath, nature strip and kerbing reinstated to the satisfaction of the Responsible Authority.

**Car Parking**

27. The visitor car parking space must be clearly signed and must not be used for any other purpose to the satisfaction of the Responsible Authority.



**Fencing**

28. Prior to the occupation of the approved dwellings, all fencing must be erected in good condition in accordance with the plans endorsed under Condition 1 of this permit at the cost of the permit holder, to the satisfaction of the Responsible Authority.

**Retaining Walls**

29. All retaining walls must be constructed and finished in a professional manner to ensure a neat presentation and longevity to the satisfaction of the Responsible Authority.

**Maintenance**

30. Buildings, paved areas, drainage and landscaping must be maintained to the satisfaction of the Responsible Authority.

**Construction Management**

31. The owner must use appropriate site management practices to prevent the transfer of mud, dust, sand or slurry from the site into drains or onto nearby roads. In the event that a road or drain is affected, the owner must upon direction of the Responsible Authority take the necessary steps to clean the affected portion of road or drain to the satisfaction of the Responsible Authority.
32. The extent and depth of cut and fill must not exceed that shown on the approved plan without the written consent of the Responsible Authority.

**Permit Expiry**

33. This permit will expire if one of the following circumstances applies:
- 33.1 The development is not started within two (2) years of the date of this permit; and
  - 33.2 The development is not completed within four (4) years of the date of this permit.

The Responsible Authority may extend the periods referred to if a request is made in writing by the owner or occupier either before the permit expires or in accordance with Section 69 of the Planning & Environment Act 1987.

**PROCEDURAL MOTION**

**MOVED:** CR PAUL MCLEISH  
**SECONDED:** CR MICHELLE KLEINERT

That Councillor Gough be permitted an extension of time to speak in accordance with clause 44.6 of the Manningham City Council Meeting Procedure Law 2017.

**CARRIED**

**THE SUBSTANTIVE MOTION WAS PUT AND LOST ON THE CASTING VOTE OF THE CHAIR.**

**COUNCIL RESOLUTION**

**MOVED:** CR MICHELLE KLEINERT  
**SECONDED:** CR MIKE ZAFIROPOULOS

That Council:

Having considered all objections, issue a **NOTICE OF REFUSAL** in relation to Planning Application PLN18/0304 at 15 Glendale Avenue, Templestowe for the construction of eight, two-storey dwellings on the following grounds:

1. The proposal fails to respect the character of the area, particularly given the continuous built form, mass and scale.
2. The proposal will result in limited landscaping opportunities as a result of paved areas in the front setback and decking.
3. The driveway layout and parking arrangement at the rear of the site does not provide for convenient and efficient vehicle movements.
4. The proposal results in overlooking concerns to adjacent properties.

**CARRIED**

Councillor Piccinini returned briefly to the meeting at 8:14pm after the vote on Item 9.3. Councillor Gough advised that he would like to move a supplementary motion to Item 9.3. Councillor Piccinini left the meeting room at 8:15pm and returned at 8:19pm. Cr Piccinini took no part in the discussion or voting on the supplementary motion to Item 9.3.

Councillor Chen assumed the Chair.

**SUPPLEMENTARY MOTION**

**MOVED:** CR GEOFF GOUGH  
**SECONDED:** CR DOT HAYNES

That Council immediately undertake:

- A. a parking precinct plan and investigate permit areas for the areas surrounding Glendale Avenue, Templestowe; and
- B. enquire about the use of garages as storage areas in multi density units and banning it to be used as storage in multi density units.

**CARRIED**

## 2. BACKGROUND

- 2.1 No planning permits have been previously granted for the site.
- 2.2 The application was submitted to Council on 11 May 2018, for the construction of 12, three-storey dwellings.
- 2.3 A request for further information was sent on 7 June 2018. The letter also raised a number of concerns with the proposal relating to the three-storey scale, neighbourhood character, off-site amenity impacts (including visual bulk), on-site amenity impacts, limited landscaping and driveway design.
- 2.4 All requested further information was received by Council on 17 October 2018. The proposal was amended at this time to ten dwellings (eight, three-storey and two, two-storey dwellings) under Section 50 of the *Planning and Environment Act 1987*.
- 2.5 Notice was given over a 2 week period, which concluded on 7 November 2018.
- 2.6 An application to amend the proposal under Section 57A of the *Planning and Environment Act 1987* was submitted on 4 December 2018.
- 2.7 A request for further information was sent on 20 December 2018, and the amended plans were subsequently submitted on 21 January 2019 showing the following changes:
  - Reduction to the number of dwellings from 10 to 8;
  - Reduction in building height and the number of storeys from 3 to 2;
  - Variation to building setbacks, building footprints, dwelling layouts and incorporation of building separation at first floor;
  - Revised architectural presentation and design detailing; and
  - Provision of a single garage incorporating a car stacker to accommodate two vehicles for each dwelling.
- 2.8 Notice of the amended proposal was given over a 2 week period, which concluded on 13 February 2019.
- 2.9 The statutory time for considering a planning application is 60 days, which lapsed on 6 April 2019.
- 2.10 A consultation meeting was held on 2 May 2019, attended by both the applicant and objectors.
- 2.11 The land title is not affected by any covenants or 173 Agreements.

## 3. THE SITE AND SURROUNDS

### The Site

- 3.1 The site is situated on the northern side of Glendale Avenue, approximately 28 metres from the intersection with Hovea Street to the west, and approximately 105 metres north of Foote Street.

- 3.2 The site is rectangular in shape, with a frontage and rear dimensions of 28.95 metres, side boundary dimensions of 45.72 metres, and an area of 1,323 square metres. The site has an approximate fall of 4 metres from south (front) to north (rear).
- 3.3 The site contains a single storey rendered brick dwelling located in the southern half of the property. The dwelling has a tiled gable roof, with a detached metal double garage. The garage is accessed via a concrete driveway and crossover adjacent to the eastern boundary. A second concrete driveway and crossover is located adjacent to the western boundary.
- 3.4 The vegetation on the site is relatively sparse, with some medium sized trees located adjacent to the eastern and western boundaries and in the front setback. The remainder of the land consists predominately of open lawn with some smaller shrubs dispersed throughout.
- 3.5 A 1.83 metre wide drainage easement runs along the northern boundary of the site.
- 3.6 There is no existing front fence along the Glendale Avenue frontage. Side and rear fencing consists of 1.6 metre high chain wire mesh along the eastern boundary, and 1.6 metre high palings along the north and west boundaries. A street tree is located near the centre of the frontage, and an electricity pole and Telstra pit are located immediately west of the eastern most crossover.

### The Surrounds

- 3.7 The site has direct abutments with the following properties:

Direction	Address	Description
North	4 Hovea Street	This lot comprises a single storey red brick dwelling with an undercroft garage and a tiled pitched roof. The dwelling is setback 14.165 metres from the common boundary along with secluded private open space.
	6 Hovea Street	This lot comprises a single storey red brick dwelling with an undercroft garage and a tiled pitched roof. The dwelling is setback 13.62 metres from the common boundary along with secluded private open space.
East	17 Glendale Avenue	This lot comprises a single storey brick dwelling with a flat galvanised iron roof and undercroft garage. The minimum building setback to the common boundary is 1.7 metres. One window faces the subject site.
West	13 Glendale Avenue	This property has been developed with four dwellings. Unit 2 abuts the southern part of the western boundary and is developed with a double storey brick dwelling with a pitched tiled roof and a brick garage on the common boundary. The private open space is located to the south of the dwelling adjacent to Glendale Avenue.

		<p>Unit 3 abuts the northern part of the western boundary and is developed with a double storey brick dwelling with a pitched tiled roof and a brick garage on the common boundary. The private open space is located to the north of the dwelling.</p> <p>The common driveway that serves the four dwellings abuts the central section of the western boundary.</p>
--	--	--

- 3.8 The character of the broader area is mixed. To the north and east there are a number of single and two-storey unit developments, as well as a number of older single storey dwellings with undercroft garages due to the sloping topography. The predominant external finishes include a range of brick and render, with mostly tiled pitched roofs with some examples of other roofing styles and materials.
- 3.9 To the south and west the character transitions to a more intensive built form generally in accordance with the variance in planning policy. In this nearby area, the prevalence of semi-attached dwellings increases, along with apartment building typology.
- 3.10 The site is in close proximity to two main arterial roads, being Foote Street and Williamsons Road.
- 3.11 There are no on-street parking restrictions along this section of Glendale Avenue, although there are several painted line markings along the south side of the street indicating 'no-standing' areas. Nearby parking restrictions include timed 'no-standing' signs within Glendale Avenue near the Foote Street intersection, and several other 'no-standing' signs further north along Hovea Street where it curves towards the east.
- 3.12 A number of bus stops are located within walking distance of the subject site with routes that cover a large variety of destinations across Melbourne. The routes include buses stopping at the corner of Anderson and Parker Streets (279 Box Hill – Doncaster), at the corner of Foote Street and Williamsons' Road (901 Melbourne Airport - Frankston) and multiple routes running through stops in Templestowe Village to the west – including the 905 to the City. There are also multiple public open space areas generally within 300 metres of the site including Verbena Reserve, Kelly's Corner and Hawtin Reserve, and the Manningham Templestowe Leisure Centre is also within a similar proximity.

#### 4. THE PROPOSAL

- 4.1 The proposal is outlined in plans prepared by Tom Motta Building Designer, project number 001, dated 15 January 2019. Refer to Attachment 1.
- 4.2 The following reports were submitted in support of the application:
- Planning Report (prepared by Tom Motta, dated 21 January 2019);
  - Sustainability Management Plan (prepared by Northern Environmental Design, dated 6 August 2018);
  - Waste Management Plan (prepared by Northern Environmental Design, dated 6 August 2018);
  - Green Travel Plan (prepared by Northern Environmental Design, dated 6 August 2018).

4.3 A summary of the development is provided as follows:

Land Size:	1,323.6m <sup>2</sup>	Minimum wall setback to South:	Ground: 6.04m Level 1: 6.115m
Site Coverage:	46.7%	Front setback	
Permeability:	30.2%		
Proposed maximum building height:	8.335m	Minimum wall setback to North:	Ground: 2.41m Level 1: 2.49m
Number of Dwellings:	8	Minimum wall setback to East:	Ground: 3m Level 1: 3m
• 3 Beds:	• 6		
• 4 Beds:	• 2		
Dwelling Density:	One per 165.825m <sup>2</sup>		
Car parking:	Provided: 2 spaces per dwelling	Minimum wall setback to West:	Ground: 3m Level 1: 3.075m
• Total	• 17 spaces		
• 3 Beds:	• 12		
• 4 Beds:	• 4		
• Visitor:	• 1		

### Design Layout

- 4.4 The 8 dwellings are arranged in two rows of four running north-south along the property, with a central common driveway. Both the ground and first floors of the dwellings are attached, except for a 1.4 – 2.2 metre wide gap in the centre of the upper level of each row (between Dwellings 2 and 3, and Dwellings 6 and 7).
- 4.5 The ground floor of each dwelling contains the main living area, kitchen, outdoor private open space and deck, a toilet, laundry and single garage incorporating a car stacker. Dwellings 1 and 5, which both address Glendale Avenue, also incorporate a bedroom at ground level.
- 4.6 The first floor of each dwelling each has three bedrooms and bathrooms, with Dwellings 2, 3, 6 and 7 also incorporating a balcony. The balconies all front the central common driveway and are screened to 1.7 metres above finished floor level.

### Pedestrian and vehicle access

- 4.7 Pedestrian access to the front entries of Dwellings 1 and 5 is provided directly via a path from the frontage. The remaining dwellings are accessed from the central common driveway.
- 4.8 Vehicle access is provided by an approximately 5 metre wide central crossover leading to an approximately 5 metre wide driveway that narrows to 3 metres.

### Landscaping

- 4.9 Landscaping opportunities are provided at ground level throughout the development.

**Design detail**

- 4.10 The proposed development features a contemporary architectural design, incorporating brickwork, render, timber-look 'Eco cladding', as well as some contrasting vertical battens at the first floor to provide accents to the street.
- 4.11 A mix of skillion and flat roof form is proposed, with porch entries emphasised by rendered canopies. Fencing to the site frontage will have a maximum height of 900mm, comprising rendered posts with vertical batten infills to match the accent features on the front façade of Dwellings 1 and 5.

**5. LEGISLATIVE REQUIREMENTS**

- 5.1 Refer to Attachment 2.
- 5.2 A permit is required under the following Clauses of the Manningham Planning Scheme:
- Clause 32.08-6 (General Residential Zone – GRZ2), to construct two or more dwellings on a lot.
  - Clause 43.02-2 (Design and Development Overlay, Schedule 8 – DDO8-3), to construct a building or construct or carry out works.

**6. REFERRALS****External**

- 6.1 There are no applicable determining or recommending referral authorities.

**Internal**

- 6.2 The application was referred to a number of Service Units within Council. The following table summarises the responses:

<b>Service Unit</b>	<b>Comments</b>
Infrastructure Services Unit – Drainage	No objection subject to standard conditions for the provision of an on-site storm water detention system.
Infrastructure Services Unit – Vehicle crossing	No objection subject to a condition requiring the removal of the redundant crossovers and reinstatement of the road reserve.
Infrastructure Services Unit – Access and Driveway	No objection.
Infrastructure Services Unit – Traffic and Car Parking	No objection subject to conditions to widen the visitor car space, and to relocate the Dwelling 4 and 8 garages 1 metre further from the central driveway, which will enable more efficient manoeuvring around and into/from the visitor car space.
Infrastructure Services Unit – Car Parking Layout	No objection subject to conditions to ensure that the car stackers operate safely.

Infrastructure Services Unit – Construction management	No objection. Standard construction management conditions will be applied.
Infrastructure Services Unit - Waste	No objection subject to an amended Waste Management Plan provided to demonstrate private waste collection will occur inside the boundaries of the site.
Infrastructure Services Unit – Easements	No objection.
Infrastructure Services Unit - Flooding	No objection.
City Amenity Unit - Parks	No objection subject to two additional trees being installed approximately where the two redundant vehicle crossovers will be removed, all associated costs being borne by the developer/property owner, and all works being undertaken only by Council.

## 7. CONSULTATION / NOTIFICATION

- 7.1 Notice of the application was undertaken twice in accordance with the requirements of the *Planning and Environment Act 1987*. The initial two week period concluded on 7 November 2018, and the second two week period concluded on 13 February 2019.
- 7.2 During both advertising periods, letters were sent to nearby properties and a sign was displayed on the site frontage.
- 7.3 The main grounds of objection can be summarised into the following categories:
- Traffic and car parking (congestion, insufficient at-grade off-street parking, vehicle access and pedestrian safety, hazard from bins, inaccessibility for emergency services);
  - Overdevelopment, density and neighbourhood character (including landscaping, dwelling diversity, streetscape impacts);
  - Design and built form (building height, number of storeys, site coverage and visual bulk);
  - Off-site amenity impacts (overshadowing, daylight to existing windows, privacy and overlooking, boundary fencing, loss of views, residential noise);
  - On-site amenity (insufficiently sized private open space areas, shadowed private open space areas, poor accessibility);
  - Services (pressure on existing utility services and infrastructure);
  - Loss of property values;
  - Construction impacts (congestion from vehicles including trucks); and
  - Setting of a precedent.
- 7.4 A response to the grounds of objection are included in the assessment section of this report.



## 8. ASSESSMENT

- 8.1 The proposal has been assessed against the relevant state and local planning policies, the zone and overlay and the relevant particular provisions and general provisions of the Scheme.
- 8.2 The assessment is made under the following headings:
- Planning Policy Frameworks;
  - Design and Built Form;
  - Two or more dwellings on a lot and residential buildings;
  - Car parking and traffic; and
  - Objector concerns.

### Planning Policy Frameworks

- 8.3 At both the state and local levels, relevant planning policy identifies a need for a greater mix of housing in Manningham, including medium and higher density residential developments. Policy also seeks to ensure that these developments are well designed, and has a focus on locating higher density housing in close proximity to activity centres and along main roads and public transport routes. The site's proximity to Foote Street, Williamsons Road, associated bus routes and the Templestowe Village Neighbourhood Activity Centre, demonstrates it is appropriate for a higher form of density that currently exists, provided that an appropriate design outcome is achieved.
- 8.4 Clause 21.05 (Residential) separates Manningham's residential land into four residential character precincts that seek to channel increased housing densities around activity centres and main roads - where better access to facilities and services is available. A product of this intent is residential character Precinct 2, which applies to residential areas surrounding activity centres and along main roads. Within this precinct (which includes the subject site), a substantial level of development change is anticipated.
- 8.5 The DDO8 further differentiates land within Precinct 2 into three sub-precincts. The subject site is identified within Sub-precinct B (DDO8-3), in which *single storey and two storey dwellings only will be considered and development should have a maximum site coverage of 60 percent. There is no minimum land area for such developments.* To achieve the preferred character of Precinct 2, the DDO8 provides design objectives, which direct outcomes including form, car parking and access, landscaping and fencing.
- 8.6 The development of two-storey dwellings is therefore appropriate when considering the strategic context of the site. There is policy support for increased residential densities in the area and to improve design outcomes through *development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- 8.7 The proposal will increase the residential density of the site in accordance with the substantial level of change anticipated by Clause 21.05 (Residential) of the Scheme. Additionally, subject to some conditions discussed later in this report – the proposal will provide a well-articulated and visually interesting contemporary built form that is appropriate within the existing streetscape, and transitions appropriately to neighbouring properties.

- 8.8 The proposed maximum building height of 8.335 metres is well below the maximum of 10 metres allowed for the site. The two-storey form is also in accordance with the preferred character for Sub-precinct B areas and provides an appropriate transition to the existing single and double storey form on the adjoining properties.
- 8.9 The proposal meets the mandatory minimum garden area requirement of the General Residential Zone, with 35.6% of the site dedicated to garden area in accordance with the definition at Clause 73.01 of the Scheme.
- 8.10 Subject to conditions recommended in response to Clause 55.06-1 (Design detail) of the Scheme, the development will provide appropriate visual interest and articulation, will achieve a high quality architectural outcome in accordance with the preferred neighbourhood character and will minimise visual bulk impacts. The mixture of materials, including brick and render, and the skillion roof form also ensures that the design integrates with the existing neighbourhood character and prevents the development from appearing significantly out of place, despite the substantial development change achieved in accordance with the local policy.
- 8.11 The following assessment is made against the requirements of the DDO8:

Design Element	Compliance
<b>Building Height and Setbacks DDO8-3 (Sub-Precinct B)</b>	
<ul style="list-style-type: none"> <li>• 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.</li> </ul>	<p><b>Satisfied</b> The slope of the site enables a maximum building height of 10m. The proposed maximum building height is 8.335m, which does not exceed this requirement.</p>
<ul style="list-style-type: none"> <li>• Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser.</li> </ul>	<p><b>Satisfied</b> A 6.0m front setback is achieved to Glendale Avenue.</p>
<b>Form</b>	
<ul style="list-style-type: none"> <li>• Ensure that the site area covered by buildings does not exceed 60 percent.</li> </ul>	<p><b>Satisfied</b> The development has a site coverage of 46.7%.</p>
<ul style="list-style-type: none"> <li>• Provide visual interest through articulation, glazing and variation in materials and textures.</li> </ul>	<p><b>Satisfied</b> The development incorporates a mixture of colours and materials to provide visual interest.</p>
<ul style="list-style-type: none"> <li>• Minimise buildings on boundaries to create spacing between developments.</li> </ul>	<p><b>Satisfied</b> No buildings are proposed on any of the boundaries.</p>
<ul style="list-style-type: none"> <li>• Where appropriate ensure that buildings are stepped down at the rear of sites to provide a transition to the scale of the adjoining residential area.</li> </ul>	<p><b>Satisfied</b> The built form is considered to be well articulated and stepped and provides an appropriate transition to adjoining properties.</p>
<ul style="list-style-type: none"> <li>• Where appropriate, ensure that buildings are designed to step with the slope of the land.</li> </ul>	<p><b>Satisfied</b> The proposed dwellings step down towards the rear of the site in accordance with the fall of the land.</p>

Design Element	Compliance
<ul style="list-style-type: none"> <li>Avoid reliance on below ground light courts for any habitable rooms.</li> </ul>	<p><b>Satisfied</b> No below ground light courts are proposed.</p>
<ul style="list-style-type: none"> <li>Ensure the upper level of a two storey building provides adequate articulation to reduce the appearance of visual bulk and minimise continuous sheer wall presentation.</li> </ul>	<p><b>Satisfied subject to conditions</b></p> <p>In addition to increased spacing required between the upper levels, a permit condition will also require a gap of at least one metre between the ground levels of Dwellings 2 and 3 and Dwellings 6 and 7 to provide a visual break in the continuous built form between the adjacent dwellings.</p> <p>The linear presentation and lack of graduation of the elevations of the upper levels also create a sense of visual bulk to the adjoining properties, particularly the east elevation given the sensitive interface with an existing secluded private open space area.</p> <p>Permit conditions will therefore require further modifications to the design of the upper levels to provide additional articulation and improved building breaks providing visual relief both from within the development itself an when viewed externally.</p> <p>This includes the increase in separation between the upper levels of Dwellings 2 and 3 as well as between Dwellings 6 and 7, a separation between the upper levels of Dwellings 7 and 8 and recess of upper level walls from site boundaries to provide articulation and graduation.</p>
<ul style="list-style-type: none"> <li>Ensure that the upper level of a three storey building does not exceed 75% of the lower levels, unless it can be demonstrated that there is sufficient architectural interest to reduce the appearance of visual bulk and minimise continuous sheer wall presentation.</li> </ul>	<p><b>Not applicable</b> The proposal is two storeys only.</p>
<ul style="list-style-type: none"> <li>Integrate porticos and other design features with the overall design of the building and not include imposing design features such as double storey porticos.</li> </ul>	<p><b>Satisfied</b> There are no porticos or imposing design elements proposed. Design features are well-integrated into the overall design of the building.</p>

Design Element	Compliance
<ul style="list-style-type: none"> <li>Be designed and sited to address slope constraints, including minimising views of basement projections and/or minimising the height of finished floor levels and providing appropriate retaining wall presentation.</li> </ul>	<p><b>Satisfied</b> The dwellings respond well to the fall of the land by stepping down the site minimising potential amenity impacts to adjacent properties.</p>
<ul style="list-style-type: none"> <li>Be designed to minimise overlooking and avoid the excessive application of screen devices.</li> </ul>	<p><b>Satisfied subject to conditions</b> Subject to conditions discussed in the assessment of Clause 55.04-6 of the Scheme, overlooking impacts will be suitably minimised without exceeding screening requirements.</p>
<ul style="list-style-type: none"> <li>Ensure design solutions respect the principle of equitable access at the main entry of any building for people of all mobilities.</li> </ul>	<p><b>Satisfied</b> The ground level entries of all dwellings respond to the topography of the land minimising steps within the development.</p>
<ul style="list-style-type: none"> <li>Ensure that projections of basement car parking above natural ground level do not result in excessive building height as viewed by neighbouring properties.</li> </ul>	<p><b>Not applicable</b> No basement is proposed.</p>
<ul style="list-style-type: none"> <li>Ensure basement or undercroft car parks are not visually obtrusive when viewed from the front of the site.</li> </ul>	<p><b>Not applicable</b> Parking is provided at ground level.</p>
<ul style="list-style-type: none"> <li>Integrate car parking requirements into the design of buildings and landform by encouraging the use of undercroft or basement parking and minimise the use of open car park and half basement parking.</li> </ul>	<p><b>Not applicable</b> Parking is provided at ground level.</p>
<ul style="list-style-type: none"> <li>Ensure the setback of the basement or undercroft car park is consistent with the front building setback and is setback a minimum of 4.0m from the rear boundary to enable effective landscaping to be established.</li> </ul>	<p><b>Not applicable</b> Parking is provided at ground level.</p>
<ul style="list-style-type: none"> <li>Ensure that building walls, including basements, are sited a sufficient distance from site boundaries to enable the planting of effective screen planting, including canopy trees, in larger spaces.</li> </ul>	<p><b>Satisfied subject to conditions</b> Sufficient setbacks for screen planting are provided throughout the development.</p>
<ul style="list-style-type: none"> <li>Ensure that service equipment, building services, lift over-runs and roof-mounted equipment, including screening devices is integrated into the built form or otherwise screened to minimise the aesthetic impacts on the streetscape and avoids unreasonable amenity impacts on surrounding properties and open spaces.</li> </ul>	<p><b>Satisfied subject to conditions</b> A permit condition will require any service equipment to be screened to avoid unreasonable amenity impacts.</p>

Design Element	Compliance
<b>Car Parking and Access</b>	
<ul style="list-style-type: none"> <li>• Include only one vehicular crossover, wherever possible, to maximise availability of on street parking and to minimise disruption to pedestrian movement. Where possible, retain existing crossovers to avoid the removal of street tree(s). Driveways must be setback a minimum of 1.5m from any street tree, except in cases where a larger tree requires an increased setback.</li> </ul>	<p><b>Satisfied</b> Only one crossover is proposed. Approval for the removal of the street tree has been given by Council’s City Amenity Unit. Two new street trees will be required to be planted to their satisfaction.</p>
<ul style="list-style-type: none"> <li>• Ensure that when the basement car park extends beyond the built form of the ground level of the building in the front and rear setback, any visible extension is utilised for paved open space or is appropriately screened, as is necessary.</li> </ul>	<p><b>Not applicable</b></p>
<ul style="list-style-type: none"> <li>• Ensure that where garages are located in the street elevation, they are set back a minimum of 1.0m from the front setback of the dwelling.</li> </ul>	<p><b>Not applicable</b></p>
<ul style="list-style-type: none"> <li>• Ensure that access gradients of basement car parks are designed appropriately to provide for safe and convenient access for vehicles and servicing requirements.</li> </ul>	<p><b>Not applicable</b> Car parking is provided at ground level. Gradients are in accordance with Clause 52.06 of the Scheme.</p>
<b>Landscaping</b>	
<ul style="list-style-type: none"> <li>• On sites where a three storey development is proposed include at least 3 canopy trees within the front setback, which have a spreading crown and are capable of growing to a height of 8.0m or more at maturity.</li> </ul>	<p><b>Not applicable</b></p>
<ul style="list-style-type: none"> <li>• Provide opportunities for planting alongside boundaries in areas that assist in breaking up the length of continuous built form and/or soften the appearance of the built form.</li> </ul>	<p><b>Satisfied subject to conditions</b> Screen planting opportunities are available along the rear and side boundaries, however the location of retaining walls immediately abutting the east and west boundaries in some locations prevents landscaping at natural ground level. As such, a condition will require that retaining walls be set back from the east and west boundaries by at least 500mm where practicable. A condition will also require that storage sheds, clotheslines, water tanks and any other equipment/services be located away from site boundaries where practicable to further improve screen planting opportunities.</p>

Design Element	Compliance
<b>Fencing</b>	
<ul style="list-style-type: none"> <li>A front fence must be at least 50 per cent transparent.</li> <li>On sites that front Doncaster, Tram, Elgar, Manningham, Thompsons, Blackburn and Mitcham Roads, a fence must:                             <ul style="list-style-type: none"> <li>not exceed a maximum height of 1.8m</li> <li>be setback a minimum of 1.0m from the front title boundary</li> </ul> </li> </ul> <p>and a continuous landscaping treatment within the 1.0m setback must be provided.</p>	<p><b>Satisfied subject to conditions</b>                      The front fence to Glendale Avenue appears to be 50% transparent – although a notation to confirm this will be required via a condition.</p>

8.12 Pursuant to Clause 55 (Two or more dwellings on a lot and residential buildings), a development must meet all of the objectives of this clause and should meet all of the standards.

8.13 An assessment against the objectives of Clause 55 is provided in the table below:

Objective	Compliance
<p><b>55.02-1 – Neighbourhood Character</b></p> <ul style="list-style-type: none"> <li>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</li> <li>To ensure that development responds to the features of the and surrounding area,</li> </ul>	<p><b>Satisfied.</b> As identified by the relevant planning policy, a substantial level of change is anticipated in the DD08-3 area. The proposed change from single to double storey form, the residential townhouse typology and materials are considered to respect the existing neighbourhood character, whilst the contemporary architectural style responds to the preferred neighbourhood character in accordance with the DDO8.</p>
<p><b>55.02-2 – Residential Policy</b></p> <ul style="list-style-type: none"> <li>To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</li> <li>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</li> </ul>	<p><b>Satisfied.</b> The proposal responds to the relevant local planning policy including the preferred outcomes for Sub-Precinct B, in particular given that the development does not exceed two storeys at any point, and as the site coverage is less than 60%.</p>

<p><b>55.02-3 – Dwelling Diversity</b></p> <ul style="list-style-type: none"> <li>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</li> </ul>	<p><b>Not applicable.</b> This objective is not applicable given that the proposal is for less than 10 dwellings.</p>
<p><b>55.02-4 – Infrastructure</b></p> <ul style="list-style-type: none"> <li>To ensure development is provided with appropriate utility services and infrastructure.</li> <li>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</li> </ul>	<p><b>Satisfied subject to conditions.</b> No concerns have been raised by Council's Infrastructure Services Unit relating to the capacity of the existing infrastructure to support the proposed development. A standard condition will require an on-site storm water detention system to be installed.</p>
<p><b>55.02-5 – Integration With Street</b></p> <ul style="list-style-type: none"> <li>To integrate the layout of development with the street.</li> </ul>	<p><b>Satisfied subject to conditions.</b> The proposed skillion roof form and separation in built form as a result of the central common driveway enables the development to reflect the existing pattern of development in the street. Additionally, as the land slopes away from the site frontage, the apparent height and associated visual impacts of the development are further reduced as the development responds to the fall of the land. There are opportunities for landscaping within the front setback to help soften the appearance of the built form, although this is limited by the extended paved area around the porches to Dwellings 1 and 5. A condition will therefore require these areas be deleted and reinstated with landscaping and retaining walls offset from boundaries as necessary. A condition will also require landscaping including canopy trees in the front setback.</p>
<p><b>55.03-1 – Street Setback</b></p> <ul style="list-style-type: none"> <li>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</li> </ul>	<p><b>Satisfied.</b> The front setback of 6.04 metres complies with the minimum specified by DDO8.</p>
<p><b>55.03-2 – Building Height</b></p> <ul style="list-style-type: none"> <li>To ensure that the height of buildings respects the existing or preferred neighbourhood character.</li> </ul>	<p><b>Satisfied.</b> The maximum building height of 8.335m is below the 10m maximum specified for the site by the DDO8.</p>
<p><b>55.03-3 – Site Coverage</b></p> <ul style="list-style-type: none"> <li>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</li> </ul>	<p><b>Satisfied.</b> The site coverage of 46.7% is well below the 60% maximum requirement.</p>

<p><b>55.03-4 – Permeability and Stormwater Management</b></p> <ul style="list-style-type: none"> <li>• To reduce the impact of increased stormwater run-off on the drainage system.</li> <li>• To facilitate on-site stormwater infiltration.</li> </ul>	<p><b>Satisfied subject to conditions.</b> The total permeable area of 30.2% exceeds the 20% minimum. Additionally, conditions discussed under Clause 55.02-5 (Integration with street) will also reduce the hard surfaced area within the front setback, which will subsequently increase the permeable site area. The submitted Sustainable Design Assessment also demonstrates that the development has a STORM rating of more than 100%.</p>
<p><b>55.03-5 – Energy Efficiency</b></p> <ul style="list-style-type: none"> <li>• To achieve and protect energy efficient dwellings.</li> <li>• To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</li> </ul>	<p><b>Satisfied subject to conditions.</b> The location of secluded private open space areas along the east and west boundaries, with no built form to the north, will enable adequate solar access into these areas.</p> <p>Dwellings 4 and 8 both have north facing walls, but it is considered the opportunities for north facing windows are not fully maximised. Some rooms of Dwellings 1 and 5 are also provided with south-facing windows and have limited solar access. As such, to improve solar access into all habitable rooms, conditions will require new highlight windows to be provided in various dwellings.</p> <p>Furthermore, all new highlight windows will have a minimum sill height of 1.7m to limit any overlooking impacts. A condition will also require solar/weather protection measures to be provided above the sliding doors accessing the ground floor decks of all dwellings, as well as above all north and west facing habitable room windows, except for the north facing kitchen splashback windows of Dwellings 4 and 8.</p>
<p><b>55.03-6 – Open Space</b></p> <ul style="list-style-type: none"> <li>• To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</li> </ul>	<p><b>Not applicable.</b> There is no public open or communal open space provided on the site or directly abutting any boundary.</p>
<p><b>55.03-7 – Safety</b></p> <ul style="list-style-type: none"> <li>• To ensure the layout of development provides for the safety and security of residents and property.</li> </ul>	<p><b>Satisfied subject to conditions.</b> There are no apparent safety or security issues with the development as proposed. Passive surveillance to the shared driveway is provided by the dwellings. Dwelling entries are unobscured from the common driveway or street, and secure parking is provided by enclosed garages with roller doors. Bollard lighting is provided within the landscape strips alongside the central driveway, and a condition will require that sensor lights be</p>

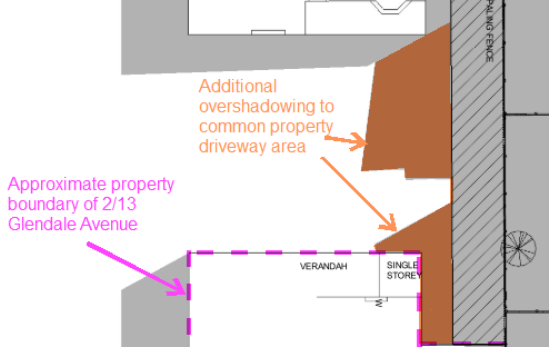


	provided above all porch entries and garage openings to provide additional illumination.
<p><b>55.03-8 – Landscaping</b></p> <ul style="list-style-type: none"> <li>• To encourage development that respects the landscape character of the neighbourhood.</li> <li>• To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</li> <li>• To provide appropriate landscaping.</li> <li>• To encourage the retention of mature vegetation on the site.</li> </ul>	<p><b>Satisfied subject to conditions.</b> There is adequate opportunities for appropriate landscaping across the site. A condition of permit will require the submission of a detailed landscape plan to be submitted to and approved by Council prior to the development commencing. Additionally, standard tree protection measures will be required to be implemented for existing trees on adjoining properties to minimise construction impacts.</p>
<p><b>55.03-9 – Access</b></p> <ul style="list-style-type: none"> <li>• To ensure the number and design of vehicle crossovers respects the neighbourhood character.</li> </ul>	<p><b>Satisfied.</b> The two existing crossovers will be removed and reinstated, with access to the site provided by one, double width crossover. This will not impact the neighbourhood character of the street, particularly given the large number of crossovers located directly opposite the subject site.</p>
<p><b>55.03-10 – Parking Location</b></p> <ul style="list-style-type: none"> <li>• To provide convenient parking for resident and visitor vehicles.</li> </ul>	<p><b>Satisfied subject to conditions.</b> Internal access to all garages is provided from the respective dwellings. Landscaping buffers are also provided to habitable room windows facing the common driveway. A condition will require the dimension of the landscaping strip width adjacent to the Dwelling 2, 3, 6 and 7 kitchen windows be shown, which must not be less than 1.5m. Mechanical parking conditions will also be applied to ensure the car stacker systems are safe and efficient for future residents.</p>
<p><b>55.04-1 – Side And Rear Setbacks</b></p> <ul style="list-style-type: none"> <li>• To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</li> </ul>	<p><b>Satisfied subject to conditions.</b> The side and rear setbacks of the development mostly complies with Standard B17 as demonstrated by the table below.</p> <p>There are three locations where the minimum setbacks have not been met – Dwelling 2 first floor Bed 3 west facing wall, Dwelling 4 first floor north facing Bed 2 wall and Dwelling 8 first floor north facing Bed 2 wall. At the first location (Dwelling 2), a permit condition will require this wall to be set back at least a further 500mm from the western boundary to provide articulation and graduation, which would ensure the resultant setback complies with the standard.</p> <p>The first floor north facing walls of Dwellings 4 and 8, abut the secluded private open space areas of adjoining properties. The</p>

	<p>applicant has not provided any justification for these two encroachments, with the submitted Clause 55 assessment stating only that 'on average' Standard B17 is met by the proposed side and rear setbacks. Given the sensitive adjoining interfaces, the permit will be conditioned to require compliance with Standard B17.</p>				
<p>Location</p>	<p>Wall height (m)</p>	<p>Setback required (m)</p>	<p>Setback provided (m)</p>	<p>Compliance</p>	
<p>Dwelling 1 ground floor, west living room wall</p>	<p>3.815</p>	<p>1.065</p>	<p>3</p>	<p>Yes</p>	
<p>Dwelling 2 ground floor, west living room wall</p>	<p>3.665</p>	<p>1.020</p>	<p>3</p>	<p>Yes</p>	
<p>Dwelling 3 ground floor, west garage wall</p>	<p>3.65</p>	<p>1.015</p>	<p>3</p>	<p>Yes</p>	
<p>Dwelling 4 ground floor, west living room wall</p>	<p>4.1</p>	<p>1.15</p>	<p>3</p>	<p>Yes</p>	
<p>Dwelling 5 ground floor, east water closet wall</p>	<p>3.9 (scaled)</p>	<p>1.09</p>	<p>3</p>	<p>Yes</p>	
<p>Dwelling 6 ground floor, east living room wall</p>	<p>3.7 (scaled)</p>	<p>1.03</p>	<p>3</p>	<p>Yes</p>	
<p>Dwelling 7 ground floor, east garage wall</p>	<p>3.5 (scaled)</p>	<p>1</p>	<p>3</p>	<p>Yes</p>	
<p>Dwelling 8 ground floor, east living room wall</p>	<p>4.1 (scaled)</p>	<p>1.15</p>	<p>3</p>	<p>Yes</p>	

	Dwelling 4 ground floor, north living/kitchen wall	4.175	1.173	2.49	Yes
	Dwelling 8 ground floor, north living/kitchen wall	4.175	1.173	2.41	Yes
	Dwelling 1 first floor, west Bed 4 wall	6.95	2.04	3.075	Yes
	Dwelling 2 first floor, west Bed 3 wall (to skillion roof)	8	3.09	3.075	<b>No (15mm)</b>
	Dwelling 3 first floor, west Bed 3 wall (to skillion roof)	7.045	2.135	3.075	Yes
	Dwelling 4 first floor, west bathroom wall	6.8 (scaled)	1.96	3.075	Yes
	Dwelling 5 first floor, east Bed 4 wall	6.9 (scaled)	1.99	3	Yes
	Dwelling 6 first floor, east Bed 3 wall (to skillion roof)	7.91	3	3.075	Yes
	Dwelling 7 first floor, east Bed 3 wall (to skillion roof)	7.36	2.45	3.075	Yes
	Dwelling 8 first floor, east bathroom wall	6.4	1.84	3.075	Yes
	Dwelling 8 first floor, north Bed 3 wall	7.175	2.265	2.49	Yes

	Dwelling 8 first floor, north Bed 2 wall (to skillion roof)	8.335	3.425	3.245	No (180mm)
	Dwelling 4 first floor, north Bed 2 wall (to skillion roof)	8.335	3.425	3.255	No (170mm)
	Dwelling 4 first floor, north Bed 3 wall	7.175	2.265	2.560	Yes
<p><b>55.04-2 – Walls On Boundaries</b></p> <ul style="list-style-type: none"> <li>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</li> </ul>	<p><b>Not applicable.</b> There are no walls proposed on boundaries.</p>				
<p><b>55.04-3 – Daylight To Existing Windows</b></p> <ul style="list-style-type: none"> <li>To allow adequate daylight into existing habitable room windows.</li> </ul>	<p><b>Satisfied.</b> Standard B19 is met by the proposal given that the built form is located away from site boundaries, leaving all existing habitable room windows on adjoining properties with adequate access to daylight in accordance with the dimensions specified by Standard B19.</p>				
<p><b>55.04-4 – North Facing Windows</b></p> <ul style="list-style-type: none"> <li>To allow adequate solar access to existing north-facing habitable room windows.</li> </ul>	<p><b>Not applicable.</b> There are no north facing windows within 3 metres of a boundary on any adjoining property.</p>				
<p><b>55.04-5 – Overshadowing Open Space</b></p> <ul style="list-style-type: none"> <li>To ensure buildings do not significantly overshadow existing secluded private open space.</li> </ul>	<p><b>Satisfied.</b> The proposal satisfies the requirements of Standard B20. Shadow diagrams demonstrate that additional overshadowing beyond the shadows cast by the boundary fence will occur at 9am, 10am and 3pm. At 9am, the additional shadows cast by the development will extend into the adjoining common driveway area (see below image) - which is considered acceptable given this is not secluded private open space.</p>				



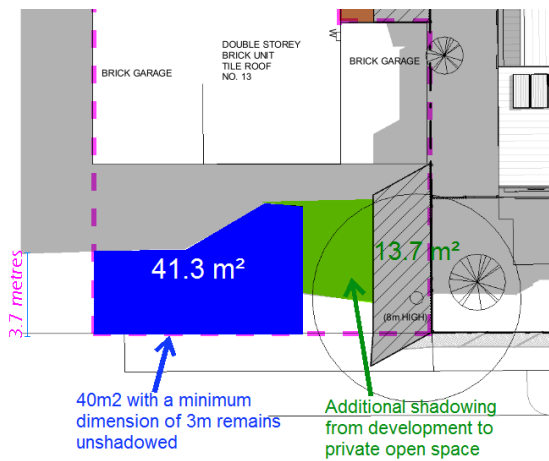
Approximate property boundary of 2/13 Glendale Avenue

Additional overshadowing to common property driveway area

VERANDAH

SINGLE STOREY

Additionally, at 9am there will also be some additional overshadowing to the secluded private open space of 2/13 Glendale Avenue. As demonstrated by the below sketch, the extent of additional overshadowing does not cause non-compliance with Standard B20 given that at least 40 square metres with a minimum dimension of 3 metres of the private open space area will remain unshaded at this time.



BRICK GARAGE

DOUBLE STOREY BRICK UNIT TILE ROOF NO. 13

BRICK GARAGE

3.7 metres

41.3 m<sup>2</sup>


13.7 m<sup>2</sup>

40m<sup>2</sup> with a minimum dimension of 3m remains unshaded

Additional shadowing from development to private open space

At 10am there is some minor additional overshadowing to the common driveway area on the west adjoining property, and the additional overshadowing to the private open space of 2/13 Glendale Avenue is less than 9am, and is therefore also compliant with Standard B20.

At 3pm there is a minor area of additional overshadowing to the private open space of 17 Glendale Avenue, which is the adjoining property to the east. As this property contains a single dwelling with a large rear private open space area, the property maintains an unshaded area in excess of the dimensions set by Standard B20 (see below image).

	
<p><b>55.04-6 – Overlooking</b></p> <ul style="list-style-type: none"> <li>To limit views into existing secluded private open space and habitable room windows.</li> </ul>	<p><b>Satisfied subject to conditions.</b> All upper floor habitable room windows facing adjoining properties are screened to at least 1.7m above finished floor level. At ground floor, Standard B22 is not demonstrated as met from the north facing kitchen splashback windows of Dwellings 4 and 8. Given these windows face the secluded private open space of properties to the north, the windows are required to be shown on the plans as fixed obscure glazing. This can be conditioned accordingly.</p> <p>Although the west-facing upper level Bedroom 3 window of Dwelling 2 is notated as fixed obscure glazed on the upper floor plan, this has not been notated on the west elevation plan like the other obscured windows. A permit condition will therefore require this window to be notated as fixed obscure glazed.</p> <p>1.8 metre high fences are proposed on all side and rear boundaries to limit overlooking from ground level windows and deck areas. Whilst they technically comply with Standard B22, it is considered that the elevated decks and windows including Dwellings 4, 5, 6 and 8 will still allow potential views into the adjoining secluded private open space areas.</p> <p>Plans also demonstrate that while a new 1.8m high paling fence will be constructed along the east boundary, the north and west boundary fencing will comprise the existing 1.6m high paling fence '<i>reinstated and made good to 1.8m</i>'. It is unclear what is meant by this statement, and no further details beyond this notation are provided.</p>

	It is therefore considered appropriate for all boundary fencing to be removed and reinstated with new 2m high paling fencing as part of the development by a permit condition, with all costs associated with the new fencing to be borne by the developer.
<b>55.04-7 – Internal Views</b> <ul style="list-style-type: none"> <li>To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</li> </ul>	<b>Satisfied.</b> Views between dwellings within the development are limited in accordance with Standard B23 by obscure glazed windows as necessary, and by 1.7m high obscure glazed screens to internal facing balconies.
<b>55.04-8 – Noise Impacts</b> <ul style="list-style-type: none"> <li>To contain noise sources in developments that may affect existing dwellings.</li> <li>To protect residents from external noise.</li> </ul>	<b>Satisfied.</b> There is unlikely to be any unusual noise generated in association with the proposed dwellings that would be unreasonable in a residential setting, and there are no apparent external noise sources that may affect the dwellings. Vehicular noise to adjoining properties, whilst normal in residential setting, will be limited due to the location of the common driveway through the centre of the site, away from site boundaries.
<b>55.05-1 – Accessibility</b> <ul style="list-style-type: none"> <li>To encourage the consideration of the needs of people with limited mobility in the design of developments.</li> </ul>	<b>Satisfied.</b> The development responds to the fall of the land minimising the number of ground level steps to dwelling entrances. Living areas and toilets are also provided at ground level with Dwellings 1 and 5 also providing a ground level bedroom.
<b>55.05-2 – Dwelling Entry</b> <ul style="list-style-type: none"> <li>To provide each dwelling or residential building with its own sense of identity.</li> </ul>	<b>Satisfied.</b> All pedestrian entries are separated from one another to provide an individual sense of address for each dwelling. Entries are clearly visible from either the street or shared driveway area, and provide an identifiable transitional entry space via a rendered canopy in a contrasting colour to the ground floor walls.
<b>55.05-3 – Daylight To New Windows</b> <ul style="list-style-type: none"> <li>To allow adequate daylight into new habitable room windows.</li> </ul>	<b>Satisfied.</b> All new windows within the development will receive adequate access to daylight in accordance with Standard B27.
<b>55.05-4 – Private Open Space</b> <ul style="list-style-type: none"> <li>To provide adequate private open space for the reasonable recreation and service needs of residents.</li> </ul>	<p><b>Satisfied.</b> All dwellings provide at least 25m<sup>2</sup> of secluded private open space on the ground level with a minimum dimension of 3 metres and convenient access from the respective living rooms.</p> <p>Dwellings 1 and 5 are provided with additional private open space areas within the front setback to satisfy the minimum overall private open space area requirement of 40 square metres.</p>

	<p>Dwellings 4 and 8 are provided with additional secluded private open space areas within the rear setbacks to satisfy the minimum overall private open space area requirement of 40 square metres.</p> <p>Dwellings 2, 3, 6 and 7 are provided with upper level balconies facing the driveway. Together with the ground level secluded private open space areas, they are each provided with an overall private open space area of at least 40 square metres to comply with the standard.</p>
<p><b>55.05-5 – Solar Access To Open Space</b></p> <ul style="list-style-type: none"> <li>To allow solar access into the secluded private open space of new dwellings and residential buildings.</li> </ul>	<p><b>Satisfied.</b> The ground level open space areas will receive direct solar access for a substantial portion of the day – the west facing dwellings in the afternoon and the east facing dwellings in the morning. The internal facing balconies of Dwellings 2, 3, 6 and 7 appear to only receive direct solar access around noon, however this is considered acceptable given that they will not be consistently overshadowed, and given these dwellings do not rely solely on these balconies for outdoor living.</p>
<p><b>55.05-6 – Storage</b></p> <ul style="list-style-type: none"> <li>To provide adequate storage facilities for each dwelling.</li> </ul>	<p><b>Satisfied.</b> Six cubic metres of externally accessible storage space is provided to all dwellings in a combination of storage sheds in the open space areas, and cupboards under the stairs accessible via the garages.</p>
<p><b>55.06-1 – Design Detail</b></p> <ul style="list-style-type: none"> <li>To encourage design detail that respects the existing or preferred neighbourhood character.</li> </ul>	<p><b>Satisfied subject to conditions.</b> It is considered that the south elevation and internal elevations of the development incorporate a suitable level of visual interest through the use of varied materials and architectural features including vertical battens and framing features, varied setbacks and balanced fenestration. However, the east, west and northern elevations do not provide sufficient visual interest given most of the external walls at this level are finished in the same colour and material (grey render). As such, conditions will require the north, east and western external upper floor walls of Dwellings 2, 3, 4, 6, 7 and 8 be provided with varying materials, colours, and/or architectural features to create visual interest and complement the architectural style of the southern and internal elevations.</p>



<p><b>55.06-2 – Front Fence</b></p> <ul style="list-style-type: none"> <li>To encourage front fence design that respects the existing or preferred neighbourhood character.</li> </ul>	<p><b>Satisfied subject to conditions.</b> Plans demonstrate that the front fence will be generally 900mm high comprising of rendered posts with vertical batten infills. This complies with the height requirements of Standard B32, however a condition will require elevation details and a notation stating that the fencing will be at least 50% transparent in accordance with the requirements of the DDO8.</p>
<p><b>55.06-3 – Common Property</b></p> <ul style="list-style-type: none"> <li>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</li> <li>To avoid future management difficulties in areas of common ownership.</li> </ul>	<p><b>Satisfied.</b> The common driveway is efficient and practically designed. There are no apparent managerial issues that would be likely to arise.</p>
<p><b>55.06-4 – Site Services</b></p> <ul style="list-style-type: none"> <li>To ensure that site services can be installed and easily maintained.</li> <li>To ensure that site facilities are accessible, adequate and attractive.</li> </ul>	<p><b>Satisfied subject to conditions.</b> There is sufficient space for site services to be provided, and standard conditions including limiting visual impacts will be applied. Additionally, the location of bins will be required to be shown on plans via a condition, which must accord with the updated Waste Management Plan, which is also to be required by a condition.</p>

### Car parking and traffic

- 8.14 An enclosed single garage including an additional car space in a 'car-stacker' system is provided for all dwellings. One uncovered visitor car space is located at the end of the shared driveway.
- 8.15 The Scheme requires that each dwelling with three or more bedrooms be provided with two vehicle spaces. As the site is located within the Principal Public Transport Network buffer area, no visitor car parking spaces are required by the Scheme.
- 8.16 The development therefore generates a parking requirement of 16 car parking spaces. The proposal provides for a total of 17 spaces – two spaces for each dwelling and a visitor car space.
- 8.17 An assessment against the car parking design standard at Clause 52.06-9 is provided in the table below:

Design Standard	Assessment
1 – Accessways	<p><b>Satisfied subject to conditions</b></p> <ul style="list-style-type: none"> <li>• The shared driveway has a minimum width of 3m</li> <li>• A minimum width of 4.2m is provided where cars will turn into garage openings</li> <li>• A condition will the headroom clearance of all garages to be indicated on elevations.</li> <li>• Council's Infrastructure Services Unit is satisfied that vehicles will be able to conveniently manoeuvre to both enter and exit the site in a forwards direction – subject to some slight modifications to the location of the garages of Dwellings 4 and 8 to enable the visitor car to exit the site in a forwards direction.</li> <li>• Visibility splays are provided adjacent to the driveway at the frontage.</li> </ul>
2 – Car Parking Spaces	<p><b>Satisfied subject to conditions</b></p> <ul style="list-style-type: none"> <li>• The minimum car parking space dimensions are met for all single garages and the visitor car space.</li> <li>• A condition will require the width of the visitor car space be widened.</li> </ul>
3 – Gradients	<p><b>Satisfied</b></p> <ul style="list-style-type: none"> <li>• The common driveway has a gradient of 1:10 for the first 5 metres.</li> <li>• All gradients and transitions are in accordance with Design Standard 3.</li> </ul>
4 – Mechanical Parking	<p><b>Satisfied subject to conditions</b></p> <ul style="list-style-type: none"> <li>• A condition will require plans to demonstrate that at least 25% of the mechanical car spaces will accommodate a vehicle height of at least 1.8 metres.</li> <li>• Conditions will require matters relating to acoustic impacts, testing, construction and maintenance and other specifications to ensure that the mechanical parking is constructed and maintained to the satisfaction of Council.</li> </ul>
5 – Urban Design	<p><b>Satisfied</b></p> <ul style="list-style-type: none"> <li>• The single garages and their associated roller doors do not dominate the internal elevations of the development and do not face the street.</li> </ul>
6 – Safety	<p><b>Satisfied subject to conditions</b></p> <ul style="list-style-type: none"> <li>• Despite the visitor car space not being required under the Scheme, a condition will require the visitor space be clearly marked and maintained for visitors parking only.</li> <li>• Natural surveillance is provided from multiple dwellings in the development and there are views down the shared driveway from the street.</li> <li>• Pedestrian access is convenient and straightforward, and the width of the accessway provides space for pedestrian refuge from vehicles.</li> </ul>

7 - Landscaping	<p><b>Satisfied subject to conditions.</b></p> <ul style="list-style-type: none"> <li>• Conditions for a landscape plan detailing specific planting within the landscaping strips will ensure that appropriate landscaping is provided for the development. Landscaping will also be required around the visitor car parking space to improve its appearance.</li> </ul>
-----------------	--

- 8.18 Council's Infrastructure Services Unit has not raised concern in relation to the expected volume of traffic likely to be generated by the proposed development.
- 8.19 At the consultation meeting, the applicant proposed a different mechanical parking system which includes a pit to allow direct access to vehicles on either level of the car stacker. This will remove the need to move vehicles in order to access a vehicle on the top level of the car stacker and improve the convenience for residents. A permit condition will require the details of the car stackers shown on the floor plan (including the location and dimensions of the pits and rear shafts) and a cross section diagram to show the pit and required height clearance. A permit condition will also require that no doors will open into the area of the car stacker, such as doors to storage areas for Dwellings 2 and 6. A permit condition will also require the driveway gradients leading into the garages meet the relevant specifications for the car stackers.
- 8.20 The mechanical parking system proposed meets the relevant design standard in Clause 52.06 of the Scheme, and Council's Infrastructure Services Unit has advised that the outcome is satisfactory subject to standard conditions for the car stackers to be used in a safe and efficient manner.

### Objector concerns

- 8.21 A response to the grounds of objection is provided below under the relevant category headings:

Traffic and car parking (congestion, insufficient at-grade off-street parking, vehicle access and pedestrian safety, hazard from bins, inaccessibility for emergency services)

- 8.22 The proposal provides the required number of car parking spaces for residents in accordance with Clause 52.06 (Car parking) of the Scheme based on the number of bedrooms to each dwelling.
- 8.23 The provision of one on-site visitor car space is not required by Clause 52.06 (Car parking) of the Scheme given the site's proximity to public transport, and the proposal is therefore in excess of the parking requirements.
- 8.24 The use of car stackers is not prohibited by any part of the Scheme, and Design Standard 4 of Clause 52.06 (Car Parking) of the Scheme enables mechanical parking systems to be utilised to meet the on-site car parking requirements. The mechanical car parking system enables residents to manage their vehicle storage in the most convenient and efficient manner for them, and it is anticipated that a level of familiarity with the system will be gained by residents over time to further improve this efficiency. Car stackers are recognised as a legitimate way to facilitate car parking in restricted spaces and are used throughout metropolitan Melbourne.

- 8.25 Specific permit conditions will be required to ensure that all of the requirements of Design Standard 4 are met. Conditions will require that potential off-site amenity impacts from the proposed car stackers are minimised, that construction and maintenance is satisfactory, and that the systems are used in a safe and efficient manner.
- 8.26 There are currently no signed parking restrictions within this section of Glendale Avenue. However, should any parking permit restrictions be implemented in the future, residents of the proposed development would be ineligible to acquire a permit for on-street parking, pursuant to Council's recently adopted "*Manningham Parking Permit Policy 2019*".
- 8.27 Existing parking congestion issues in the area are not the responsibility of the developer to alleviate. The proposed on-site parking arrangement provides convenient and secure parking for future residents, and the provided visitor car space is in excess of the requirements of the Scheme.
- 8.28 Visibility splays in accordance with Design Standard 1 of Clause 52.06 (Car parking) of the Scheme have been provided, the open shared driveway is free of any obstructions to visibility of pedestrians, and separate pedestrian entries are provided that are clearly identifiable from garage openings.
- 8.29 Conditions will require an updated Waste Management Plan be provided to demonstrate how a private waste vehicle will collect bins from within the site. As the site will not be serviced by a Council rubbish collection, the bins must not be left within the road reserve at any time.
- 8.30 Council's Infrastructure Services Unit has not raised any concerns relating to the accessibility of the site and street, including by emergency services vehicles, upon construction of the development.

Overdevelopment, density and neighbourhood character (including landscaping, dwelling diversity, streetscape impacts, setting of a precedent)

- 8.31 The proposal satisfies planning policy when considering both the physical and policy context of the site, subject to permit conditions. The proposal provides a suitable transition in scale with the adjoining properties, and the density achieved is in accordance with the substantial level of change that is anticipated by the local policy.
- 8.32 It is not considered that the proposal constitutes an overdevelopment of the site. The development will meet the relevant provisions relating to site coverage, building height, number of storeys and private open space. Sufficient area is provided for car parking and vehicle access, subject to permit conditions.
- 8.33 Clause 55.02-1 (Neighbourhood character), Clause 55.02-5 (Integration with street), Clause 55.03-8 (Landscaping) and Clause 55.06-1 (Design detail) have been satisfied by the proposal, subject to permit conditions. Clause 55.02-3 (Dwelling diversity) does not apply to the development given the proposal is for less than 10 dwellings. The development will positively respond to the existing neighbourhood character through use of materials, building separation and roof form. The proposal will not detract from the streetscape or impact on the character of the surrounding area, and will be landscaped appropriately to mitigate perceived visual bulk impacts.

- 8.34 Any future planning proposals in the neighbourhood will be considered on their individual merits and specific site context. This ensures that all applications are fully considered with regard to their physical and policy context despite any 'precedent' that is perceived to be set by nearby developments.

Design and built form (building height, number of storeys, site coverage and visual bulk)

- 8.35 The proposal meets the relevant provisions of the Scheme relating to building height, number of storeys, site coverage and visual bulk. The outlook for neighbours to a two storey development is considered acceptable given the existing character of the neighbourhood. Visual bulk impacts at first floor will be minimised by permit conditions to improve visual interest and provide greater separation and reduce visual impacts to the adjoining properties.
- 8.36 There are some minor areas of non-compliance with Standard B17 of Clause 55.04-1 (Side and rear setbacks) of the Scheme, however these will be suitably addressed by permit conditions as discussed in the Clause 55 assessment section of this report.
- 8.37 The avoidance of any built form on side or rear boundaries, the layout of the dwellings in two separate rows with individual skillion roof forms, the separation provided at the first floor to break up the horizontal massing across the east and west elevations, the range of colours, materials and architectural features provided across the development, and the response to the slope of the site by stepping the dwellings down away from the frontage, all contribute to minimising the visual bulk impacts of the proposal. The design features of the proposal in conjunction with the level of compliance with both Clause 55 and the DDO8, subject to conditions, will result in an acceptable design and built form outcome for the site that is suitable for approval.

Off-site amenity impacts (overshadowing, daylight to existing windows, privacy and overlooking, boundary fencing, loss of views, residential noise)

- 8.38 A detailed assessment of the off-site amenity impacts likely to result from the proposal has been undertaken in accordance with Clause 55 of the Scheme, as previously detailed by this report.
- 8.39 The proposal will not cause any unreasonable additional overshadowing to the private open spaces of any adjoining properties. Additional overshadowing to adjoining private open spaces will only occur for the east and west adjoining properties due to the orientation of the site, and this additional overshadowing is not in excess of what is allowed by Standard B20 of Clause 55.04-5 (Overshadowing).
- 8.40 Further, the additional shadows beyond the fence line that have been identified are not excessive in area, and will only occur for portions of the day, thus these impacts will not unreasonably reduce the energy efficiency of any adjoining dwelling in accordance with Standard B10 of Clause 55.03-5 (Energy efficiency) of the Scheme. Additionally, the submitted shadow diagrams demonstrate that the solar energy facilities on the roof of the east adjoining property will not be impacted by the shadows from the proposal at any point during the day.

- 8.41 Daylight to existing windows is maintained in accordance with Clause 55.04-3 (Daylight to existing windows) of the Scheme. The setbacks of the dwellings from the side and rear boundaries avoids any encroachment into the dimensions required to be maintained with clear access to the sky around existing habitable room windows.
- 8.42 A number of permit conditions will be required to fully address Standard B22 of Clause 55.04-6 (Overlooking) of the Scheme. A new 2 metre high paling fence will be required along the east, west and north boundaries to limit views from ground floor internal and outdoor living areas to adjoining properties, and to ensure a quality, long-lasting privacy outcome. Additionally, two north facing ground floor windows (Dwelling 4 and 8 kitchen 'splashback' windows) will be amended to fixed obscure glazing. All upper level habitable room windows facing side or rear boundaries are screened to at least 1.7 metres above finished floor level, which also complies with Standard B22.
- 8.43 Whilst it is recognised that views may form part of residential amenity, there are no specific controls within the Manningham Planning Scheme that protect residents' rights to a view.
- 8.44 The consideration of this planning application is confined only to the construction of the dwellings, as the residential use of the dwellings does not require a planning permit and is not a planning matter. Residential noise associated with a dwelling is considered normal and reasonable in an urban setting. Any future issues of amenity, if they arise should be pursued as a civil matter. Noise associated with the mechanical car parking on the site will be measured, managed and monitored in accordance with an acoustic assessment prepared by a qualified engineer, which will be required by conditions of the permit.

On-site amenity (insufficiently sized private open space areas, shadowed private open space areas, poor accessibility)

- 8.45 The private open space areas meet the Objective and Standard of Clause 55.05-4 (Private open space) of the Scheme. A variety of open space types are provided across the dwellings, with some incorporating upper floor balconies and others larger secluded private open spaces areas at ground level – providing variety for future purchasers.
- 8.46 All provided open space areas are considered to afford an acceptable level of internal amenity for future residents when considering their location, level of solar access and usability. Balconies are not relied upon as the only open space for any of the dwellings, and all ground level open space areas have unencumbered access from the main indoor living areas.
- 8.47 The proposal has been assessed against Clause 55.05-1 (Accessibility) of the Scheme and was found to have a good level of compliance. All dwellings can be accessed without navigating any steps and there are sufficient services provided at the ground floor including kitchens, water closets and main living areas.

Services (pressure on existing utility services and infrastructure)

- 8.48 Council's infrastructure Services Unit have raised no concerns relating to the capacity of existing services and utilities by the development. Any infrastructure or services that are not owned by Council (such as telecommunications) are the responsibility of the relevant provider to ensure sufficient capacity. That being said, it is not anticipated that the proposed development would have any impact on services.
- 8.49 Permit conditions will ensure that services/equipment will be screened where necessary.
- 8.50 A permit condition will require waste to be collected by a private contractor within the site and no bins are placed within the nature strip, as per the Waste Management Plan.

Loss of property values

- 8.51 The Victorian Civil and Administrative Tribunal and its predecessors have generally found subjective claims that a proposal will reduce property values are difficult, if not impossible to gauge and of no assistance to the determination of a planning permit application. It is considered the impacts of a proposal are best addressed through an assessment of the amenity implications rather than any impacts upon property values. A detailed assessment of the amenity and other implications of the proposal has been provided in this report.

Construction impacts (congestion from vehicles including trucks)

- 8.52 Some noise and other off-site impacts are inevitable when any construction occurs. The developer will be required to meet relevant Local Law and EPA practices to ensure these impacts are mitigated. Standard construction management conditions will be applied to the permit and enforced if necessary, to ensure impacts from construction practices are minimised. All on-street parking by workers during construction must be in accordance with Council's Local Law requirements.

**9. CONCLUSION**

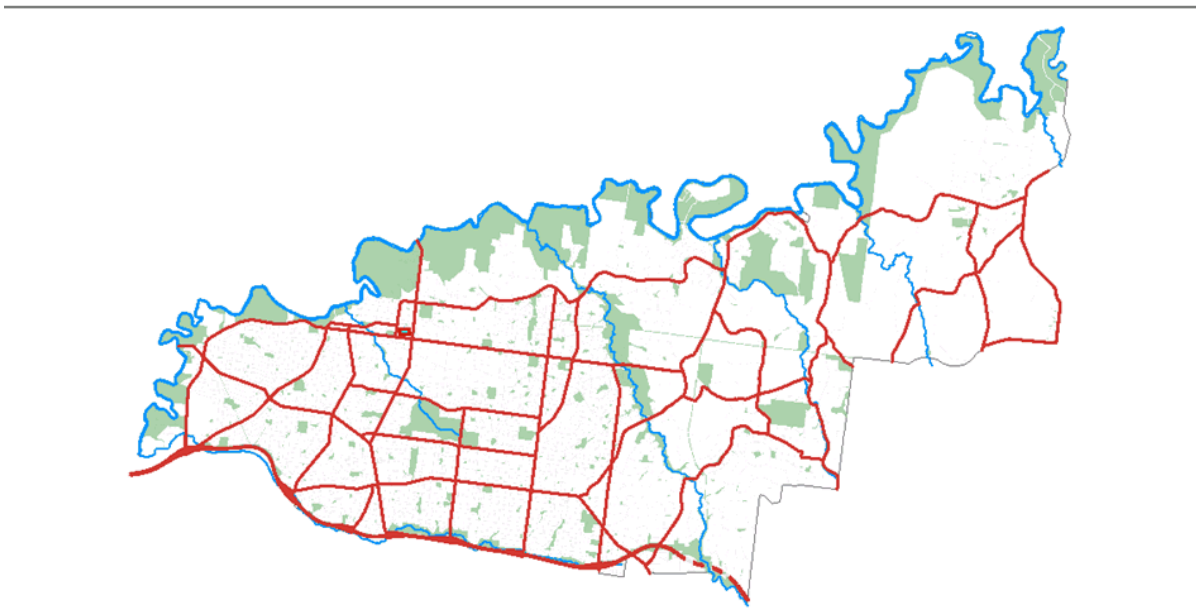
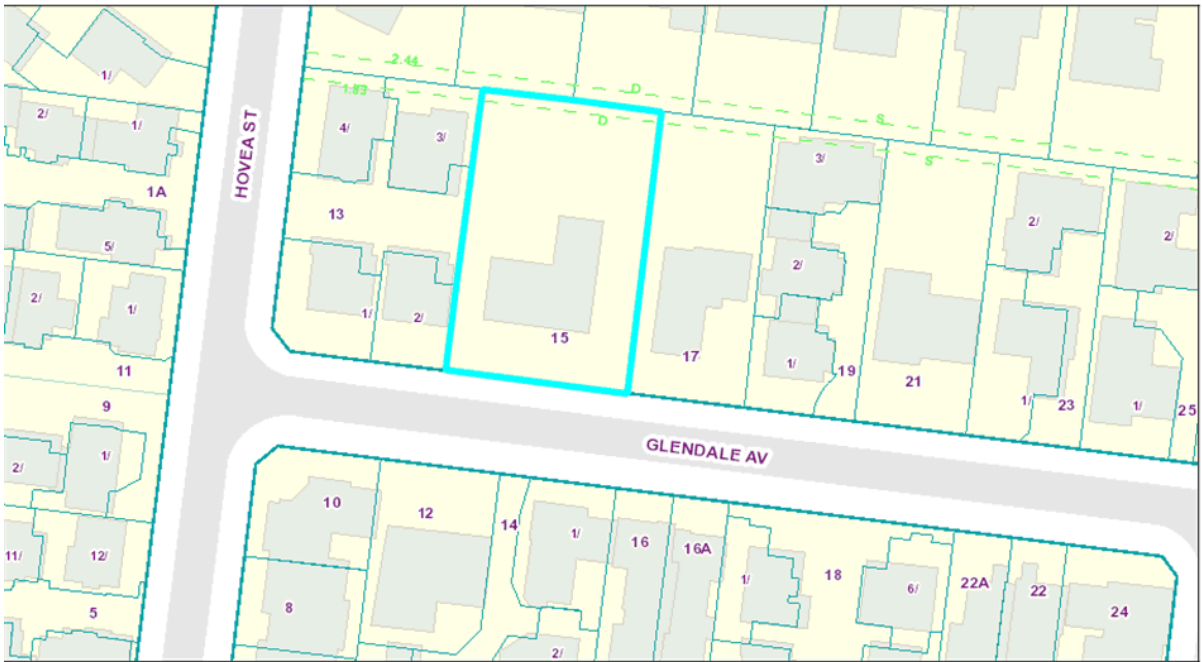
- 9.1 It is recommended that the application be supported, subject to conditions.

**10. DECLARATION OF CONFLICT OF INTEREST**

- 10.1 No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.



# Maps of Manningham



 **Subject Land**      **Address:** 15 Glendale Avenue, TEMPLESTOWE 3106

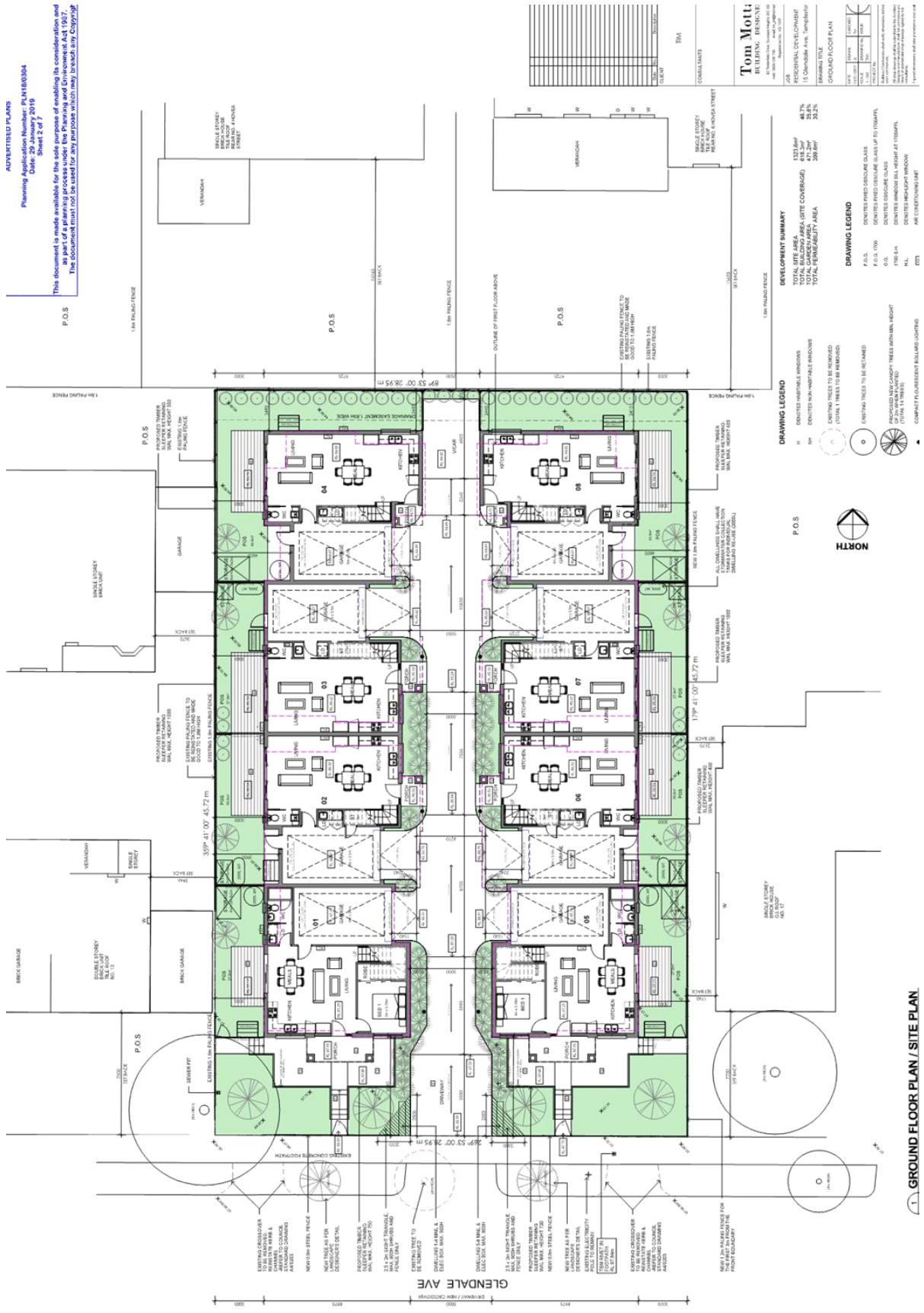
Whilst all care has been taken in the preparation of this cadastral base map, Manningham and the State of Victoria accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for Demonstration only.

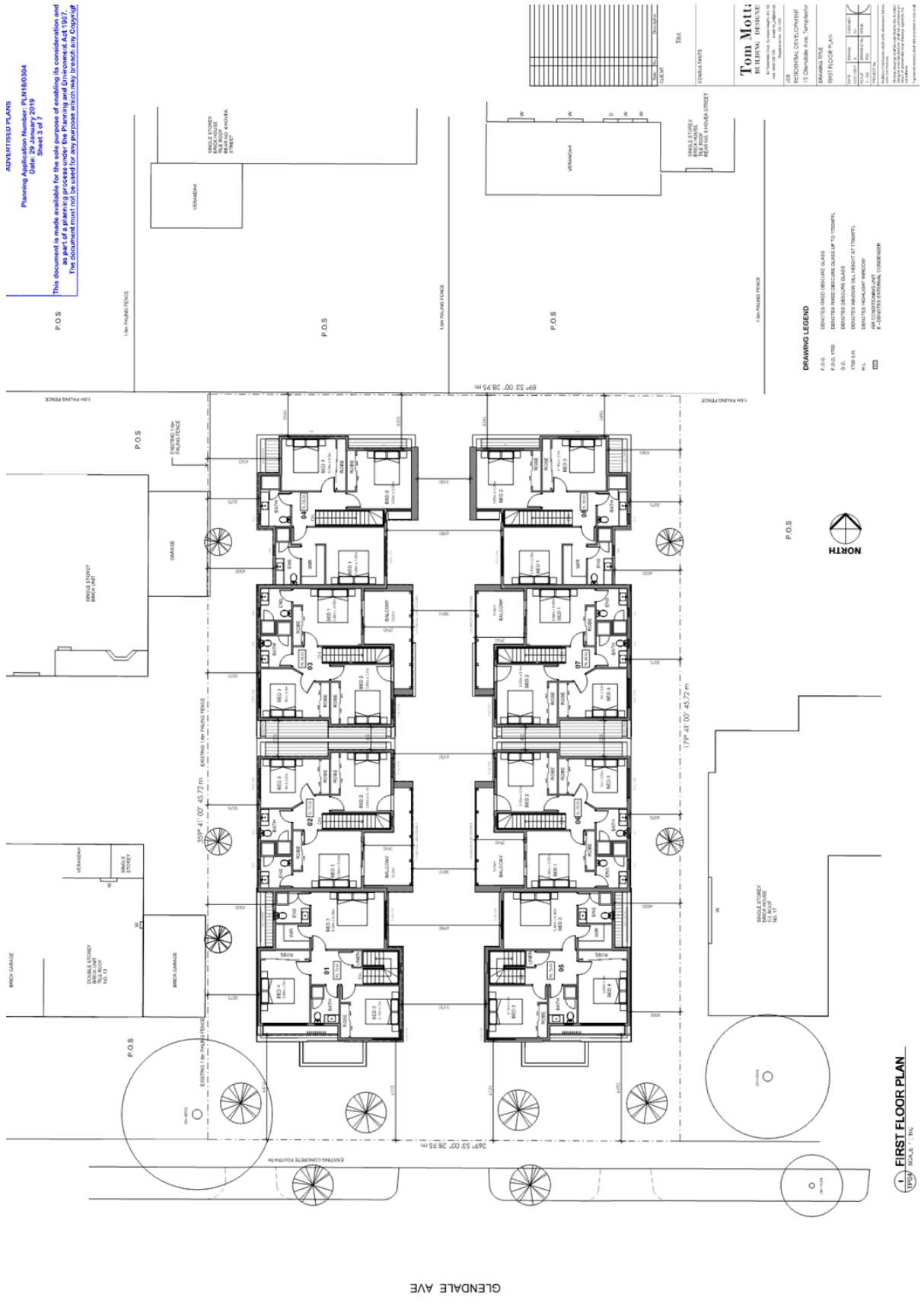


30/04/2019 9:44 am

Produced by **Manningham GIS**







ADVERTISED PLANS  
 Planning Application Number: P/18/00834  
 Date: 20 January 2019  
 Sheet 5 of 7

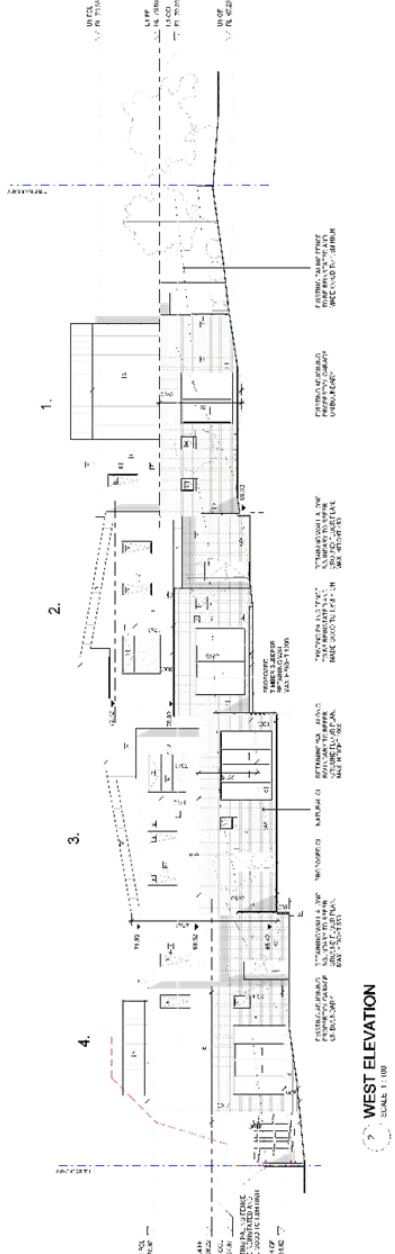
This document is made for **19, GLENDALE AVE.** of enabling its consideration and as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



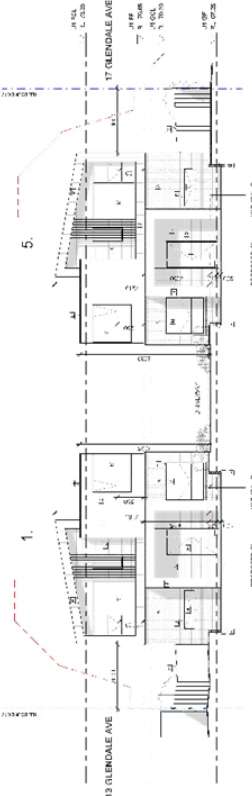
1 STREET ELEVATION  
 SCALE 1:125

**MATERIAL SCHEDULE**

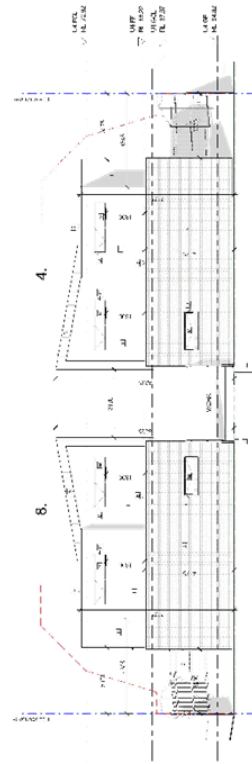
1	CONCRETE BLOCK
2	CLAY BRICK
3	SELECTED NATURAL LACED BRICKWORK
4	TERAZO
5	TERAZO IN-SET DESIGN
6	CONCRETE
7	BLACK SLIPCAST CONCRETE
8	WOOD GRAIN
9	WOOD GRAIN
10	WOOD GRAIN
11	WOOD GRAIN
12	WOOD GRAIN
13	WOOD GRAIN
14	WOOD GRAIN
15	WOOD GRAIN
16	WOOD GRAIN
17	WOOD GRAIN
18	WOOD GRAIN
19	WOOD GRAIN
20	WOOD GRAIN
21	WOOD GRAIN
22	WOOD GRAIN
23	WOOD GRAIN
24	WOOD GRAIN
25	WOOD GRAIN
26	WOOD GRAIN
27	WOOD GRAIN
28	WOOD GRAIN
29	WOOD GRAIN
30	WOOD GRAIN
31	WOOD GRAIN
32	WOOD GRAIN
33	WOOD GRAIN
34	WOOD GRAIN
35	WOOD GRAIN
36	WOOD GRAIN
37	WOOD GRAIN
38	WOOD GRAIN
39	WOOD GRAIN
40	WOOD GRAIN
41	WOOD GRAIN
42	WOOD GRAIN
43	WOOD GRAIN
44	WOOD GRAIN
45	WOOD GRAIN
46	WOOD GRAIN
47	WOOD GRAIN
48	WOOD GRAIN
49	WOOD GRAIN
50	WOOD GRAIN
51	WOOD GRAIN
52	WOOD GRAIN
53	WOOD GRAIN
54	WOOD GRAIN
55	WOOD GRAIN
56	WOOD GRAIN
57	WOOD GRAIN
58	WOOD GRAIN
59	WOOD GRAIN
60	WOOD GRAIN
61	WOOD GRAIN
62	WOOD GRAIN
63	WOOD GRAIN
64	WOOD GRAIN
65	WOOD GRAIN
66	WOOD GRAIN
67	WOOD GRAIN
68	WOOD GRAIN
69	WOOD GRAIN
70	WOOD GRAIN
71	WOOD GRAIN
72	WOOD GRAIN
73	WOOD GRAIN
74	WOOD GRAIN
75	WOOD GRAIN
76	WOOD GRAIN
77	WOOD GRAIN
78	WOOD GRAIN
79	WOOD GRAIN
80	WOOD GRAIN
81	WOOD GRAIN
82	WOOD GRAIN
83	WOOD GRAIN
84	WOOD GRAIN
85	WOOD GRAIN
86	WOOD GRAIN
87	WOOD GRAIN
88	WOOD GRAIN
89	WOOD GRAIN
90	WOOD GRAIN
91	WOOD GRAIN
92	WOOD GRAIN
93	WOOD GRAIN
94	WOOD GRAIN
95	WOOD GRAIN
96	WOOD GRAIN
97	WOOD GRAIN
98	WOOD GRAIN
99	WOOD GRAIN
100	WOOD GRAIN



2 WEST ELEVATION  
 SCALE 1:125



3 SOUTH ELEVATION  
 SCALE 1:125



4 NORTH ELEVATION  
 SCALE 1:125

**Tom Mott**  
 ARCHITECT  
 10/100 GLENDALE AVENUE  
 GLENDALE VIC 3045  
 PH: 03 9477 1111  
 WWW.TOMMOTT.COM.AU



## 5. LEGISLATIVE REQUIREMENTS

### 5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### 5.2 MANNINGHAM PLANNING SCHEME

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.08 General Residential Zone, Schedule 2
- Clause 43.02 Design and Development Overlay, Schedule 8
- Clause 52.06 Car Parking
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

#### Zone

##### Clause 32.08 General Residential Zone, Schedule 2

The purpose of the General Residential Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot.

The construction and extension of two or more dwellings on a lot must meet the requirements of Clause 55.

An application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area of 35% for lots above 650 square metres.

This does not apply to an application to alter or extend an existing building that did not comply with the minimum garden area requirement of Clause 32.08-4 on the approval date of Amendment VC110.

A building must not be constructed for use as a dwelling or a residential building that:

- *exceeds the maximum building height specified in a schedule to this zone; or*
- *contains more than the maximum number of storeys specified in a schedule to this zone.*

If no maximum building height or maximum number of storeys is specified in a schedule to this zone:

- *the building height must not exceed 11 metres; and*
- *the building must contain no more than 3 storeys at any point.*

Schedule 2 to the General Residential Zone does not specify a maximum building height requirement for a dwelling or residential building.

A basement is not a storey for the purposes of calculating the number of storeys contained in a building.

### Overlays

#### Clause 43.02 Schedule 8 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the building.*
- *To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To encourage landscaping around buildings to enhance separation between buildings and soften built form.*

#### Permit Requirement

- *A permit is required to construct or carry out works.*
- *A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.*



#### Building Height & Setbacks

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.
- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

Table 1

Sub-Precinct	Maximum Building Height	Condition regarding minimum land size	Street setback
DDO8-3 (Sub-Precinct B)	9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.		<p>For two or more dwellings on a lot or a residential building:</p> <ul style="list-style-type: none"> <li>• Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser</li> <li>• Minimum side street setback is the distance specified in Clause 55.03-1</li> </ul>

#### Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Strategies towards achieving this are identified as follows:

- *Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.*
- *Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.*
- *Ensure the interface between the private and public realm protects and enhances personal safety.*
- *Ensure development supports public realm amenity and safe access to walking and cycling environments and public transport.*
- *Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.*

- *Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.*
- *Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.*
- *Promote good urban design along and abutting transport corridors.*

Clause 15.01-2 (Building Design) policy objective is:

- *To achieve building design outcomes that contribute positively to the local context and enhance the public realm.*

The strategies to achieve this requires a comprehensive site analysis prior to the design process, requires developments to respond to strategic and cultural context of its locations, minimise detrimental impact on neighbouring properties and encourages landscaping that enhances the built form and create safe attractive spaces.

Clause 15.01-4 (Healthy Neighbourhoods) policy objective is:

- *To achieve neighbourhoods that foster healthy and active living and community wellbeing.*

Strategies to achieve the objective include designing neighbourhoods that foster community interaction and making it easy for people of all ages to live healthy lifestyles by providing connected, safe and attractive walking and cycling networks, conveniently locating public spaces for active recreation, providing accessibly located public transport stops and streets with direct, safe and convenient access to destinations.

Clause 15.01-5 (Neighbourhood Character) policy objective is:

- *To recognise, support and protect neighbourhood character, cultural identity and sense place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.*
- *Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by emphasising the:*
  - *Pattern of local urban structure and subdivision*
  - *Underlying natural landscape character and significant vegetation.*
  - *Heritage values and built form that reflect community identity.*

Clause 15.02-1 Sustainable Development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is energy and resources efficient, supports a cooler environment and minimises greenhouse gas emissions.*

The clause has the following strategies:

- *Improve the energy, water and waste performance of buildings and subdivisions through environmentally sustainable development.*
- *Promote consolidation of urban development and integration of land use and transport. Improve efficiency in energy use through greater use of renewable energy technologies and other energy efficiency upgrades.*
- *Support low energy forms of transport such as walking and cycling.*
- *Reduce the urban heat island effect by greening urban areas, buildings, transport corridors and open spaces with vegetation.*



- *Encourage retention of existing vegetation and planting of new vegetation as part of development and subdivision proposals.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*

The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Facilitate the delivery of high quality social housing.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in designated locations that offer good access to jobs, services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-3 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet diverse needs.*

The several strategies to achieve this objective include the following:

- *Ensure housing stock matches changing demand by widening housing choice.*
- *Facilitate diverse housing that offers choice and meets changing household needs through:*
  - *A mix of housing types.*
  - *Adaptable internal dwelling design.*
  - *Universal design.*
- *Encourage the development of well-designed medium-density housing that:*
  - *Respects the neighbourhood character.*
  - *Improves housing choice.*
  - *Makes better use of existing infrastructure.*
  - *Improves energy efficiency of housing.*
- *Support opportunities for a range of income groups to choose housing in well-serviced locations.*

- *Ensure planning for growth areas provides for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.*

Clause 16.01-4 Housing affordability

The policy objective is:

- *To deliver more affordable housing closer to jobs, transport and services.*

Clause 18.01-1 Integrated Transport: Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

Clause 18.02-1 Movement networks: Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

### **Local Planning Policy Framework (LPPF)**

#### **Municipal Strategic Statement**

##### Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

##### Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

#### **The site is within Precinct 2 – Residential Areas Surrounding Activity Centres and Along Main Roads.**

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The site is located within **Sub-Precinct B**.

Sub-Precinct B is an area where single storey and two storey dwellings only will be considered and development should have a maximum site coverage of 60 percent. There is no minimum land area for such developments.

Development in Precinct 2 should:

- *Provide for contemporary architecture*
- *Achieve high design standards*
- *Provide visual interest and make a positive contribution to the streetscape*
- *Provide a graduated building line from side and rear boundaries*
- *Minimise adverse amenity impacts on adjoining properties*
- *Use varied and durable building materials*
- *Incorporate a landscape treatment that enhances the overall appearance of the development.*
- *Integrate car parking requirements into the design of buildings and landform.*

#### Clause 21.10 Ecologically Sustainable Development

This policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

### **Local Planning Policy**

#### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

#### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

#### Clause 22.12 Environmentally Sustainable Development

This policy applies throughout Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

### **Particular Provisions**

#### Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rates:

- *1 space for 1 and 2 bedroom dwellings.*
- *2 spaces for 3 or more bedroom dwellings.*

No residential visitor car parking spaces are required for any part of the land identified as being within the Principal Public Transport Network Area.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

#### Clause 55 Two or more dwellings on a lot and Residential Buildings

A development:

- Must meet all of the objectives of this clause
- Should meet all of the standards of this clause.

A zone or a schedule to a zone, or a schedule to an overlay may specify a requirement different from a requirement of a standard set out in Clause 55.

### **General Provisions**

#### Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

**9.2 Planning Application PLN18/0571 at 674-680 Doncaster Road, 2 Short Street, 14, 14A, 16 and 18 Hepburn Road, Doncaster for the partial demolition of the existing building, use and development of the land for a 13-storey mixed-use building comprising 136 dwellings, place of assembly, child care centre, food and drink premises and office, reduction in standard car parking requirements and the creation and alteration of access to a road in a Road Zone, Category 1**

File Number: IN19/242  
Responsible Director: Director City Planning and Community  
Applicant: Hollerich Town Planning Pty Ltd  
Planning Controls: Activity Centre Zone, Schedule 1 (ACZ1); Heritage Overlay, Schedule 46 (HO46); Development Contributions Plan Overlay, Schedule 1 (DCPO1); Parking Overlay, Schedule 1 (PO1)  
Ward: Koonung  
Attachments: 1 Decision Plans [↓](#)  
2 Legislative Requirements [↓](#)

## **EXECUTIVE SUMMARY**

### **Purpose**

1. This report provides Council with an assessment of the planning permit application submitted for 674-680 Doncaster Road, 2 Short Street, 14, 14A, 16 and 18 Hepburn Road, Doncaster and recommends approval, subject to amendments that will be addressed by way of permit conditions. The application is being reported to Council as it is a Major Application (with 15 or more dwellings and a development cost of more than \$5 million).

### **Proposal**

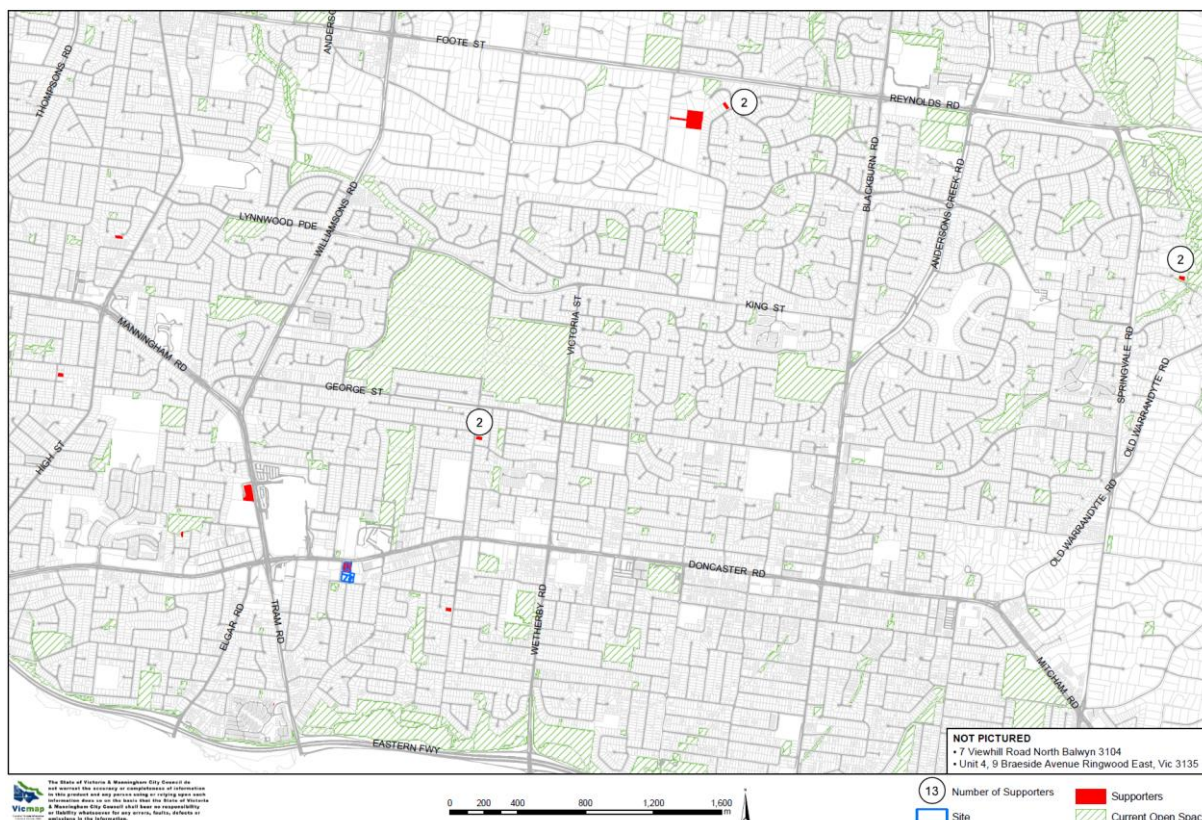
2. It is proposed to retain the existing chapel and demolish the remainder of the buildings, to use and develop the land for a 13-storey, mixed-use building. It comprises 136 dwellings (including six dwellings set aside for affordable housing), a place of assembly, child care centre, two food and drink premises and two offices. It also involves a reduction in standard car parking requirements associated with non-residential uses and creation and alteration of access to a road in a Road Zone, Category 1.
3. The land has a total area of 6,583m<sup>2</sup>. The proposal has an overall site coverage of 74% and a site permeability of 12%. The building does not exceed the Activity Centre Zone maximum building height limits of 34.8m within Precinct 2B or 14.5m within Precinct 2F. A total of 400 car spaces are distributed over four levels, in two separate sections, with 198 spaces for the dwellings (residents and visitors) and 202 spaces for non-residential uses. 71 bicycle spaces are provided.
4. A separate application will consider an increase to the height of the building through a Planning Scheme Amendment.

**Advertising**

5. Notice of the application was given over a three week period which concluded on 27 March 2019.
6. 21 objections were received. The objections include concerns primarily relating to traffic and congestion, inadequate on-street and off-street car parking and pedestrian safety. Other issues include traffic noise, crossover location, public transport availability, overdevelopment, off-site amenity impacts, inadequate off-site public open space, and construction impacts.
7. The property addresses of all objectors is shown on the map below:



8. Sixteen submissions of support were also received. The property addresses of all supported is shown on the map below:



**Key issues in considering the application**

9. The key issues for Council in considering the proposal relate to:
- Planning Policy Frameworks;
  - Design, built form and heritage;
  - Apartment developments;
  - Car parking, access, traffic, land adjacent to a Road Zone Category 1 and bicycle facilities;
  - Affordable housing; and
  - Objector concerns.

**Assessment**

10. The development of the land for a mixed-use, high density residential apartment building is consistent with the relevant objectives of State and Local planning policies of the Manningham Planning Scheme (the Scheme), including the requirements of the Activity Centre Zone 1 (ACZ1) and supporting policy related to the Doncaster Hill Principal Activity Centre.
11. The development features a contemporary design, and meets the mandatory maximum building heights and setbacks to Doncaster Road (subject to condition) prescribed by the ACZ1. It presents a scale and design that complements other high density developments (both approved and constructed) in the area and appropriately responds to the heritage significance of the existing chapel (subject to conditions).

12. The proposal meets the car parking requirements for the dwellings (residents and visitors), however the application has a shortfall of car parking for non-residential uses. Conditions will limit the operating hours of the child care centre and offices to weekdays only and limit the number of patrons associated with the place of assembly. Peak car parking demand is expected during the day on weekdays and weekends. During these times, the combination of the distribution of uses and limitations on the number of patrons associated with the place of assembly during weekdays will ensure that the non-residential car park can reasonably accommodate the anticipated demand.

### **Conclusion**

13. The relevant planning controls seek an intensive residential or mixed use development for the subject site. The proposed development will comply with the various requirements of the ACZ1 as they relate to siting, height and building presentation and transitions appropriately to surrounding development. This report concludes that the proposal complies with the relevant planning policy in the Scheme and should be supported, subject to conditions requiring modest design changes to the building and the submission of management plans for approval prior to the commencement of works.
14. It is recommended that the application be supported, subject to conditions.



Councillor Piccinini returned to the meeting at 8:19pm after Item 9.3 was finalised and resumed the Chair.

### **COUNCIL RESOLUTION**

**MOVED: CR GEOFF GOUGH**  
**SECONDED: CR PAUL MCLEISH**

**That Council:**

- A. Having considered all objections issue a NOTICE OF DECISION TO GRANT A PERMIT in relation to Planning Application PLN18/0571 at 674-680 Doncaster Road, 2 Short Street, 14, 14A, 16 and 18 Hepburn Road, Doncaster for the partial demolition of the existing building, use and development of the land for a 13-storey mixed-use building comprising dwellings, a place of assembly, child care centre, food and drink premises and offices, reduction in standard car parking requirements and the creation and alteration of access to a road in a Road Zone, Category 1, subject to the following conditions –**
- 1. Before the use and development starts, amended plans drawn to scale and dimensioned, must be submitted to the satisfaction of and approved by the Responsible Authority. When approved the plans will then form part of the permit. The plans must be generally in accordance with the decision plans (prepared by Design Inc, Project No. 16040, Revision P8 dated 1 March 2019), but modified to show:**
    - Built form and design**
      - 1.1 A minimum 9m setback to the front tower to Doncaster Road;**
      - 1.2 The replacement of the pale bronze vertical Colorbond cladded screen (marked on the plan as CW03) defining the northern balconies of Apartments 6.11 on Level 6 and 7.11 on Level 7 with the pale bronze powdercoated aluminium box fins (marked on the plan as MB01), to terminate at the western edge of the balconies;**
      - 1.3 The brickwork identified on the plans as ‘BK01’ modified to a pale colour, which can match the original lighter coloured brick used for detailing on the 1889 church building;**
    - Boulevard treatment and Doncaster Road frontage**
      - 1.4 Full details of the boulevard treatment along Doncaster Road, including maintaining a minimum 3.6m wide paved promenade with staggered avenues of deciduous trees, with full dimensions and paving materials in accordance with the Doncaster Hill Strategy;**
      - 1.5 The continuation of the Doncaster Hill paved promenade treatment over the Doncaster Road crossover/driveway to reinforce pedestrian priority;**

- 1.6 Greater detail of the scale of the utility cabinets, fire booster assembly and water meters along the frontage, including details of adequate screening and to ensure these cabinets integrate appropriately with the development and are not dominant features of the front façade;**

**Landscaping**

- 1.7 All landscaping areas detailed and dimensioned to correspond with the concept landscape plans (prepared by Phillip Johnson Landscapes, Job No. 1019, dated 19 November 2018);**
- 1.8 The following additional areas set aside for landscaping to the satisfaction of the Responsible Authority:**
- 1.8.1 A minimum 1m wide area to the perimeter of the site, within the private open space area of dwellings fronting Short Street and Hepburn Road;**
- 1.8.2 In suitable areas within the plazas;**
- 1.8.3 In suitable areas between the driveway to the loading area and Apartment 1.02;**
- 1.8.4 Along the eastern boundary, adjacent to 8-10 Hepburn Road;**
- 1.9 Full details of retaining walls and fencing around the perimeter of the site and to each road frontage;**
- 1.10 The location of street trees to be removed;**
- 1.11 The retention of the street trees within the road reserve of Hepburn Road;**

**Car parking, access and basement areas**

- 1.12 The numbering of all car parking spaces, demonstrating at least 184 residential spaces, 13 visitor spaces and at least 202 non-residential spaces;**
- 1.13 A detailed schedule and allocation of car parking spaces for:**
- 1.13.1 Each apartment and townhouse within the basement and Level 1, rationalised based on the location of corresponding allocated external storage spaces and the most convenient lift locations relative to the entrance of each dwelling;**
- 1.13.2 Residential visitor spaces, located towards the entrance of the residential car park within Level 1;**
- 1.14 Allocation of external storage for each dwelling, rationalised based on the location of corresponding allocated resident vehicle spaces, including a minimum 6m<sup>3</sup> of storage to each townhouse;**

- 1.15 Details of the materials and finishes of all external storage areas;
  - 1.16 Details and plan notations demonstrating each area set aside for bicycle spaces complies with Clause 52.34-6 (Design of bicycle spaces) and Clause 52.34-7 (Bicycle signage) of the Manningham Planning Scheme. The spaces provided within the Level 4 plaza must be fully rationalised having regard to the proximity to the crossover and functionality of the overall plaza;
  - 1.17 The driveway to the entry of the non-residential car park modified to be no steeper than 1:10 and demonstrated to comply with Clause 52.06-9 (Car Parking) of the Manningham Planning Scheme;
  - 1.18 A notation detailing that all redundant vehicle crossovers be removed and the footpath, nature strip, kerb and channel be reinstated;
  - 1.19 The location of intercom systems to the car park entries;
- Other
- 1.20 All balcony minimum dimensions to comply with Clause 58.05-3 (Private Open Space) of the Manningham Planning Scheme.
  - 1.21 Balcony barrier height and materials to demonstrate internal views have been satisfactorily limited between apartment balconies to meet Standard D15 of Clause 58.04-2 (Internal views) of the Manningham Planning Scheme;
  - 1.22 Measures to limit views into habitable room windows and private open space of new and existing dwellings to meet Standard D14 of Clause 58.04-1 (Building setback) of the Manningham Planning Scheme;
  - 1.23 All internal storage areas demonstrated to comply with Standard D20 of Clause 58.05-4 (Storage) of the Manningham Planning Scheme;
  - 1.24 Individual letterboxes provided to each townhouse with a frontage to Hepburn Road or Short Street, to be appropriately integrated into the fence design;
  - 1.25 Capacity of the rainwater tanks;
  - 1.26 A schedule listing all sustainability features / commitments applicable to the approved development, including the provision of third pipe and any plans changes as required, as per the Sustainability Management Plan approved under Condition 4 of this permit;
  - 1.27 All recommendations and design changes as required by VicRoads;

**1.28 All recommendations and design changes as required by the Pedestrian Wind Environment Report under Condition 8 of this permit, including the location, height and materials of all screens to the satisfaction of the Responsible Authority; and**

**1.29 All recommendations and design changes as required by the reports and management plans approved under Conditions 6, 7 and 11 of this permit to the satisfaction of the Responsible Authority.**

#### **Endorsed Plans**

- 2. The uses and development, including the location of buildings, services, engineering works, fences and landscaping as shown on the approved plans must not be altered without the written consent of the Responsible Authority.**

#### **Construction Management Plan**

- 3. Not less than three months before the development starts, a Construction Management Plan (CMP) must be submitted and approved to the satisfaction of the Responsible Authority. When approved the plan will form part of the permit. The Construction Management Plan is to be prepared in accordance with the template within Council's CMP Guidelines. The CMP must address:**

- 3.1 Element A1: Public Safety, Amenity and Site Security;**
- 3.2 Element A2: Operating Hours, Noise and Vibration Controls;**
- 3.3 Element A3: Air Quality and Dust Management;**
- 3.4 Element A4: Stormwater and Sediment Control and Tree Protection (also as per the specific requirements of this permit);**
- 3.5 Element A5: Waste Minimisation and Litter Prevention; and**
- 3.6 Element A6: Traffic and Parking Management which is also to include consideration of a shuttle service for construction personnel to and from the site.**

**Council's Works Code of Practice and Construction Management Plan Guideline are available on Council's website.**

#### **Sustainability Management Plan**

- 4. Prior to the endorsement of plans under Condition 1, an amended Sustainability Management Plan (SMP) must be submitted and approved to the satisfaction of the Responsible Authority. When approved the Plan will form part of the permit. The recommendations of the Plan must be incorporated into the design and layout of the development and must be implemented to the satisfaction of the Responsible Authority before the occupation of any dwelling. The plan must be generally in accordance with the report prepared by Lucid Consulting, Revision P3 dated 20 December 2018, but be modified to:**

- 4.1 Third pipe connection must not only be a single point connection to top up the rainwater tank;

#### **Integrated Water Management**

- 4.2 Site water management be designed to:
  - 4.2.1 Minimise the use of potable water through efficiency and maximising the use of available alternate water sources;
  - 4.2.2 Meet the requirements of servicing authorities, including connection to alternate water sources;
  - 4.2.3 Achieve Victorian Best Practice for stormwater quality treatment outcomes;
  - 4.2.4 Maximise opportunities for integration of landscape into treatment trains;
  - 4.2.5 Limit the rate of stormwater discharge through a nominated point as required; and
  - 4.2.6 Provide for the practicable ongoing operation and maintenance of design elements.
- 4.3 Detail the size and location of rainwater tanks connected to toilets and/or details of other treatment types proposed;

#### **Green Star Assessment**

- 4.4 Demonstrate achieving 'Best Practice' 4-stars (45 points minimum) in the Green Star Design & As-Built Rating System;
- 4.5 Demonstrate how the following credits have been achieved in the report:
  - 4.5.1 Man-1.1 Accredited Professional;
  - 4.5.2 IEQ-9.3 Exhaust or Elimination of Pollutants; and
  - 4.5.3 IEQ-14.2 Advanced Thermal Comfort, demonstrating the 7-star requirement and PMV commitments for non-residential areas.

#### **Green Travel Plan**

5. The development must be constructed in accordance with the Green Travel Plan approved and forming part of this permit (prepared by GTA Consultants, dated 10 December 2018), and all of its requirements must be implemented and complied with at all times to the satisfaction of the Responsible Authority, unless with the further written approval of the Responsible Authority.

**Waste Management Plan**

6. Prior to the endorsement of plans under Condition 1, an amended Waste Management Plan must be submitted and approved to the satisfaction of the Responsible Authority. When approved, the plan will form part of the permit. The plan must be generally in accordance with the submitted Waste Management Plan prepared by Leigh Design, dated 3 April 2018, but be modified to show:
  - 6.1 Measures to ensure that the private waste contractor can access the development and the private waste contractor bins;
  - 6.2 No private waste contractor bins can be left outside the development boundary at any time on any street frontage for any reason.

**Acoustic Report**

7. Prior to the endorsement of plans under Condition 1, an amended Acoustic Report must be submitted and approved to the satisfaction of the Responsible Authority. When approved, the plan will form part of the permit. The plan must be generally in accordance with the acoustic report prepared by Acoustic Logic, dated 30 October 2018, but be modified to show:
  - 7.1 Measures to address external noise intrusion from traffic on Doncaster Road;
  - 7.2 Any further acoustic measures required to limit impacts to residents both within and external to the development from the child care centre and place of assembly to the satisfaction of the Responsible Authority.

**Pedestrian Wind Environment Report**

8. Prior to the endorsement of plans under Condition 1, an amended Pedestrian Wind Environment Report must be submitted and approved to the satisfaction of the Responsible Authority. When approved, the plan will form part of the permit. The plan must be generally in accordance with the report prepared by Windtech, dated 11 February 2019, but be modified to show:
  - 8.1 Alternative measures to provide wind protection that avoids the provision of screens on the north-western balconies of Levels 6 and 7, based on the requirement under Condition 1.2 of this permit to the satisfaction of the Responsible Authority;
  - 8.2 Diagrams to show the location of all required screens.

**Disability Access Plan**

9. Before the development starts, or the issue of a building permit for the development, whichever is the sooner, a Disability Access Plan that implements the recommendations of a Disability Access Audit, prepared by a suitably qualified person that demonstrates compliance with the relevant Australian Standards for access, including AS1428 Part 2, must be submitted and approved to the satisfaction of the Responsible Authority. When approved, the plan will form part of the permit. The plan must include but is not limited to:
  - 9.1 Vehicular and pedestrian access into the building;
  - 9.2 Access to the lifts;
  - 9.3 The provision of tactile indicators;
  - 9.4 The provision of braille indicators for the lifts;
  - 9.5 The use of contrasting paving materials to assist the vision impaired;
  - 9.6 All emergency exits; and
  - 9.7 Car parking areas.

**Car Parking Management Plan**

10. Before the commencement of any approved use, a Car Parking Management Plan must be submitted and approved to the satisfaction of the Responsible Authority. When approved, the plan will then form part of the permit. Traffic and parking operations on and adjacent to the site must conform to this approved plan. The plan must be generally in accordance with the endorsed plans and must include:
  - 10.1 The allocation of all car parking spaces;
  - 10.2 Details of how each car park will be managed, including access arrangements and any measures to allow any available non-residential car parking spaces to be utilised by other uses as overflow parking;
  - 10.3 Details of how the loading area will be managed;
  - 10.4 Details of how all bicycle parking spaces will be allocated and managed.

**Conservation Management Plan**

11. Prior to any demolition works commencing on the site or the endorsement of plans under Condition 1, whichever is the sooner, a conservation management plan must be submitted and approved to the satisfaction of the Responsible Authority. When approved, the conservation management plan will be endorsed and form part of the permit. The conservation management plan must provide further details of works which will be undertaken to the existing church building on the site and include:

- 11.1 Detailed plans to show the specific stain glass windows that will be retained and any measures required for removal during the construction process, storage details, restoration and installation measures as part of the interpretive strategy under Condition 16 of this permit, to the satisfaction of the Responsible Authority. The CMP must include details of a suitably qualified stained glass conservator undertaking the works;
- 11.2 Details of the storage location for the existing interpretive signage, foundation stones and stain glass windows during construction works to ensure their protection;
- 11.3 A detailed plan outlining the new location of the existing interpretive signage, foundation stones and stain glass windows as part of the interpretive strategy under Condition 16 of this permit;
- 11.4 Detailed construction plans (drawn to scale of 1:20) of the new portico informed by available evidence of the original building to the satisfaction of the Responsible Authority and plan details of how the new portico and steps will be fixed to the existing church building;
- 11.5 Detailed construction plans (drawn to the scale of 1:20) to show how the existing church building will be fixed to the new building to the satisfaction of the Responsible Authority; and
- 11.6 Detailed construction plans (drawn to the scale of 1:20) to show the integration of the existing church building with the new building so that it is level and aesthetically compatible with the chapel extension, gardens and foyer to the satisfaction of the Responsible Authority.

Works must be undertaken in accordance with the conservation management plan and must be managed by a suitably qualified heritage specialist to the satisfaction of the Responsible Authority.

#### Management Plan Compliance

12. The Management Plans and reports approved under Conditions 3, 4, 5, 6, 7, 8, 9, 10 and 11 of this permit must be implemented and complied with at all times to the satisfaction of the Responsible Authority, unless with the further written approval of the Responsible Authority.
13. Before the occupancy of the development, a report from the author of the Sustainability Management Plan approved under Condition 4 of this permit, or similar qualified person or company, must be submitted to the satisfaction of the Responsible Authority. The report must confirm that all measures / commitments in the Sustainability Management Plan approved under Condition 4 of this permit, and the third pipe requirements, have been implemented in accordance with the approved plans and the planning permit to the satisfaction of the Responsible Authority.



**Removal of restriction**

14. Before the development starts, the restriction contained in the Instrument of Transfer number B416060 on Lot 9 of PS 056685 must be removed from the title pursuant to Section 23 of the Subdivision Act 1988, to the satisfaction of the Responsible Authority.

**Archival record**

15. Prior to any demolition works commencing on the site, a photographic heritage record of the church building and the buildings to be demolished or altered must be prepared to the satisfaction of the Responsible Authority. One archival quality copy of the record along with an electronic copy must be submitted to the Responsible Authority. The record must also include:

- 15.1 Views of each elevation of the building/s;
- 15.2 Two diagonally opposed views of each internal space in the building/s; and
- 15.3 Any architectural design detailing of the building/s.
- 15.4 Photo log sheets including plans clearly showing north and indicating what direction the images were taken.

The photographic record must be taken with an SLR camera of at least 8 megapixels and images saved in RAW format.

**Interpretive strategy**

16. Before the commencement of the use of the place of assembly, an interpretive strategy of permanent displays must be installed within the Level 4 public space foyer to the satisfaction of the Responsible Authority. It must include the archival record approved under Condition 15, incorporated with existing interpretive signage, existing church archives that document the history and development of the site and the re-use of existing stain glass windows.

**Landscape Plan**

17. Before the development starts, amended landscaping plans must be submitted to the Responsible Authority for approval. The plans must be generally in accordance with the approved site layout plans and the decision plans prepared by Phillip Johnson Landscapes, Job No. 1019, dated 19 November 2018, but modified to show:
  - 17.1 Species, locations, quantities, approximate height and spread of proposed planting;
  - 17.2 Details of soil preparation and mulch depth for garden beds;
  - 17.3 Sectional details of shrub planting method and the canopy tree planting method which includes support staking and the use of durable ties;

- 17.4 A separate sectional detail of Doncaster Road boulevard canopy tree planting methods, which includes appropriate root director or root cell technology incorporated to ensure that the boulevard paving is not damaged by tree roots over time;
- 17.5 Sectional details of the planting method for planter boxes, including the method of drainage;
- 17.6 Details of the site frontage to Doncaster Road, including the location of bicycle parking, ramps, planter beds, retaining walls and surface materials, to demonstrate how this area will function and be maintained to ensure a purposeful interaction with the public realm;
- 17.7 The irrigation of communal garden beds and lightweight planter boxes controlled by sensors;
- 17.8 Details of any rain-garden, including maintenance details;
- 17.9 All canopy trees and screen planting to be at least 1.5 metres in height at the time of planting, with the exception of trees within the Doncaster Road boulevard, which must be at least 3.5 metres in height at the time of planting.

#### Landscape Bond

18. Before the release of the approved plan for the development, a \$15,000 cash bond or bank guarantee must be lodged with the Responsible Authority to ensure the completion and maintenance of landscaped areas and such bond or bank guarantee will only be refunded or discharged after a period of 13 weeks from the completion of all works, provided the landscaped areas are being maintained to the satisfaction of the Responsible Authority.

#### Street Trees

19. Footpath panels adjacent to proposed street tree locations must be removed and reinstalled by the developer/property owner with TripStop X to Council specification, and to the satisfaction of the Responsible Authority.
20. All fencing foundations and infrastructure must be engineered and installed to withstand the pressure exerted from roots from street trees as they grow, to the satisfaction of the Responsible Authority.
21. All street trees along Hepburn Road must be retained and protected in accordance with AS 4970, to the satisfaction of the Responsible Authority.
22. All street tree removal and planting works must be undertaken by Council at the full cost of the permit holder, to the satisfaction of the Responsible Authority.

**Completion and Maintenance**

23. Once the permitted development has commenced it must be continued and completed to the satisfaction of the Responsible Authority.
24. Before the occupation of any approved dwelling the following works must be completed generally in accordance with the approved plans and to the satisfaction of the Responsible Authority:
  - 24.1 All privacy screens and obscured glazing must be installed, noting that the use of obscure film fixed to transparent windows is not considered to be 'obscured glazing';
  - 24.2 All driveways, bicycle and car parking areas fully constructed, with appropriate grades and transitions, line marked and/or signed and available for use; and
  - 24.3 All landscape areas must be fully planted and mulched or grassed.
25. Buildings, including screening, engineering works, fences and landscaped areas must be maintained to the satisfaction of the Responsible Authority.
26. The landscaping as shown on the approved landscaping plan must be maintained by replacing any dead, diseased, dying or damaged plants as soon as practicable and not using the areas set aside for landscaping for any other purpose, to the satisfaction of the Responsible Authority.
27. In the event of excavation or works causing damage to any existing boundary fence, the owner of the development site must at their own cost repair or replace the affected fencing to the satisfaction of the Responsible Authority.

**Stormwater – On-site detention (OSD)**

28. The owner must provide on-site storm water detention storage or other suitable system (which may include but is not limited to the re-use of stormwater using rainwater tanks), to limit the Permissible Site Discharge (PSD) to that applicable to the site coverage of 35 percent of hard surface or the pre-existing hard surface if it is greater than 35 percent. The PSD must meet the following requirements:
  - 28.1 Be designed for a 1 in 5 year storm; and
  - 28.2 Storage must be designed for 1 in 10 year storm.

**Construction Plan (OSD)**

29. Before the development starts, a construction plan for the system required by Condition 28 of this permit must be submitted to and approved by the Responsible Authority. The system must be maintained by the Owner thereafter in accordance with the approved construction plan to the satisfaction of the Responsible Authority.

**Drainage**

30. Stormwater must not be discharged from the subject land other than by means of drainage to the legal point of discharge. The drainage system within the development must be designed and constructed to the requirements and satisfaction of the relevant Building Surveyor. A connection to Council maintained assets must not be constructed unless a Miscellaneous Works Permit is first obtained from the Responsible Authority.
31. The whole of the land, including landscaped and paved areas must be graded and drained to the satisfaction of the Responsible Authority, to prevent ponding and to minimise overland flows onto adjoining properties.

**On-site car parking and bicycle parking and access**

32. The areas set aside for the parking of vehicles, together with the aisles and access lanes as delineated on the endorsed plans must:
  - 32.1 Be completed and line-marked to the satisfaction of the Responsible Authority prior to the occupation of the development or commencement of the uses hereby permitted;
  - 32.2 Be used for no other purpose and maintained at all times to the satisfaction of the Responsible Authority; and
  - 32.3 Be drained and sealed with an all-weather seal coat.
33. The residential, visitor and non-residential car parking areas must be clearly lined marked and signed and must not be used for any other purpose, to the satisfaction of the Responsible Authority.
34. The areas set aside for residential visitor car parking shown on the endorsed plans must be made available for this use free of charge at all times and must not be used for any other purpose, to the satisfaction of the Responsible Authority.
35. All bicycle parking areas must be maintained and not be used for any other purpose, to the satisfaction of the Responsible Authority.
36. The use of the crossover on Doncaster Road for vehicle access must only be associated with special events of the place of assembly, to the satisfaction of the Responsible Authority.
37. An intercom and an automatic garage door opening system must be installed, so as to facilitate convenient 24 hour access to the residential car park by visitors, to the satisfaction of the Responsible Authority.

**Place of Assembly**

38. Except with the prior written consent of the Responsible Authority, the maximum number of patrons who may attend the place of assembly at any one time and the hours of operation of the place of assembly are:

404 patrons on Monday to Friday between 8:00am and 5:00pm

650 patrons on Monday to Friday between 5:00pm and 11:00pm

650 patrons on Saturday and Sunday between 8:00am and 11:00pm

39. The number of patrons who may attend the place of assembly on Monday to Friday between 8:00am and 5:00pm may increase to 650 patrons with the prior written consent of the Responsible Authority. Additional patrons will only be permitted if it can be demonstrated that the car parking demand for the place of assembly does not exceed 121 car parking spaces (or the equivalent car parking rate for 404 patrons), to the satisfaction of the Responsible Authority.

#### Child Care Centre

40. Except with the prior written consent of the Responsible Authority, the number of children who may attend the centre at any one time must not exceed 120.
41. Except with the prior written consent of the Responsible Authority, the child care centre must only operate between the hours of 6:00am and 7:00pm on weekdays only.
42. The external play areas must be kept in a neat and tidy condition to the satisfaction of the Responsible Authority.
43. The operator of the centre must through proper management and supervision techniques, ensure that excessive noise is not generated by external play activities, to the satisfaction of the Responsible Authority.
44. No external sound amplification equipment or loudspeakers are to be used for the purpose of announcement, broadcast, playing of music or similar purpose.

#### Food and Drink Premises

45. Except with the prior written consent of the Responsible Authority, the food and drink premises must only operate between the hours of 7.00am and 10:00pm Monday to Sunday.
46. The shop fronts of the food and drink premises must not be covered by promotional or other film or signage that reduces transparency of the interface, to the satisfaction of the Responsible Authority.
47. The exhaust system to the food and drink premises must be fitted with filter devices capable of minimizing the external emission of odours and airborne fat particles and be maintained to the satisfaction of the Responsible Authority.

**Offices**

48. Except with the prior written consent of the Responsible Authority, the offices must only operate between the hours of 7:00am and 6:00pm on weekdays only, to ensure that unused car parking spaces outside of these times are made available as overflow parking for other uses.

**Amenity**

49. Before the uses commence, all fencing, including acoustic fencing and any other measures must be erected in accordance with the approved plan to the satisfaction of the Responsible Authority.
50. All security alarms or similar devices installed on the land must be of a silent type to the satisfaction of the Responsible Authority.
51. All noise emanating from any mechanical plant (air conditioners, refrigeration plant, etc.) must comply with the State Environment Protection Policy N-1 and in the event of the Responsible Authority receiving justifiable complaints regarding noise from such sources, the onus will be on the owner of the development site to prove compliance with the relevant policy to the satisfaction of the Responsible Authority.
52. All delivery and collection of goods associated with the non-residential uses must be conducted within the subject land and within the operating hours approved under this permit.
53. Rubbish, including bottles and packaging material, must at all times be stored within the building and screened from external view. All waste collection and recycling collection must be undertaken in accordance with Council requirements and the approved waste management plan.
54. The collection of all waste from the premises must only be conducted between the hours of 8.00am to 6.00pm Monday to Friday to the satisfaction of the Responsible Authority.
55. The operators of non-residential uses must ensure to the satisfaction of the Responsible Authority that all on-site activities are conducted in an orderly manner and must endeavour to ensure that patrons / customers who depart the premises late at night, do so in a manner not likely to cause noise disturbances to nearby residents and residents in the building, and in accordance with any approved car parking operation approved under another condition of this permit.
56. The use and development must be managed so that the amenity of the area is not detrimentally affected, to the satisfaction of the Responsible Authority, through the:
- 56.1 Transport of materials, goods or commodities to or from the land;

56.2 Storage of goods and wastes;

56.3 Appearance of any building, works or materials; and

56.4 Emission of noise, light, vibration, odour & dust.

#### Lighting

57. External lighting must be designed so as to minimise loss of amenity to residents of adjoining properties to the satisfaction of the Responsible Authority.

58. The development must be provided with external lighting capable of illuminating access to each car parking space, storage area, waste bins, pedestrian walkways, stairwells, lifts, dwelling entrances and entry foyers. Lighting must be located, directed, shielded and of limited intensity so that no nuisance or loss of amenity is caused to any person within and beyond the site, to the satisfaction of the Responsible Authority.

#### Development Contribution

59. Prior to the completion of the development, a Development Contribution as agreed by the Responsible Authority in accordance with Clause 45.06 Development Contributions Plan Overlay Schedule 1 – Doncaster Hill Development Contributions Plan must be paid to the Responsible Authority.

#### General

60. All services, including water, electricity, gas, sewerage and telephone, must be installed underground and located to the satisfaction of the Responsible Authority.

61. A centralised TV antenna must be installed and connections made to each dwelling to the satisfaction of the Responsible Authority.

62. No individual dish antennae may be installed on the overall building to the satisfaction of the Responsible Authority.

63. If allowed by the relevant fire authority, external fire services must be enclosed in a neatly constructed, durable cabinet finished to complement the overall development, or in the event that enclosure is not allowed, associated installations must be located, finished and landscaped to minimise visual impacts from the public footpath in front of the site to the satisfaction of the Responsible Authority.

64. Buildings, engineering works, fences and landscaped areas must be maintained to the satisfaction of the Responsible Authority.

65. Privacy screens as required in accordance with the endorsed plans must be installed prior to occupation of the building to the satisfaction of the Responsible Authority and maintained to the satisfaction of the Responsible Authority thereafter.

**Affordable housing**

66. A minimum of six dwellings within the development are to be made available in accordance with Condition 67 for the purpose of affordable housing to the satisfaction of the Responsible Authority.
67. Prior to the commencement of buildings and works the owner of the land must enter into an agreement with the Responsible Authority under Section 173 of the Planning and Environment Act 1987 and registered on title in accordance with Section 181 of the Planning and Environment Act 1987 requiring:
- 67.1 The transfer to a registered Housing Association / Provider of six dwellings for the provision for affordable housing in accordance with the requirements of the Housing Act 1983 or other applicable legislation as amended from time to time to the satisfaction of the Responsible Authority; or
- 67.2 Six dwellings to be secured for the provision of affordable housing by a provider to the satisfaction of the Responsible Authority.
- 67.3 The cost of preparing and registering the agreement is to be paid by the permit holder.

**Public Transport Victoria Condition**

68. The permit holder must take all reasonable steps to ensure that disruption to bus operation along Doncaster Road is kept to a minimum during the construction of the development. Foreseen disruptions to bus operations and mitigation measures must be communicated to Public Transport Victoria eight (8) weeks prior by emailing [customerservice@ptv.vic.gov.au](mailto:customerservice@ptv.vic.gov.au).

**VicRoads Conditions**

69. A fully dimensioned Functional Layout Plan (FLP) for the access arrangement off Doncaster Road, to the satisfaction of VicRoads, must be submitted to the Responsible Authority for endorsement. Once endorsed, the plan(s) will form part of this permit. The amended plan(s) shall show:
- 69.1 Access and the layout of parking for “hearse” and “wedding vehicle”;
- 69.2 Demonstrated manoeuvring space for vehicles to enter and exit the site in a forward direction;
- 69.3 Access control (retractable bollards etc.) to limit access to special events only; and
- 69.4 The access off Doncaster Road must not be connected to the parking areas within the development.



70. Prior to the commencement of the use or occupation of the development, all disused or redundant vehicle crossings must be removed and the area reinstated to the satisfaction of the Responsible Authority (RA) and at no cost to VicRoads or the RA.
71. Prior to the commencement of the use or the occupation of the buildings or works hereby approved, the access crossover and associated works must be provided and available for use.
72. Vehicles must enter and exit the land in a forward direction at all times.
73. The level of the footpaths must not be lowered or altered in any way to facilitate access to the site.

#### Permit Expiry

74. This permit will expire if one of the following circumstances applies:
  - 74.1 The development is not started within four (4) years of the date of this permit; and
  - 74.2 The development is not completed within eight (8) years of the date of this permit.
  - 74.3 The uses are not commenced within two (2) years of the development being completed.

The Responsible Authority may extend the periods referred to if a request is made in writing by the owner or occupier either before the permit expires or in accordance with Section 69 of the Planning & Environment Act 1987.

#### PROCEDURAL MOTION

**MOVED:** CR GEOFF GOUGH  
**SECONDED:** CR MIKE ZAFIROPOULOS

That Councillor Chen be permitted an extension of time to speak in accordance with clause 44.6 of the Manningham City Council Meeting Procedure Law 2017.

**CARRIED**

#### PROCEDURAL MOTION

**MOVED:** CR GEOFF GOUGH  
**SECONDED:** CR PAUL MCLEISH

That Councillor Conlon be permitted an extension of time to speak in accordance with clause 44.6 of the Manningham City Council Meeting Procedure Law 2017.

**CARRIED**

**PROCEDURAL MOTION**

**MOVED:** CR ANDREW CONLON  
**SECONDED:** CR MICHELLE KLEINERT

That Councillor Haynes be permitted an extension of time to speak in accordance with clause 44.6 of the Manningham City Council Meeting Procedure Law 2017.

**CARRIED**

**THE SUBSTANTIVE MOTION WAS PUT AND CARRIED**

**SUPPLEMENTARY MOTION**

**MOVED:** CR GEOFF GOUGH  
**SECONDED:** CR ANDREW CONLON

That Council immediately undertake:

1. A new vehicle movement and parking study; and
2. An open space and community amenity study in the area of Doncaster Hill south of Doncaster Road and east of Tram Road.

**CARRIED**

***NOTE: A division was called by Councillor Gough in relation to the supplementary motion, those Councillors voting for the motion being Councillors Chen, Zafiropoulos, Haynes, Gough and Conlon and those voting against the motion being Councillors McLeish, Kleinert, Galbally and Piccinini. The division was not recorded in the draft minutes presented to Council for confirmation at its ordinary meeting held on 25 June 2019. At Council's ordinary meeting held on 23 July 2019, the omission was acknowledged and approval was given to insert this notation.***

**2. BACKGROUND**

- 2.1 The proposal was presented to the Sustainable Design Taskforce meeting on 25 January 2018.
- 2.2 The application was submitted to Council on 27 August 2018.
- 2.3 A request for further information was sent on 24 September 2018 and all requested further information was received on 12 February 2019.
- 2.4 Notice of the application was given over a three-week period which concluded on 27 March 2019.
- 2.5 The statutory time for considering a planning application is 60 days, which lapsed on 13 April 2019.

- 2.6 The land titles are not affected by any Section 173 Agreements, however the title of 18 Hepburn Road is affected by a covenant. The covenant states that the owner must not “allow or permit to be erected on the said lot any building other than one dwelling house together with usual outbuildings and that such said house shall have external walls of brick and roof of slate or tile”.
- 2.7 Pursuant to the Schedule to Clause 52.02 of the Scheme, the whole of the restriction (contained in instrument of transfer number B416060 on Lot 9 of PS 056685) has been authorised for removal without a planning permit. Amendment C72 to the Manningham Planning Scheme was approved on 18 December 2008 for the removal of restrictive covenants applying to 16, 18, 20, 22 and 24 Hepburn Road and 1 Short Street, Doncaster. The amendment was undertaken to enable the affected properties to be developed in accordance with the planning scheme controls that apply and to facilitate development consistent with the objectives of the Doncaster Hill Strategy (October 2002 and revised October 2004). The covenant that affected 16 Hepburn Road has already been removed.
- 2.8 An application for certification and statement of compliance is required pursuant to Section 23 of the Subdivision Act 1988. A condition will require this restriction to be removed from title prior to the commencement of the development.

### **3. THE SITE AND SURROUNDS**

#### **The Site**

- 3.1 The site comprises 9 lots over six properties surrounded by Doncaster Road to the north, Short Street to the west and Hepburn Road to the south.
- 3.2 The site has approximate dimensions of 45m to Doncaster Road, 98m to Short Street, 67m to Hepburn Road, a 112m long eastern interface with adjoining properties (including a 22m return), and a total site area of 6,583m<sup>2</sup>.
- 3.3 The topography of the site consists of a 10m fall from front to rear, with a 1-2m east-west crossfall.
- 3.4 A 2.44m wide drainage and sewerage easement extends in a north-south direction along the eastern boundary of 2 Short Street and 16 Hepburn Road.
- 3.5 674-680 Doncaster Road comprises a centrally located chapel to Doncaster Road with a multi-storey brick addition to the rear and east. The western and southern areas of the property are set aside for a gravel car park. The remaining five properties that form the site each contain a single or two-storey dwelling. The dwelling at 18 Hepburn Road was a temporary land sales office that is now disused. Each dwelling is landscaped with a range of trees.
- 3.6 Numerous street trees are located within the road reserves, including a mature Paperbark tree in Short Street.

#### **The Surrounds**

- 3.7 The site, all adjoining and opposite properties are subject to the same planning controls, with the exception of properties opposite the subject site to the south, between Gifford and Gilmore Roads. Those properties are subject to the General Residential Zone, Schedule 2 and Design and Development Overlay, Schedule 8 (Sub-precinct A).

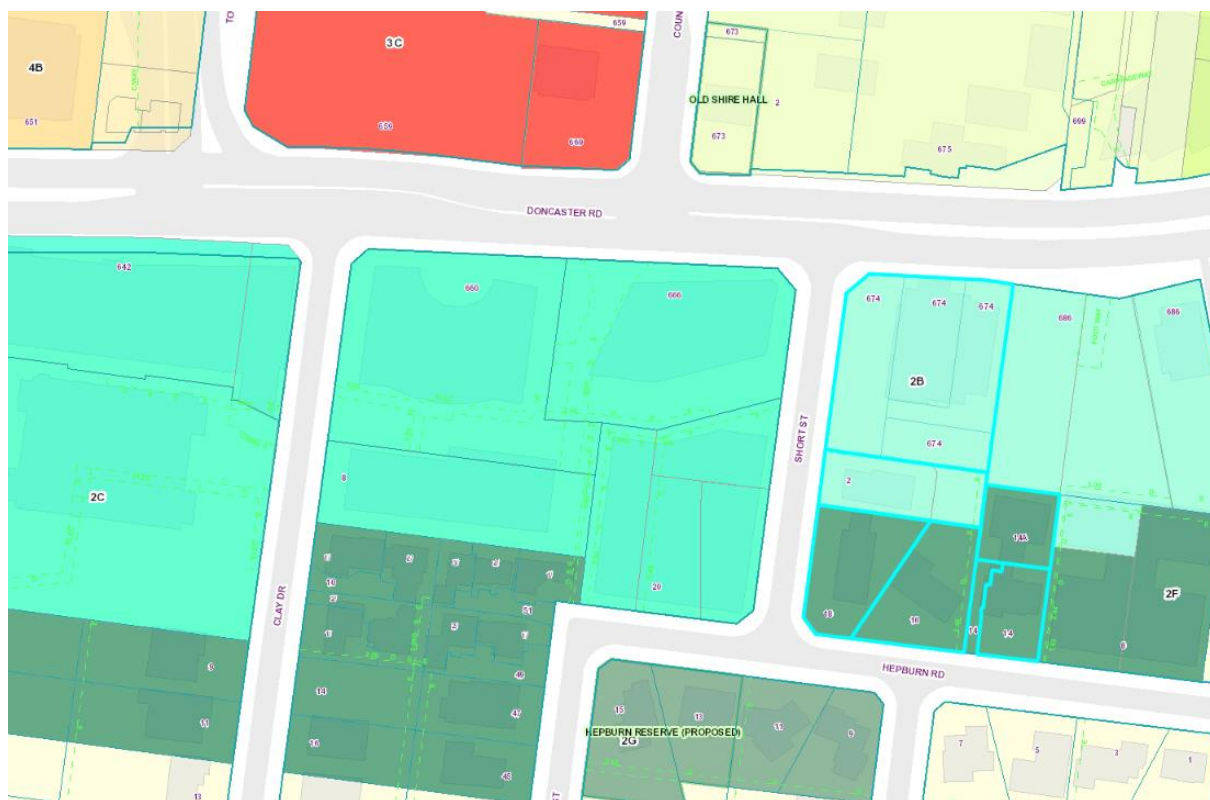
3.8 The site has direct abutments with the following properties:

Direction	Address	Description
East	686 Doncaster Road	<p>A 4,264m<sup>2</sup> site containing an existing building on the eastern side of the lot, currently used as a temporary land sales office. Planning Permit PL14/024719 allows the construction of a 10-storey building (comprising 275 dwellings), with three levels of basement car parking, providing retail premises and a restaurant at ground level.</p> <p>The approved plans show that the development will incorporate a double-width crossover and associated driveway together with four dwellings at ground level adjacent to the common boundary. Levels 1-7 above each contain six dwellings with balconies setback at least 4.5m from the common boundary. Level 8 contains five dwellings with a similar balcony layout adjacent to the common boundary. Levels 9 and 10 form a design element incorporating two dwellings, which maintain a minimum 4.5m setback from the common boundary.</p> <p>Within the site is a carriageway easement providing pedestrian access via an existing underpass beneath Doncaster Road.</p>
	8 Hepburn Road	<p>A 2,558m<sup>2</sup> site containing a five-storey building (comprising 67 apartments) with associated basement car parking that was approved under Planning Permit PL11/021855.</p> <p>The development comprises a central courtyard clear to the sky adjacent to the common boundary, with two dwellings at ground floor setback 4.9m from the common boundary. Levels 1-3 contain four dwellings setback a minimum 4.5m from the common boundary, however balconies encroach by 1.7m into this setback. Level 4 contains three dwellings, two at the rear of the site setback consistent with the lower levels and a third dwelling towards the front of the site setback 8.25m from the common boundary.</p>

3.9 To the north of the site is Doncaster Road, an arterial road with three lanes of traffic in both directions. On-street car parking is restricted with a 'No Standing and Clearway' sign. Short Street to the west of the site and Hepburn Road to the south are two-way, 7m wide two-lane local streets. Parking restrictions apply to both roads.

3.10 Opposite the site, on the western side of Short Street, 20-24 Hepburn Road comprises a 14-storey apartment building 'Magnolia' (incorporating 181 dwellings) and associated basement car parking on a 3,126m<sup>2</sup> lot. In addition, Planning Permit PL16/026965 was granted at 666 Doncaster Road, the property to the north of Magnolia, for a 13-storey, mixed-use building, incorporating 161 dwellings, basement car parking and three retail premises at ground level.

- 3.11 Opposite the site, on the southern side of Hepburn Road (between Walker Street and Gifford Road), four properties that currently contain dwellings are proposed to be consolidated to become public open space named Hepburn Reserve.
- 3.12 The character of the broader area is mixed, with a number of high rise developments to the west ('Nest' at 642 Doncaster Road, and 'Pinnacle' at 632 Doncaster Road), existing housing stock to the south and east (both within and outside of the ACZ), some medium density housing south of Doncaster Road, and a small commercial precinct to the east on Doncaster Road. The ACZ1 sub-precincts are shown on the map below.



- 3.13 The site is located within the Doncaster Hill Principal Activity Centre, spanning Manningham's main arterial roads (Doncaster, Tram, Elgar and Williamsons Roads), forming a central hub of residential, commercial, retail and recreational facilities. It is apparent that the area is changing in line with policy and the planning controls of the Scheme, evidenced by the construction of several residential apartment towers within the precinct.
- 3.14 The site is well serviced by bus routes operating along Doncaster Road, connecting activity centres and residential areas within the municipality to Melbourne's Central Activity District. A major bus interchange is situated within the Westfield Doncaster complex within 800m walking distance to the north-west. In addition to having access to the numerous retail, restaurant and entertainment venues within the centre, which itself is within 400m walking distance, the site is well serviced by other community and local facilities including Schramms Reserve and the proposed Hepburn Reserve, MC Square, Doncaster Primary and Doncaster Secondary College.

**4. THE PROPOSAL**

- 4.1 The proposal is outlined on the plans prepared by Design Inc, Project No. 16040, Revision P8 dated 1 March 2019 and a landscape plans prepared by Phillip Johnson Landscapes, Job No. 1019, dated 19 November 2018. Refer to Attachment 1.
- 4.2 The following reports were provided in support of the application:
- Town Planning report prepared by Hollerich Town Planning dated 22 August 2018;
  - Heritage Impact Statement prepared by Trethowan dated 6 February 2019;
  - Traffic Impact Assessment prepared by GTA Consultants dated 6 August 2018;
  - Waste Management Plan prepared by Leigh Design dated 3 April 2018;
  - Sustainable Management Plan prepared by Lucid Consulting, Revision P3 dated 20 December 2018;
  - Green Travel Plan prepared by GTA Consultants dated 10 December 2018;
  - Pedestrian Wind Environment Statement prepared by Windtech dated 11 February 2019; and
  - Acoustic Report prepared by Acoustic Logic dated 30 October 2018.

**Development summary**

4.3 A summary of the development is provided as follows:

Land Size:	6,583m <sup>2</sup>	Minimum wall setback to Doncaster Road (north)	Basement-Level 3: 12.4m Level 4: 10.285m Level 5: 6.1m Level 6-11: 8.855m Design element: 12m
Site Coverage:	74%	Minimum wall setback to northern boundary	Basement-Level 3: 0m Level 4: 4.55m Level 5: 4.5m Level 6-11: 4.5m
Permeability:	12%	Minimum wall setback to Short Street (west)	Basement-Level 3: 4.35m Level 4: 4.68m Level 5: 4.33m Level 6-11: 7.48m Design element: 10.1m
Maximum Building Height:	Proposed:	Minimum wall setback to Hepburn Road (south)	Basement-Level 3: 5m Level 4: 5m Level 5: 5m Level 6-11: 9.015m Design element: 56.795m
• Precinct 2B	• 28.8m	Minimum wall setback to north-eastern boundary	Basement-Level 3: 0m Level 4: 4.61m Level 5: 4.5m Level 6-11: 4.625m
• Precinct 2F	• 14.42m		
Maximum Design Element Height 34.8m (Precinct 2B)	34.8m		
Number of Dwellings:	136 dwellings		
• 1 Bed = 33			
• 2 Beds = 55			
• 3 Beds = 46			
• 4 Beds = 2			
Dwelling Density:	One per 48.4m <sup>2</sup>		

<p>Area of uses:</p> <ul style="list-style-type: none"> <li>• Place of assembly • 3,264m<sup>2</sup></li> <li>• Food &amp; drink • 291m<sup>2</sup></li> <li>• Office • 1,749m<sup>2</sup></li> <li>• Child care • 725m<sup>2</sup>, plus 841m<sup>2</sup> outdoor play space</li> </ul>	<p>Design element: 4.625m</p> <p>Minimum wall setback to south-eastern boundary</p> <p>Basement-Level 3: 2.5m Level 4: 4.5m Level 5: 4.5m Level 6-11: 4.5m</p>
<p>Total car parking spaces: 400</p> <ul style="list-style-type: none"> <li>• Residential: <ul style="list-style-type: none"> <li>➢ 1, 2 Beds ➢ 88</li> <li>➢ 3+ Beds ➢ 96</li> </ul> </li> <li>• Visitors: • 13</li> </ul> <p>Total non-residential uses: Combined 202 car parking spaces for all non-residential uses</p> <ul style="list-style-type: none"> <li>• Place of assembly</li> <li>• Food &amp; drink</li> <li>• Office</li> <li>• Child care</li> </ul>	<p>Spaces provided: 400</p> <ul style="list-style-type: none"> <li>• 185</li> <li>➢ 88</li> <li>➢ 96</li> <li>• 13</li> </ul> <p>Spaces required: 473</p> <ul style="list-style-type: none"> <li>• 184</li> <li>➢ 88</li> <li>➢ 96</li> <li>• 13</li> </ul> <p>276</p> <ul style="list-style-type: none"> <li>• 195</li> <li>• 10</li> <li>• 45</li> <li>• 26</li> </ul>

**Design layout**

- 4.4 The focus of the building layout is to provide a place of assembly extending from the existing chapel, providing a range of complementary uses over two levels, including two food and drink premises, two office spaces and a child care centre, with the remainder of the building set aside for residential use.
- 4.5 The place of assembly occupies an area of 3,264m<sup>2</sup> over two levels, incorporating an auditorium with a capacity of 650 people, a hall with a capacity of 400 people, and numerous ancillary rooms. The two food and drink premises are accessed from plazas on either side of the existing chapel, with a floor area of 124m<sup>2</sup> and 167m<sup>2</sup>, respectively. A 383m<sup>2</sup> office space is also provided at the Doncaster Road level. The level above contains an additional 1,366m<sup>2</sup> office space and a 725m<sup>2</sup> child care centre with a capacity of 120 children (with the number of staff required pursuant to relevant legislation), which incorporates an 841m<sup>2</sup> outdoor play area. Services associated with the auditorium below, together with mezzanine seating, are also provided at this level.
- 4.6 The fall of the land to the south enables the development to accommodate all car parking centrally. Fourteen, two to three-storey townhouses wrap around the building at ground level on the corner of Short Street and Hepburn Road. The apartment tower above the podium is skewed toward the Doncaster Road frontage. 240m<sup>2</sup> of northern outdoor communal open space is available, alongside an adjoining 154m<sup>2</sup> indoor area. Six apartments capable of housing six people (and their carers) through Manningham Inclusive Community Housing are incorporated into the development.

### **Pedestrian and vehicle access and layout**

- 4.7 Multiple external access points are available to pedestrians. Access to all uses is provided via Doncaster Road, with separate lobbies accessing the residential tower from Doncaster Road and the commercial areas from Short Street. An additional residential lobby is provided from Hepburn Road. Several of the townhouses that wrap around the building have direct street access from Short Street or Hepburn Road.
- 4.8 The slope of the land enables vehicle access from Short Street and Hepburn Road to different basement levels. Four vehicle access points are provided for the development. Residential and non-residential car parking is separated internally, with dedicated accessways provided from Short Street. A dedicated loading area is accessed from Hepburn Road. A new crossover is proposed to the Doncaster Road frontage that will ordinarily be obstructed by removable bollards. The crossover is only intended for use during weddings and funerals.

### **Landscaping**

- 4.9 A strong landscape theme is proposed within the road reserves of Short Street and Hepburn Road. Canopy trees are proposed within the frontage to Doncaster Road to provide a boulevard treatment. The plazas feature limited landscape areas. Planting is proposed along the eastern boundary, including along a section over basement. Additional landscaping is provided above ground level within the outdoor play area of the child care centre and within the residential communal open space area. A central void on the eastern side of the residential tower offers limited planting, with a vertical garden above. Landscaping has not been detailed within the frontages of the townhouses that wrap around the building.

### **Design detail**

- 4.10 The development features a contemporary architectural design, which emphasises distinct forms across its podium, tower and design element components. The podium wraps around to reveal the existing chapel from both the eastern or western approaches along Doncaster Road, nestling the ground level plazas around the chapel. The slope down Short Street reveals additional levels of the podium towards the rear of the site. The main podium level incorporating the non-residential uses is expressed through brickwork to match the existing chapel. The lower levels are finished in light render. The interface of the development with the adjoining apartment development on the eastern side is presented with a mid-grey render.
- 4.11 The tower has a deliberate north-west orientation to address the intersection of Doncaster Road and Short Street, pulling away from the chapel below while responding to the siting and form of the approved adjoining development at 686 Doncaster Road. The tower is articulated through light rendered framing elements with pale bronze vertical Colorbond cladding. The two upper levels comprising the design element are distinguished from the tower through the use of mid-grey vertical Colorbond cladding. Glazed balustrades are used throughout.



## 5. LEGISLATIVE REQUIREMENTS

- 5.1 Refer to Attachment 2.
- 5.2 A permit is required under the following Clauses of the Manningham Planning Scheme:
- Clause 37.08-2 (Activity Centre Zone, Schedule 1), to use the land for a place of assembly, food and drink premises, offices and a child care centre.
  - Clause 43.01 (Heritage Overlay, Scheduled 46), to demolish or remove a building and to construct a building or construct or carry out works.
  - Clause 52.06 (Car Parking), for the reduction in car parking requirements for the child care centre, food and drink premises, place of assembly and offices.
  - Clause 52.29 (Land Adjacent to a Road Zone Category 1 or a Public Acquisition Overlay for a Category 1 Road), to create or alter access to a road in a Road Zone, Category 1.

## 6. REFERRALS

### External

- 6.1 Given the proposal involves the creation and alteration of access to Doncaster Road, it is a statutory requirement to refer the application to VicRoads as a determining referral authority.
- 6.2 VicRoads have no objection subject to conditions being included on any permit issued requiring the provision of a functional layout plan showing the access arrangement off Doncaster Road.
- 6.3 As the proposal involves a residential development comprising 60 or more dwellings, it is a statutory requirement to refer the application to Public Transport Victoria as a determining referral authority.
- 6.4 Public Transport Victoria has no objection subject to a condition on any permit issued requiring the permit holder take all reasonable steps to ensure that disruption to bus operation along Doncaster Road is minimised during construction.

### Internal

- 6.5 The application was referred to a number of Service Units within Council. The following table summarises the responses:

Service Unit	Comments
Infrastructure Services Unit – Drainage	<ul style="list-style-type: none"> <li>• No objection subject to conditions for the provision of on-site storm water detention.</li> </ul>
Infrastructure Services Unit – Vehicle Crossing	<ul style="list-style-type: none"> <li>• No objection subject to conditions requiring the removal of redundant crossovers.</li> </ul>

Service Unit	Comments
Infrastructure Services Unit – Access and Driveway	<ul style="list-style-type: none"> <li>No objection.</li> </ul>
Infrastructure Services Unit – Traffic and Car Parking	<ul style="list-style-type: none"> <li>The number of car parking spaces provided is adequate. The findings of the submitted traffic report are supported.</li> <li>The development will not generate any unreasonable traffic congestion within the surrounding street network.</li> </ul>
Infrastructure Services Unit – Car Parking Layout	<ul style="list-style-type: none"> <li>No objection.</li> </ul>
Infrastructure Services Unit – Construction Management	<ul style="list-style-type: none"> <li>No objection subject to a requirement for the provision of a construction management plan.</li> </ul>
Infrastructure Services Unit – Waste	<ul style="list-style-type: none"> <li>No objection subject to conditions for on-site private waste collection and for the provision of an approved waste management plan.</li> </ul>
Infrastructure Services Unit – Easements	<ul style="list-style-type: none"> <li>No objection as approval is required for buildings or works within the Council easement.</li> </ul>
Infrastructure Services Unit – Flooding	<ul style="list-style-type: none"> <li>The site is not directly subject to inundation from Council's drainage systems.</li> </ul>
Integrated Planning Unit – Sustainability	<ul style="list-style-type: none"> <li>No objection subject to a requirement for revisions to the plans and the sustainability management plan, including to indicate the size of rainwater tanks and their connections, demonstrate best practice 4-star in the Green Star Design and As-Built Rating System and revised the stormwater management strategy.</li> </ul>
Integrated Planning Unit – Heritage	<ul style="list-style-type: none"> <li>No objection subject to conditions. Heritage matters are considered later in the report.</li> </ul>
City Amenity Unit – Street trees	<ul style="list-style-type: none"> <li>No objection to the removal of the four trees located on Short Street and Doncaster Road on the basis that the replacement trees planted in the street will form an avenue of larger canopy trees.</li> <li>Trees located on Hepburn Road are to be retained with additional planting along Hepburn Road to be provided.</li> </ul>

## 7. CONSULTATION / NOTIFICATION

- 7.1 Notice of the application was given over a three-week period, which concluded on 27 March 2019, by sending letters to nearby properties and displaying a sign to each lot frontage.

7.2 Twenty-one objections were received from the following properties:

- 214/20 Hepburn Road, Doncaster;
- 301/20 and 1401/20 Hepburn Rd, Doncaster;
- 302/20 Hepburn Road, Doncaster;
- 412/20 Hepburn Road, Doncaster;
- 713/20 Hepburn Road, Doncaster;
- 801/20 Hepburn Road, Doncaster;
- 811/20 Hepburn Road, Doncaster;
- 910/20 Hepburn Road, Doncaster;
- 1012/20 Hepburn Road, Doncaster;
- 1309/20 Hepburn Road, Doncaster;
- Three unspecified apartments within 20 Hepburn Road, Doncaster;
- G01/8 Hepburn Road, Doncaster;
- 102/8 Hepburn Road, Doncaster;
- 110/8 Hepburn Road, Doncaster;
- 411/8 Hepburn Road, Doncaster;
- 3 Hepburn Road, Doncaster;
- 14 Gilmore Road, Doncaster;
- 10 Gilmore Road, Doncaster; and
- 4 Gifford Road, Doncaster.

7.3 The main grounds of the objection are summarised into the following categories:

- Traffic and congestion, inadequate on-street and off-street car parking, crossover location, pedestrian safety, traffic noise and public transport availability;
- Overdevelopment;
- Off-site amenity impacts (loss of daylight, litter, noise and view loss);
- Lack of implementation of Hepburn Reserve public open space area, and need for upgrade of Walker Reserve; and
- Construction impacts (noise, dust, hours, traffic, parking and time span).

7.4 A response to the grounds of objection will follow.

7.5 Sixteen submissions of support were also received.

## 8. ASSESSMENT

8.1 The proposal has been assessed against the relevant state and local planning policies, the zone and overlay and the relevant particular provisions and general provisions of the Scheme.

8.2 The following assessment is made under the headings:

- Planning Policy Frameworks;
- Design, built form and heritage;
- Apartment developments;

- Car parking, access, traffic, Land Adjacent to a Road Zone Category 1 and bicycle facilities;
- Affordable housing; and
- Objector concerns.

### Planning Policy Frameworks

- 8.3 Key objectives of the PPF and LPPF seek to intensify activity centres as a focus for high-quality development and encourage increased activity and density as a way to achieve broader urban consolidation objectives.
- 8.4 At both the PPF and LPPF levels, policy emphasises the need for mixed use development with a focus on high density residential development in the Doncaster Hill Activity Centre, in which the site is located. The use of the site for the purpose of dwellings, place of assembly, food and drink premises, office and child care is appropriate within the zoning of the land and the strategic context of the site.
- 8.5 Policy statements throughout the Planning Scheme implement this policy as it relates to Doncaster Hill at Clause 21.09 (Activity Centres and Commercial Areas) through Schedule 1 to the Activity Centre Zone (ACZ1).
- 8.6 Within the Doncaster Hill Principal Activity Centre there are various precincts delineated in accordance with their topographic orientation and aspect on Doncaster Hill, their relationship to main roads, and their present and future uses. The site, together with all land within the ACZ1 on the south side of Doncaster Road east of Tram Road, is within Precinct 2.
- 8.7 674-680 Doncaster Road and 2 Short Street are within Precinct 2B, whereas 14, 14A, 16 and 18 Hepburn Road are within Precinct 2F. The relevant objectives for Precinct 2 (Clause 5.7-2) are:
- *To encourage an appropriate mix of residential and commercial uses in the precinct.*
  - *To encourage the greatest area of high-density development to locate along the Doncaster Road ridgeline.*
  - *To encourage the provision of cafes, restaurants and outdoor eating within the precinct.*
  - *To retain and enhance the historic elements within the precinct and develop a link with the historic and arts enclave in Precinct 1.*
  - *To support and connect with the pedestrian link proposed for the Doncaster Road, Williamsons and Tram Roads intersection at the western end of the precinct.*
  - *To create a public urban space/plaza with good solar access abutting the south side of Doncaster Road, with convenient access to the north side.*
- 8.8 Mixed-use development is supported under the ACZ1. The proposal provides appropriate uses within a building in a location that is highly accessible to the community and the proposal is consistent with the vision for the Doncaster Hill area. In particular, it supports the key vision objectives, which encourage high density, high-rise mixed-use development and innovative contemporary design.

- 8.9 The non-residential uses are located across two levels; Doncaster Road level and the level above. The food and drink premises take advantage of the site's northern aspect, and are therefore well located to activate the public realm. The non-residential uses are consistent with the objective of the ACZ1 which seeks to encourage commercial and small-scale retail uses at the lower levels of buildings, with higher-density apartment style residential development at upper levels.
- 8.10 The proposal also incorporates six apartments capable of housing six people (and their carers) through Manningham Inclusive Community Housing. The ACZ1 encourages increasing the provision, intensity and diversity of housing, especially affordable housing. These dwellings will be managed as affordable housing in accordance with the recommended conditions of the permit.

### **Design, built form and heritage**

#### Building Height

- 8.11 Within Precinct 2B, the proposal has a tower height of 28.8m and the design element reaching a maximum height of 34.8m, which meets the mandatory maximum building heights of 29m and 34.8m respectively. Within Precinct 2F, the proposal has a total height of 14.42m, which meets the mandatory maximum building height of 14.5m. Allowable encroachments above the maximum building heights will include plant and associated screens. The proposal is fully compliant with maximum mandatory building heights of the ACZ1.
- 8.12 Under the ACZ1, the design element within Precinct 2B should not occupy more than 15% of the overall roof area of the building. The design element, incorporating the two upper levels of the building, comprises 18.1% of the overall roof area, which does not meet the preferred 15% of the overall roof area.
- 8.13 The following calculations have been submitted for the design element area:
- Total roof area in Precinct 2B = 2,624m<sup>2</sup>
  - Total floor area of Level 13 = 531m<sup>2</sup>
  - An area of 55m<sup>2</sup> of Level 13 does not contribute towards the design element calculation, including are services cupboards, stairwells, lift core, corridor and supply shafts
  - An area of 476m<sup>2</sup> of Level 13 is calculated as the design element
  - Design element % =  $476\text{m}^2 / 2,624\text{m}^2 \times 100 = 18.1\%$ .
- 8.14 Calculation of this figure which excludes internal space used for service cupboards, stairwells, lift cores, supply shafts and external balconies, is consistent with the approach taken in the assessment of other apartment buildings in Doncaster Hill.
- 8.15 The architectural form of the design element is supported. It includes two levels of dwellings, emphasising the tower form, while being set back from the tower through the use of balconies. The positioning of the design element is significant as it adds a degree of strength and weight to the building to the most prominent corner, being Doncaster Road and Short Street, with a design that provides continuity with the tower form.

- 8.16 The submitted size for the design element is 18.1%, whereas policy supports 15%. The difference of 3.1% from the prescribed size is a reasonable concession given the high quality design and materials proposed for the building, and given the overall development consolidates over lots to the rear that covers Precinct 2F.
- 8.17 The extensive southern setback of the design element ensures that it does not cast additional overshadowing upon nearby properties and public spaces at 12 noon on 22 June.
- 8.18 Overall, the location and design of the design element continues the theme of those in nearby developments within Doncaster Hill and aligns with the vision statement in the Doncaster Hill Strategy 2002, which seeks to emphasise the existing dramatic landform of Doncaster Hill through built form that steps down the hill.

#### Building Setbacks

- 8.19 The applicable building setback requirements of Precincts 2B and 2F are as follows:
- Mandatory minimum 5m setback to the front podium edge from the Doncaster Road boundary;
  - Mandatory minimum 9m setback to the front tower edge from the Doncaster Road boundary;
  - Preferred 5m setback from other front boundaries, including the western frontage of 2 Short Street and the entire southern interface with Hepburn Road; and
  - Preferred 4.5m setback from side boundaries, including the western sides of 674 Doncaster Road and 18 Hepburn Road and the entire eastern boundary, incorporating the northern boundary of 14A Hepburn Road.
- 8.20 Balconies, screens, street furniture, verandahs and architectural features are allowable encroachments that may be constructed within these setback provided they are designed and located to the satisfaction of the responsible authority.

#### Front building setbacks to Doncaster Road

- 8.21 The podium and tower setbacks to Doncaster Road are mandatory requirements and a permit cannot be granted to vary them. Both the podium and tower front setbacks to Doncaster Road comply with the required mandatory setbacks, with one negligible exception that will require a permit condition. A minimum 3.98m setback is provided to Level 5 (the floor above Doncaster Road level), however this is to the north-western corner splay, which is more regarded as the side setback.
- 8.22 There are several allowable encroachments within the 5m front podium setback to Doncaster Road. An extension is proposed to the front of the existing chapel, which would reduce the existing chapel setback from 2.635m to 0.46m. The extension is to reconstruct the former chapel portico, which had been removed from the original heritage building. Heritage advice received has confirmed that there is sufficient evidence of the original state of the fabric of the portico for the reconstructive work, which must be completed by suitably qualified heritage specialists or a builder or tradesperson with relevant expertise.

- 8.23 At the north-western corner of the frontage at Level 4 (Doncaster Road level), a canopy projects into the frontage with a street setback of 1.43m to provide pedestrian weather protection. The projection of this canopy will improve the functionality of the space and the legibility of the building entry from the street. There is also an allowable encroachment at Level 4 behind the pedestrian canopy. This section of wall has a parapet extending above the pedestrian canopy to define the canopy and the front wall of Level 5 above.
- 8.24 Above this point, a pale bronze vertical Colorbond cladded screen (marked on the plan as CW03) defines the northern balconies of Levels 6 and 7. The screen has a length of approximately 4.7m, projecting beyond the western edge of these balconies with a 1.615m setback to the corner splay. The design and location of this screen is unwarranted, adding bulk and mass to this prominent corner of the development and contributes to the chapel being overwhelmed by the podium. A condition will require deletion of the screen and its replacement with the pale bronze powdercoated aluminium box fins (marked on the plan as MB01).
- 8.25 There is one encroachment into the mandatory 9m front tower setback to Doncaster Road. Levels 6 and 7 have a minimum setback of 8.855m to the north-westernmost corner of the building, at Apartments 6.11 and 7.11. This is a negligible level of non-compliance, which will be rectified by condition that will require the building meet the minimum 9m mandatory setback to the front tower to Doncaster Road.

#### Front building setbacks to Short Street and Hepburn Road

- 8.26 The setbacks to Short Street and Hepburn Road are preferred 5m setbacks that can be varied with a permit. There is also a preferred 9m front tower setback to Short Street. This provision is interpreted as applying to the frontage of properties in the current lot configuration and street context, instead of its future consolidated form, which for instance, would otherwise regard the Hepburn Road frontage as a rear boundary. This provision therefore applies to the properties at 2 Short Street and the entire southern interface with Hepburn Road.
- 8.27 The ACZ1 allows the western boundary of 674 Doncaster Road and 18 Hepburn Road to have a 4.5m side setback. To also require a 5m front setback and 9m tower setback to the 2 Short Street frontage would therefore result in an unusual building alignment and would not provide any meaningful relief to the visual presentation. While the building falls short of the preferred 5m requirement, proposing a minimum 4.355m setback to the frontage of 2 Short Street, it aligns with the side setbacks of the building and creates continuity in building form. The tower has a 7.48m setback, which falls short of the 9m tower setback requirement. However, the tower is considered responsive to the site, particularly as it cuts away from the north-western corner of the site. It is noted that the design element exceeds the 9m tower requirement, with a 10.1m setback. The southern interface to Hepburn Road provides a consistent 5m setback, which meets this requirement.

#### Side building setbacks

- 8.28 The remaining setbacks are preferred 4.5m setbacks that can be varied with a permit. This relates to the western sides of 674 Doncaster Road and 18 Hepburn Road and the entire eastern boundary, incorporating the northern boundary of 14A Hepburn Road.

- 8.29 All setbacks above natural ground level are compliant from the northern part of the eastern boundary, southern part of the eastern boundary and the northern boundary of 14A Hepburn Road. The only exceptions to this 4.5m setback requirement from a side or rear boundary are the Level 3 and Level 5 setbacks to Short Street, at 4.35m and 4.33m respectively. These are both negligible reductions and are considered acceptable given they do not pose any unreasonable off-site amenity impacts, being adjacent to a roadway.

#### Overshadowing

- 8.30 The ACZ1 requires that development should not overshadow adjacent properties outside of the activity centre between the hours of 11am and 2pm on 22 September. The adjacent properties to the south-west (1, 3, 5 and 7 Hepburn Road) are located outside of the activity centre. The shadow diagrams demonstrate that the development would not overshadow these properties at any time of the day during the control period.

#### Boulevard Character

- 8.31 Within the areas where a minimum 5 metre podium setback is provided (with the exception of within the vicinity of the chapel), a 3.6 metre wide paved promenade across the site frontage will replace the existing footpath and a landscaped boulevard to Doncaster Road will be provided, as required by policy. The boulevard treatment has the potential to be interrupted further by the relocated crossover to Doncaster Road, which will only be used for weddings and funerals. Therefore, a condition will require the boulevard pavement treatment to be continued over the crossover and driveway to reinforce pedestrian priority. The development will contribute positively to the local urban character and enhances the public realm by providing an active frontage and creating a boulevard along Doncaster Road.

#### Landscape Design

- 8.32 The ground and upper level landscape areas appear to be commensurate with other high density developments within Doncaster Hill. There are few opportunities for screen planting given the location of the basement along the eastern boundary, however a row of street trees is proposed along the western interface with Short Street and the southern interface with Hepburn Road. The pedestrian plaza incorporates some landscaping, however details are limited. Conditions will require full details of landscape treatments within the plaza, including the landscape areas within the building on Doncaster Road level.

#### Access and Mobility

- 8.33 A condition will require the submission of a Disability Access Plan that implements the recommendations of a Disability Access Audit (prepared by a suitably qualified person) that demonstrates compliance with the relevant Australian Standards for vehicle and pedestrian access into the building, to the satisfaction of the Responsible Authority. Disabled ramps are not provided to all entries, however it is considered that any further external changes to the building recommended by the Plan and Audit can be designed appropriately so as not to have any unreasonable impact on the public realm.



Wind

- 8.34 A wind assessment was submitted with the application and considered wind tunnelling and wind generated by the building to pedestrians across all levels. The report makes several recommendations for the provision of screens and use of densely planted vegetation to ameliorate wind effects. A condition will require plan notations be included to demonstrate compliance with the recommendations of the wind assessment, to the satisfaction of the Responsible Authority.

Heritage

- 8.35 The church known as the Doncaster Church of Christ at 674 Doncaster Road comprises two church buildings; one built in 1889 and another built beside it in 1956. The two were linked by an addition constructed in 1957. Further alterations were made through the 1960's, 1970's and 1990's. The portico of the 1889 church was removed in the 1960's. Schedule 46 to the Heritage Overlay (HO46) classifies both church buildings of local significance, which are spoiled by alterations, and is part of a group with the former Shire Hall and the Doncaster School.
- 8.36 The proposal involves three forms of heritage consideration; demolition of the 1956 church, reconstruction of the portico of the 1889 church building, and new works comprising the 13-storey mixed-use building to the rear.

Demolition

- 8.37 Whilst the whole site is covered by the HO46, the 1956 church building and its 1960's, 1970's and 1990's extensions are of limited significance. A comparative analysis, including further investigations found that architect Joseph Smith was not a noted architect, with his work largely being in conjunction with other more highly acclaimed practitioners. The design of the 1956 church building has limited architectural interest on its own, and is an example of a style that, at the time of construction, was becoming outdated. The additions are not identified as being of heritage significance according to the citation for the site, and therefore do not contribute to the significance of the place.
- 8.38 The statement of significance states that the church has aesthetic, historic and social value. The aesthetic and historic values will be maintained through the retention of the 1889 building, which is considered of primary significance on the site. The social significance of the site will be retained as the church continues to serve the community. Notwithstanding this, the historic significance of the site is being diminished by the demolition of the 1956 church building. It is therefore important that an interpretive strategy be undertaken as an integral part of the development of the site.
- 8.39 Significant elements from the 1956 church building fabric and material from the Church of Christ's extensive archive will be incorporated into the public spaces, including the foyer space running through the centre of the Doncaster Road level, linking the 1889 church building to the auditorium and hall. Conditions will require that the existing interpretative signage that notes the churches links to the former Shire Hall and the Doncaster School be maintained, including their location within the development. Further details how this existing signage will be protected during construction is required.

- 8.40 A number of the windows and doors to the 1956 church building appear to be original. Some windows were replaced in 1974 by a series of stained-glass windows by Alan Sumner. While not original, they were purpose-designed as a series for the Church and therefore their importance relates to their existing context. These windows will be retained for reuse within the development, including the foundation stones, which needs to be clearly depicted on the plans by condition. A further condition will require a schedule to itemise which elements are being retained (including photographs) and how and where they are to be stored and reinstated.
- 8.41 Demolition of these features is therefore not considered to impact upon the heritage significance of the site.

#### Reconstruction

- 8.42 Reconstruction of the 1889 church building, including the portico, is supported as there is sufficient evidence of the original state of the fabric through photographs for this reconstructive work to be completed. It will be necessary for conditions to require this work to be carried out by suitably qualified heritage specialists or a builder or tradesperson with relevant expertise in this form of work and for a photographic record to be kept of the existing condition of the church building, to be incorporated into the interpretative strategy.

#### New Works

- 8.43 The development of the 13-storey mixed-use building is supported, subject to conditions to ensure that the 1889 church building to be retained is not overwhelmed by the development. A condition will require the deletion of the aforementioned section of the pale bronze vertical Colorbond cladded screen to the balconies of apartments on Levels 6 and 7. This will reduce the effect of the building overwhelming the chapel on the western approach along Doncaster Road. A new brick wall behind the 1889 church building is proposed to “blend” with the existing brick of the church. Council’s heritage advisor raised concern with this matching wall, coupled with the scale of the building behind, as it will cause the church building to blend into the development. A condition will therefore require that the brick wall colour be changed to a pale colour, to potentially match the original lighter coloured brick used for detailing in the 1889 church building. This will assist to clearly delineate the original church from the proposed new works.
- 8.44 The 1889 church building is integrated with the new building via the provision of a glazed link corridor that assists to visually separate the new from the old. The integration of the 1889 church building with the proposal ensures that the heritage building will be utilised in the future. The location, scale, form and appearance of the new building is well considered having regard to the heritage significance of the site.

#### **Apartment developments**

- 8.45 Pursuant to Clause 58 (Apartment Developments), a development must meet all of the objectives of this clause and should meet all of the standards.
- 8.46 An assessment against the objectives of Clause 58 is provided in the table below:

Objective	Objective Met/Not Met
<p><b>58.02-1 – Urban context</b></p> <ul style="list-style-type: none"> <li>To ensure that the design responds to the existing urban context or contributes to the preferred future development of the area.</li> <li>To ensure that development responds to the features of the site and the surrounding area.</li> </ul>	<p><b>Satisfied</b></p> <p>The proposed apartment development positively responds to the existing urban context or the preferred future development of the area. The development appropriately scales and transitions to the south, including having regard to the topography of the area, where the land falls to the south.</p>
<p><b>58.02-2 – Residential policy</b></p> <ul style="list-style-type: none"> <li>To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</li> <li>To support higher density residential development where development can take advantage of public and community infrastructure and services.</li> </ul>	<p><b>Satisfied</b></p> <p>The application was accompanied by a written statement demonstrating how the development is in accordance with Municipal Planning Strategy and the Planning Policy Framework.</p> <p>The site can support higher density residential development to take advantage of public and community infrastructure and services.</p>
<p><b>58.02-3 – Dwelling diversity</b></p> <ul style="list-style-type: none"> <li>To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</li> </ul>	<p><b>Satisfied</b></p> <p>The proposal includes a mix of one, two, three and four bedroom dwellings with a range of floor areas to provide diversity. The proposal also includes 6 affordable housing units.</p>
<p><b>58.02-4 – Infrastructure</b></p> <ul style="list-style-type: none"> <li>To ensure development is provided with appropriate utility services and infrastructure.</li> <li>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</li> </ul>	<p><b>Satisfied</b></p> <p>The site has access to all services.</p> <p>Conditions will require an on-site stormwater detention system to alleviate pressure on the drainage system.</p>
<p><b>58.02-5 – Integration with the street</b></p> <ul style="list-style-type: none"> <li>To integrate the layout of development with the street.</li> </ul>	<p><b>Satisfied</b></p> <p>Several pedestrian entry points are provided to the development to integrate the development with each road frontage.</p>
<p><b>58.03-1 – Energy efficiency</b></p> <ul style="list-style-type: none"> <li>To achieve and protect energy efficient dwellings and buildings.</li> <li>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</li> <li>To ensure dwellings achieve adequate thermal efficiency.</li> </ul>	<p><b>Satisfied</b></p> <p>Given the orientation of the site, the proposal makes a reasonable attempt to limit the energy efficiency impacts to southern apartments.</p>

Objective	Objective Met/Not Met
<p><b>58.03-2 – Communal open space</b></p> <ul style="list-style-type: none"> <li>To ensure that communal open space is accessible, practical, attractive, easily maintained and integrated with the layout of the development.</li> </ul>	<p><b>Satisfied</b></p> <p>Ample communal open space areas are provided at Level 8, significantly exceeding the requirement of 250m<sup>2</sup>. Approximately 290m<sup>2</sup> of external communal open space is provided along with other facilities internally within the building adjacent to this area such as a theatre room, gym, dining area, library and amenities area.</p>
<p><b>58.03-3 – Solar access to communal outdoor open space</b></p> <ul style="list-style-type: none"> <li>To allow solar access into communal outdoor open space.</li> </ul>	<p><b>Satisfied</b></p> <p>The communal open space area has direct northern solar access. At least 125m<sup>2</sup> will receive two hours of sunlight on 21 June.</p>
<p><b>58.03-4 – Safety</b></p> <ul style="list-style-type: none"> <li>To ensure the layout of development provides for the safety and security of residents and property.</li> </ul>	<p><b>Satisfied</b></p> <p>Multiple pedestrian entries are available to access the apartments, providing safe and secure entry to the building.</p>
<p><b>58.03-5 – Landscaping</b></p> <ul style="list-style-type: none"> <li>To encourage development that respects the landscape character of the neighbourhood.</li> <li>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</li> <li>To provide appropriate landscaping.</li> <li>To encourage the retention of mature vegetation on the site.</li> <li>To promote climate responsive landscape design and water management in developments that support thermal comfort and reduces the urban heat island effect.</li> </ul>	<p><b>Satisfied</b></p> <p>Landscaping across the site is considered acceptable, subject to conditions previously discussed. Sufficient deep soil is provided for canopy tree planting within the frontage to be integrated with the plaza. Conditions will require detailed planting measures around the perimeter of the building.</p>
<p><b>58.03-6 – Access</b></p> <ul style="list-style-type: none"> <li>To ensure the number and design of vehicle crossovers respects the urban context.</li> </ul>	<p><b>Satisfied</b></p> <p>A total of four crossovers are proposed; one for infrequent use on Doncaster Road, two main accessways on Short Street and a delivery entrance on Hepburn Road. The proposal results in a net reduction in the number of crossovers across the site.</p>
<p><b>58.03-7 – Parking location</b></p> <ul style="list-style-type: none"> <li>To provide convenient parking for resident and visitor vehicles.</li> <li>To protect residents from vehicle noise within developments.</li> </ul>	<p><b>Satisfied</b></p> <p>Numerous lift shafts provide equitable access for residents and visitors from all car parking spaces within the basement and upper car parking levels. Residents are generally protected from vehicle noise within the development.</p>

Objective	Objective Met/Not Met
<p><b>58.03-8 – Integrated water and stormwater management</b></p> <ul style="list-style-type: none"> <li>• To encourage the use of alternative water sources such as rainwater, stormwater and recycled water.</li> <li>• To facilitate stormwater collection, utilisation and infiltration within the development.</li> <li>• To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.</li> </ul>	<p><b>Satisfied</b></p> <p>Two large rainwater tanks are located under the basement. A condition will require details of the capacity of the rainwater tanks.</p> <p>The applicant is required to provide an on-site stormwater detention system to alleviate pressure on the drainage system.</p>
<p><b>58.04-1 – Building setback</b></p> <ul style="list-style-type: none"> <li>• To ensure the setback of a building from a boundary appropriately responds to the existing urban context or contributes to the preferred future development of the area.</li> <li>• To allow adequate daylight into dwellings.</li> <li>• To limit views into habitable room windows and private open space of new and existing dwellings.</li> <li>• To provide a reasonable outlook from new dwellings.</li> <li>• To ensure the building setbacks provide appropriate internal amenity to meet the needs of residents.</li> </ul>	<p><b>Satisfied</b></p> <p>Side and rear setbacks respond appropriately to the existing urban context to the south-east and west, as well as the preferred future development anticipated to the north-east.</p> <p>A full analysis of the proposed setbacks is undertaken in the design and built form section of this report.</p> <p>The setbacks are considered reasonable as they provide a suitable level of separation to the adjoining residential properties, including meeting the ACZ1’s preferred 4.5m setback to adjoining properties.</p> <p>There are two adjoining properties; 682-686 Doncaster Road and 8-10 Hepburn Road. A minimum 9m setback is provided from balconies/windows to the balconies and windows of the approved development at 682-686 Doncaster Road, which will allow adequate daylight into and provide a reasonable outlook from new dwellings as well as limit views into habitable room windows and private open space areas.</p> <p>A minimum 9m setback is provided to windows of the development at 8-10 Hepburn Road, however balconies of the development are within 9m. This will allow adequate daylight into and provide a reasonable outlook from new dwellings, however a condition will require that views are satisfactorily limited to private open space areas of this development.</p>

Objective	Objective Met/Not Met
<p><b>58.04-2 – Internal views</b></p> <ul style="list-style-type: none"> <li>To limit views into the private open space and habitable room windows of dwellings within a development.</li> </ul>	<p><b>Satisfied</b></p> <p>A condition will require details of barrier heights and materials between balconies, which limit internal views.</p>
<p><b>58.04-3 – Noise impacts</b></p> <ul style="list-style-type: none"> <li>To contain noise sources in developments that may affect existing dwellings.</li> <li>To protect residents from external and internal noise sources.</li> </ul>	<p><b>Satisfied</b></p> <p>A condition will require a revised acoustic report to assess the impacts of the child care centre and place of assembly on residents both within and external to the development.</p> <p>The submitted acoustic report demonstrates that residents are protected from external noise sources, such as traffic noise and nearby commercial uses.</p>
<p><b>58.05-1 – Accessibility</b></p> <ul style="list-style-type: none"> <li>To ensure the design of dwellings meets the needs of people with limited mobility.</li> </ul>	<p><b>Satisfied</b></p> <p>The proposal meets the accessibility requirements for at least 50% of the dwellings (71 out of 136 = 52%) relating to appropriate door opening widths, entrance paths and access to an adaptable bathroom.</p>
<p><b>58.05-2 – Building entry and circulation</b></p> <ul style="list-style-type: none"> <li>To provide each dwelling and building with its own sense of identity.</li> <li>To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.</li> <li>To ensure internal communal areas provide adequate access to daylight and natural ventilation.</li> </ul>	<p><b>Satisfied</b></p> <p>Building entrances are well covered and easily identifiable.</p> <p>Lifts and stairwells are well located to provide equitable access given the proliferation of apartments throughout the building.</p> <p>Not all communal corridors have a source of natural light or natural ventilation, however clear sight lines are maintained.</p>
<p><b>58.05-3 – Private open space</b></p> <ul style="list-style-type: none"> <li>To provide adequate private open space for the reasonable recreation and service needs of residents.</li> </ul>	<p><b>Satisfied</b></p> <p>All ground level dwellings meet the private open space requirements.</p> <p>All balconies meet the minimum area required, however some fall marginally short of the minimum dimension requirements, i.e. providing 1.995m instead of 2m. This can be conditioned accordingly.</p>
<p><b>58.05-4 – Storage</b></p> <ul style="list-style-type: none"> <li>To provide adequate storage facilities for each dwelling.</li> </ul>	<p><b>Satisfied</b></p> <p>Conditions will require that each dwelling meet the minimum internal and external storage volume requirements and that external storage areas be allocated to each dwelling, and be co-located near corresponding allocated car parking spaces.</p>

Objective	Objective Met/Not Met
<p><b>58.06-1 – Common property</b></p> <ul style="list-style-type: none"> <li>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</li> <li>To avoid future management difficulties in areas of common ownership.</li> </ul>	<p><b>Satisfied</b></p> <p>The communal car parking areas, paths, landscape areas, internal lobby and corridors are practically designed. There are no apparent difficulties associated with the future management of these areas.</p>
<p><b>58.06-2 – Site Services</b></p> <ul style="list-style-type: none"> <li>To ensure that site services can be installed and easily maintained.</li> <li>To ensure that site facilities are accessible, adequate and attractive.</li> </ul>	<p><b>Satisfied</b></p> <p>Appropriate site services will be provided. Mail rooms are provided within the lobbies on Level 1 and Level 4. A condition will require that individual letter boxes be provided to each townhouse.</p> <p>Utility cabinets are generally well integrated to complement the design of the development, including height, design, materials and finishes. A condition will require the fire booster assembly cabinet must be better integrated into the plaza, with full dimension and materials detailed.</p>
<p><b>58.06-3 – Waste and recycling</b></p> <ul style="list-style-type: none"> <li>To ensure dwellings are designed to encourage waste recycling.</li> <li>To ensure that waste and recycling facilities are accessible, adequate and attractive.</li> <li>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm.</li> </ul>	<p><b>Satisfied</b></p> <p>The submitted waste management plan details that waste will be appropriately managed and collected on site.</p>
<p><b>58.07-1 – Functional layout</b></p> <ul style="list-style-type: none"> <li>To ensure dwellings provide functional areas that meet the needs of residents.</li> </ul>	<p><b>Satisfied</b></p> <p>All bedrooms and living areas meet the minimum dimensions and areas required.</p>
<p><b>58.07-2 – Room depth</b></p> <ul style="list-style-type: none"> <li>To allow adequate daylight into single aspect habitable rooms.</li> </ul>	<p><b>Satisfied</b></p> <p>All apartments meet the maximum 9m room depth, providing appropriate floor to ceiling heights, with some exceptions. The dwellings that exceed this requirement are considered appropriate as the room width exceeds the functional layout standard, which helps to maximise daylight.</p>
<p><b>58.07-3 – Windows</b></p> <ul style="list-style-type: none"> <li>To allow adequate daylight into new habitable room windows.</li> </ul>	<p><b>Satisfied</b></p> <p>All habitable room windows are provided with at least one window in an external wall of the building. A number of bedrooms contain a window from a smaller secondary area within the bedroom, which complies with the minimum width and depth dimensions.</p>

Objective	Objective Met/Not Met
<b>58.07-4 – Natural ventilation</b> <ul style="list-style-type: none"> <li>To encourage natural ventilation of dwellings.</li> <li>To allow occupants to effectively manage natural ventilation of dwellings.</li> </ul>	<b>Satisfied</b> At least 40% of dwellings will provide effective cross ventilation.

### **Car parking, access, traffic, Land Adjacent to a Road Zone Category 1 and bicycle facilities**

#### Car parking and access

8.47 The Scheme requires a total of 473 car parking spaces for the proposal. 400 car parking spaces are proposed, resulting in a 73 space shortfall. A permit is therefore being sought to reduce the car parking requirement. The car parking requirement and number of spaces provided is summarised as follows:

Purpose	Scheme car parking requirement	Car parking provided
Dwelling	184 spaces	185 spaces
Dwelling visitors	13 spaces	13 spaces
Place of assembly	195 spaces	202 shared spaces
Food and drink	10 spaces	
Office	45 spaces	
Child care	26 spaces	
Total	473 spaces	400 spaces

8.48 The development incorporates two car parks separating resident and visitor car parking for the dwellings from non-residential uses, each provided with two car park levels, accessed from two separate driveways. The car park for residents and visitors exceeds the car parking requirements by one car space. To provide convenient visitor access, a condition will require visitor car parking spaces to be located towards the entrance of the residential car park, with appropriate signage provided.

8.49 The non-residential car park layout adopts a shared approach to the provision of parking for all non-residential uses, including the place of assembly (which incorporates the auditorium, hall and chapel), child care centre, offices and food and drink premises. These four uses have car parking areas allocated across the two levels. A combined 202 car parking spaces are provided for these non-residential uses, which falls short of the required 276 spaces by 74 spaces. The submitted traffic report identifies that the uses will not operate at capacity during any one time. The rationale for shared car parking for the non-residential uses provided in the submitted traffic report is summarised as:



- The place of assembly could have a total capacity of 1,200 patrons across all of its functions, however not all functions will operate concurrently and this use should be capped at 650 patrons at any given time;
  - The place of assembly is anticipated to operate at a lower capacity during business hours on weekdays and can be further reduced to 430 patrons during these times;
  - The offices and child care centre will operate during the day on weekdays only, which is outside the anticipated peak times of the place of assembly;
  - The food and drink premises are anticipated to operate at peak capacity at lunch time on Fridays and Saturdays, with a low capacity in the evenings.
- 8.50 The peak demand on the non-residential car park is during the day on weekdays. During these times, all uses would operate concurrently, with the offices, child care centre and food and drink premises all operating at full capacity, while the place of assembly would operate at its lowest capacity. To alleviate car parking demand in the non-residential car park during these times, the submitted traffic report recommends placing a limitation on the place of assembly to no more than 430 patrons.
- 8.51 By lowering the maximum number of place of assembly patrons to 430, the total anticipated non-residential car parking demand during this peak time is 210 spaces. However, the non-residential car park has a capacity of 202 spaces, which would still result a shortfall of eight spaces. To meet the car parking demand, a condition will require the recommended limit of 430 patrons for the place of assembly be further lowered by 26 patrons to 404 patrons. This in turn lowers the rate of car parking generated associated with the use from 129 spaces to 121 spaces. Accordingly, the 202 spaces provided would meet the total anticipated non-residential car parking demand of 202 spaces.
- 8.52 During the night on weekdays and during the day on weekends, the place of assembly and food and drink premises are anticipated to reach a peak car parking demand of 205 spaces, resulting in a shortfall of 3 car parking spaces from the available 202 car parking spaces. Other non-residential uses will be dormant at this time. It is considered that a car parking reduction of three spaces is acceptable in the context of the site's proximity to public transport services and the likelihood that some of the customers of the food and drink premises may include multi-trip users who are also attending the place of assembly.
- 8.53 By placing limitations on the days and hours of operation of other uses, including that the office and child care would not operate on weekends, at all other times of the week, the provision of 202 spaces within the non-residential car park will meet the total anticipated car parking demand.
- 8.54 As spaces within the non-residential car park are demarcated by use, a condition will require a car parking management plan to detail how spaces will be allocated, signage and management practices to ensure that when a use is dormant (i.e. the office and child care centre during weekends), unused car parking spaces will be available for overflow parking for the uses that are operating.
- 8.55 Subject to the above additional limitations, the non-residential car park will provide an appropriate number of spaces across the four uses that will accommodate the anticipated demand. This rationale is not unusual for mixed-use buildings within the municipality and is supported by Council's Infrastructure Services Unit.

8.56 An assessment against the car parking design standards at Clause 52.06-9 is provided in the table below:

Design Standard	Assessment
1 – Accessways	<ul style="list-style-type: none"> <li>The accessways to the basement car parks meet the minimum width and height clearance requirements.</li> <li>Minimum 6.1m by 7m passing areas are provided within the site frontages.</li> <li>All vehicles are able to exit the site in a forwards direction.</li> <li>An adequate visibility splay area is provided along the exit lane of each driveway.</li> <li>Within the car parking levels, a 4m internal radius is provided at changes of direction.</li> </ul>
2 – Car Parking Spaces	<ul style="list-style-type: none"> <li>Car parking spaces are provided in accordance with the dimensions and clearance areas required.</li> </ul>
3 – Gradients	<ul style="list-style-type: none"> <li>Driveway gradients have been assessed as compliant with the standard, subject to the commercial car park driveway entrance being modified to no steeper than 1:10.</li> </ul>
4 – Mechanical Parking	<ul style="list-style-type: none"> <li>No mechanical parking is proposed.</li> </ul>
5 – Urban Design	<ul style="list-style-type: none"> <li>The driveways do not dominate public space.</li> <li>The development limits the projection of basement areas above natural ground level through the incorporation of dwellings around the curtilage of the car park areas, to activate the development with the street.</li> </ul>
6 – Safety	<ul style="list-style-type: none"> <li>The car parking areas are secured by security gates.</li> <li>Pedestrian access is clearly separated from the roadways.</li> </ul>
7 – Landscaping	<ul style="list-style-type: none"> <li>Landscaping is well-placed along the driveways.</li> </ul>

### Traffic

8.57 The submitted traffic report identifies that the proposed development is expected to generate 173 vehicle movements per AM peak hour and 254 vehicle movements per PM peak hour. It concludes that the volume of traffic generated by the development can be comfortably accommodated by the nearby road network.

8.58 The number of vehicle movements is not anticipated to have a discernible impact on the surrounding road network once distributed to the arterial road network, due to the number of routes available for drivers to use. It concludes that there is adequate traffic gap capacity in westbound through traffic on Doncaster Road to accommodate the additional left-turn out movements from Short Street that will be generated by the development during the peak hours.

- 8.59 Council's Infrastructure Services Unit has not raised concern in relation to the expected volume of traffic generated by the proposed development as assessed in the submitted traffic report.

#### Land Adjacent to a Road Zone Category 1

- 8.60 A permit is required under Clause 52.29 of the Manningham Planning Scheme as the proposal involves the removal of existing crossovers and creation of a new crossover to Doncaster Road, which is zoned Road Zone Category 1.
- 8.61 VicRoads has provided conditional consent to the proposal, therefore the access arrangement is considered appropriate.

#### Bicycle Facilities

- 8.62 Clause 52.34 (Bicycle facilities) requires a total of 56 bicycle spaces; 36 for residents/employees and 20 for visitors/patrons. 36 resident spaces are located in a compound within the Level 1 basement with convenient access from the driveway entrance and to the lift lobby. 15 staff spaces are located along the northern basement wall of Level 3 with convenient access from the driveway and to the commercial lift. A combined shower and change room is provided for the staff spaces, located directly adjacent to these spaces. A further 20 visitor/patron spaces are conveniently located within the plaza at Doncaster Road level.
- 8.63 The proposal for a total of 71 bicycle spaces exceeds the requirements of the Scheme by 15 spaces. The provision of the combined shower and change room meets the requirements of the Scheme. To ensure the three bicycle space locations comply with the requirements of this clause, a condition will require greater details and plan notations, including having regard to the spacing of the bicycle spaces within the plaza and their proximity to the Doncaster Road crossover.

#### **Affordable housing**

- 8.64 Council's Affordable Housing Strategy and Action Plan 2010-2020 has set an aspirational target that by 2020, 10% of housing units within Doncaster Hill will be affordable housing units.
- 8.65 The proposal includes six dwellings as affordable housing units, which is less than the 10% target (13 dwellings). However, this is considered reasonable given the inclusion of other community facilities in the development and the lack of any requirements under the Manningham Planning Scheme.
- 8.66 A permit condition will require the owner of the land to enter into an agreement with Council under Section 173 of the Planning and Environment Act 1987 for the provision of at least six dwellings as affordable housing.

#### **Objector concerns**

- 8.67 A response to the grounds of objection is provided in the paragraphs below:

Traffic and congestion, inadequate on-street and off-street car parking, crossover location, pedestrian safety, traffic noise and public transport availability

- 8.68 The potential traffic impacts have been assessed by the permit applicant's traffic consultant and Council's Infrastructure Services Unit who both conclude that, when considering the proposal in the context of traffic and the surrounding street network, the proposal can be accommodated on the adjacent road network without creating any adverse traffic, safety or capacity problems.
- 8.69 The number of provided on-site car parking spaces meets the requirement for residents and visitors but falls short for non-residential uses. The number of non-residential car parking spaces provided, including having regard to the limited on-street parking available, is satisfactorily contained on site. The proposal provides a reasonable rationalisation of shared non-residential uses that is anticipated to meet the level of demand throughout the week.
- 8.70 Limitations will be placed on the uses to ensure that the demand for non-residential use car spaces do not conflict. Limitations include that the offices and child care centre will not operate on weekday evenings or weekends and that the number of patrons permitted in the place of assembly be capped, with greater restrictions applicable during the day on weekdays.
- 8.71 Existing parking problems in the area cannot be addressed through the current application, nor should the burden of relieving these existing problems be imposed on the developer of the site.
- 8.72 Pursuant to the Manningham Parking Permit Policy 2019, owners and occupiers of dwellings approved in this development will not be eligible to obtain residential parking permits in restricted parking areas. Future residents will therefore not place a burden on the availability of on-street car parking where parking permit restrictions apply.
- 8.73 It is considered that the location of the residential crossover opposite the sole crossover to Magnolia apartments at 20 Hepburn Road would not create safety concerns as vehicles are not expected to cross Short Street to enter the opposite site, but instead turn to/from Short Street. Council's Infrastructure Services Unit have no objection to the crossover location.
- 8.74 Pedestrian safety is anticipated to be managed using the existing footpath network, by separating pedestrian access from vehicle movements and by encouraging access to non-residential uses through the main entry to the building via Doncaster Road.
- 8.75 Traffic noise is not considered unreasonable in the context of the site's proximity to an arterial road.
- 8.76 Public Transport Victoria have not raised concern with the proposal, having regard to impacts on existing infrastructure or bus services.

#### Overdevelopment

- 8.77 The *Doncaster Hill Activity Centre Strategy October 2002*, the policy framework for the implementation of the Activity Centre Zone within the Scheme plans for the provision of more than 5,000 new apartments over the next 20 years within the municipality's only Principal Activity Centre. As such, the proposal is not considered an overdevelopment or an oversupply of accommodation.

Off-site amenity impacts (loss of daylight, litter, noise and view loss)

- 8.78 Given that the tower of the development generally satisfies the 4.5 metre setback requirements, it is considered that the level of daylight afforded to adjoining properties will not be unreasonably reduced.
- 8.79 The proposal is not anticipated to generate any additional litter in the area. All uses are required to store and collect waste on-site.
- 8.80 The development has been designed to separate residential and non-residential uses. It is unlikely that any unreasonable noise or safety concerns will arise given that the design encourages a strong link with the public realm. A condition will require plan notations be included to implement the recommendations from the submitted acoustic report.
- 8.81 There are no specific controls within the Scheme that protects a resident's right to a view, particularly any existing views maintained over the site. In the context of anticipated development within Doncaster Hill, views cannot be expected to be maintained in perpetuity.

Lack of implementation of Hepburn Reserve public open space area, need for upgrade of Walker Reserve

- 8.82 The *Doncaster Hill Activity Centre Strategy October 2002* has considered the required area for public open space for development within Doncaster Hill. The proposed Hepburn Reserve forms part of this strategy. Three of the four parcels have been acquired at this stage. The draft Council budget is currently being advertised, proposing just over \$2 million over four years for the Hepburn Reserve development. Community consultation and preliminary design works will also need to be undertaken before works can commence on the upgrade. There are no current plans to upgrade Walker Reserve, however this may form part of a future capital works program.

Construction impacts (noise, dust, hours, traffic, parking and time span)

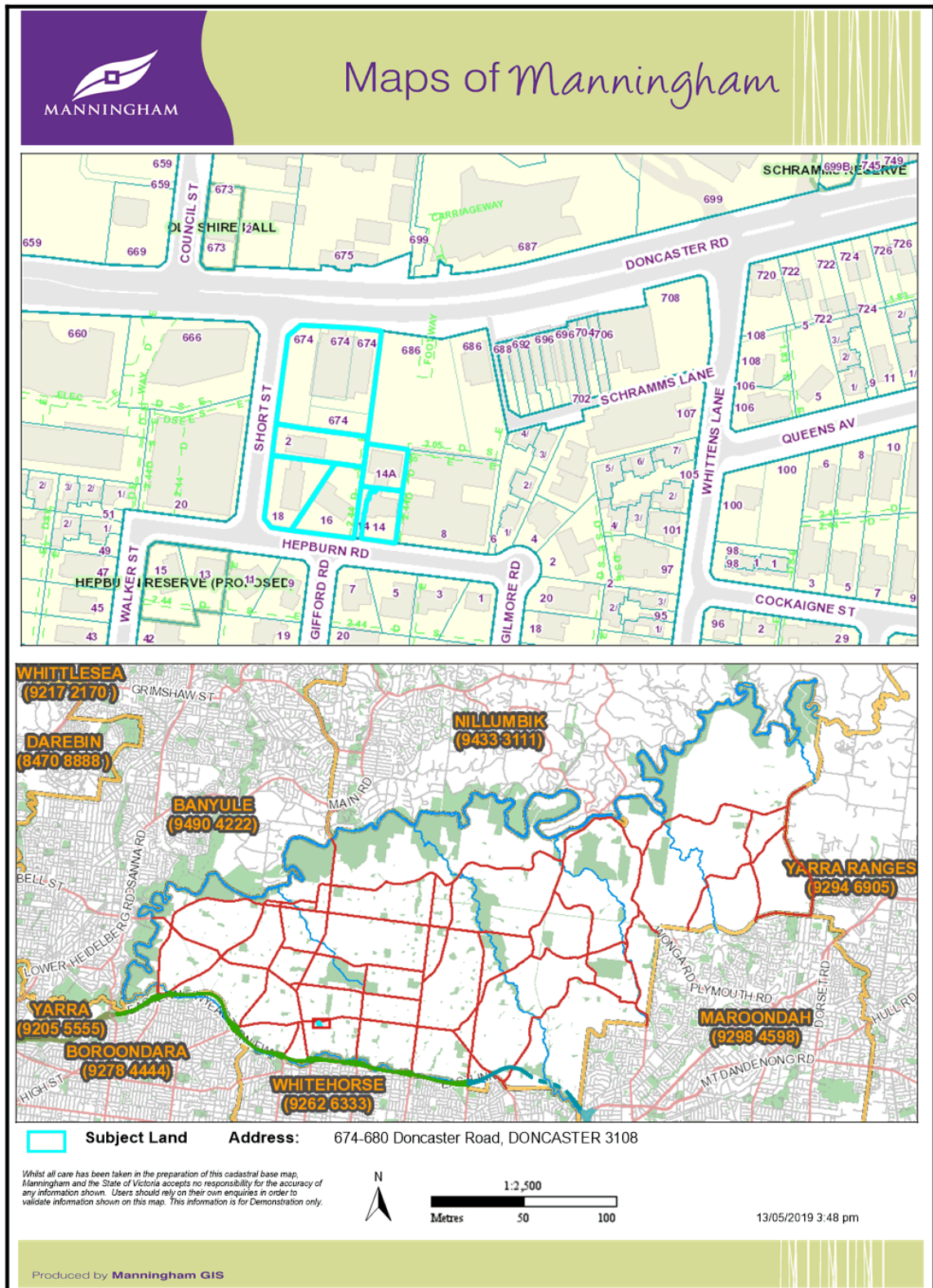
- 8.83 A detailed construction management plan is required as a condition of permit, which sets out matters relating to noise, dust, dirt and mud control, hours of construction and the location of parking and site facilities for construction workers. The management plan would be enforced, where necessary, by Council's Approvals and Compliance Unit.
- 8.84 A development of this scale is typically allowed to commence within four years and is permitted to be completed within eight years. Written approval to extend these times can be given if adequate justification is provided.

**9. CONCLUSION**

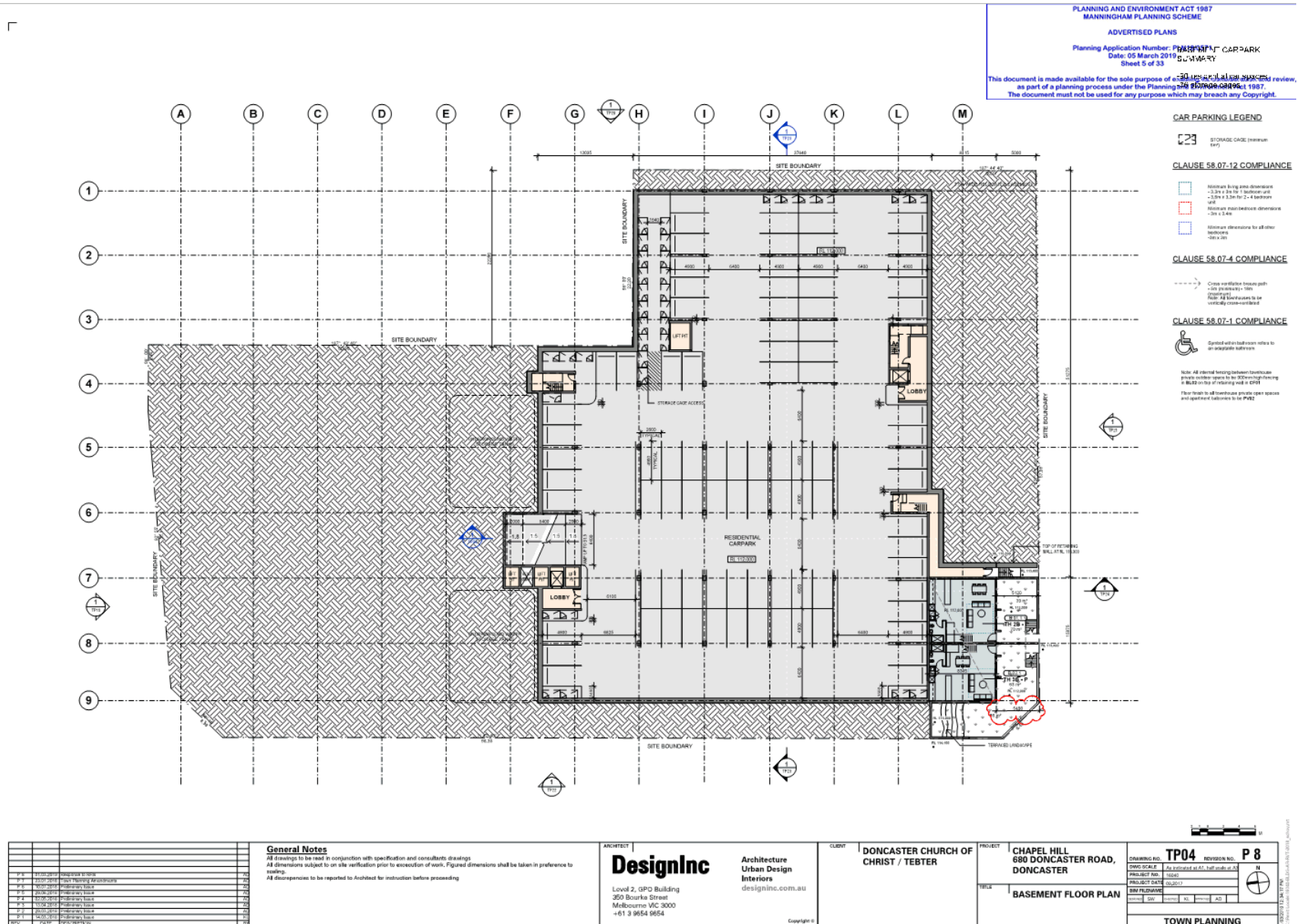
- 9.1 It is recommended that the application be supported, subject to conditions.

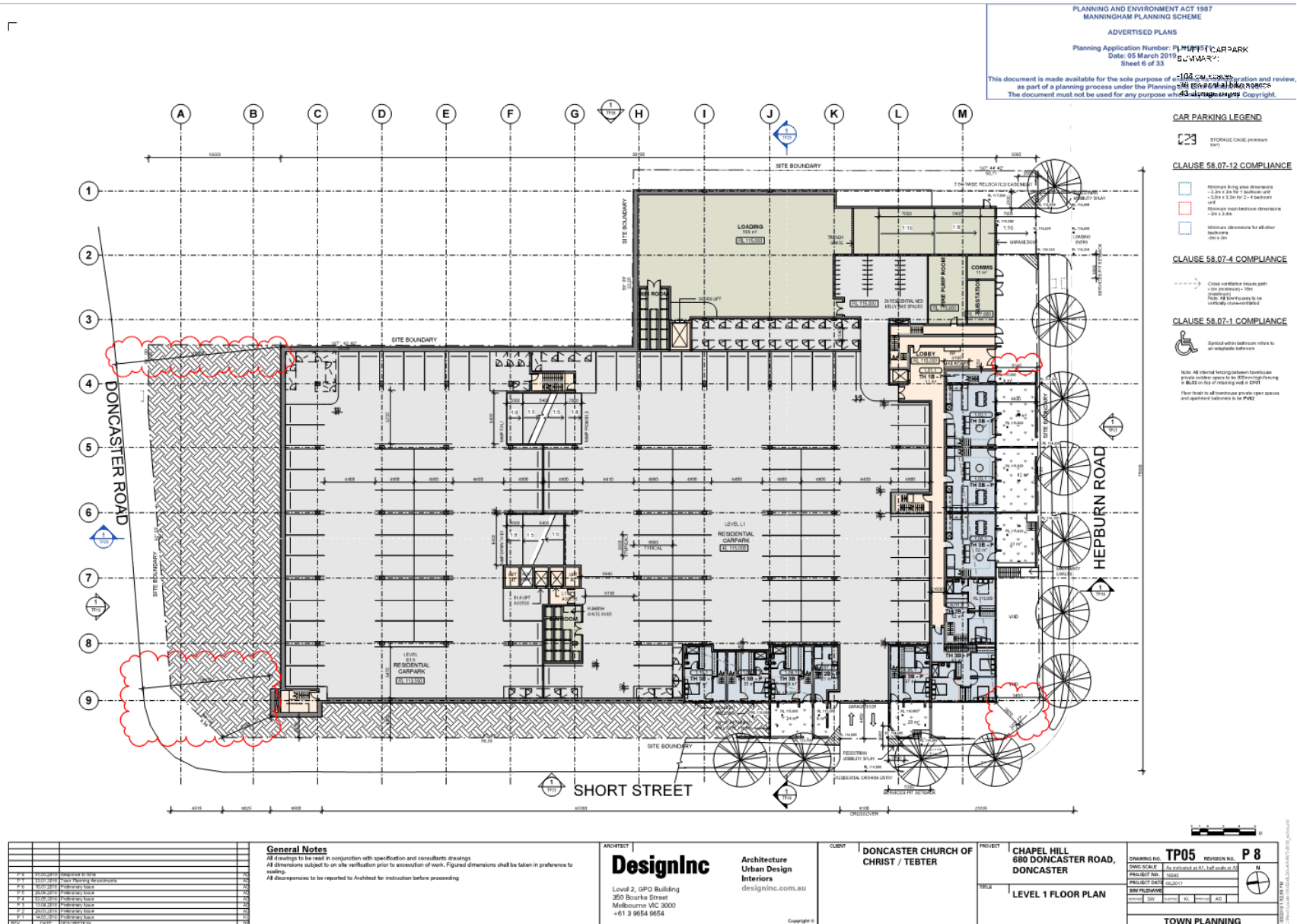
**10. DECLARATION OF CONFLICT OF INTEREST**

- 10.1 No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.

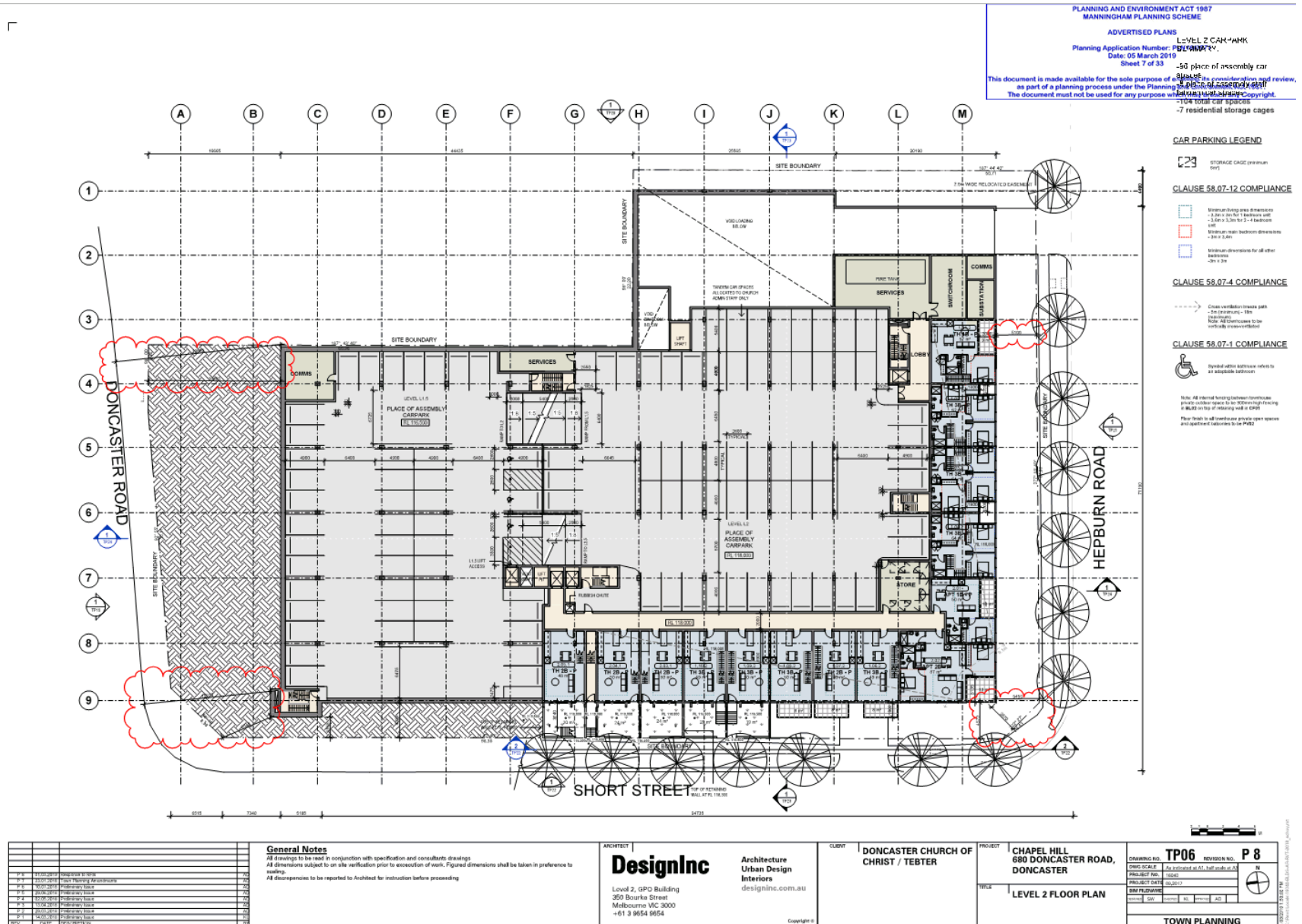




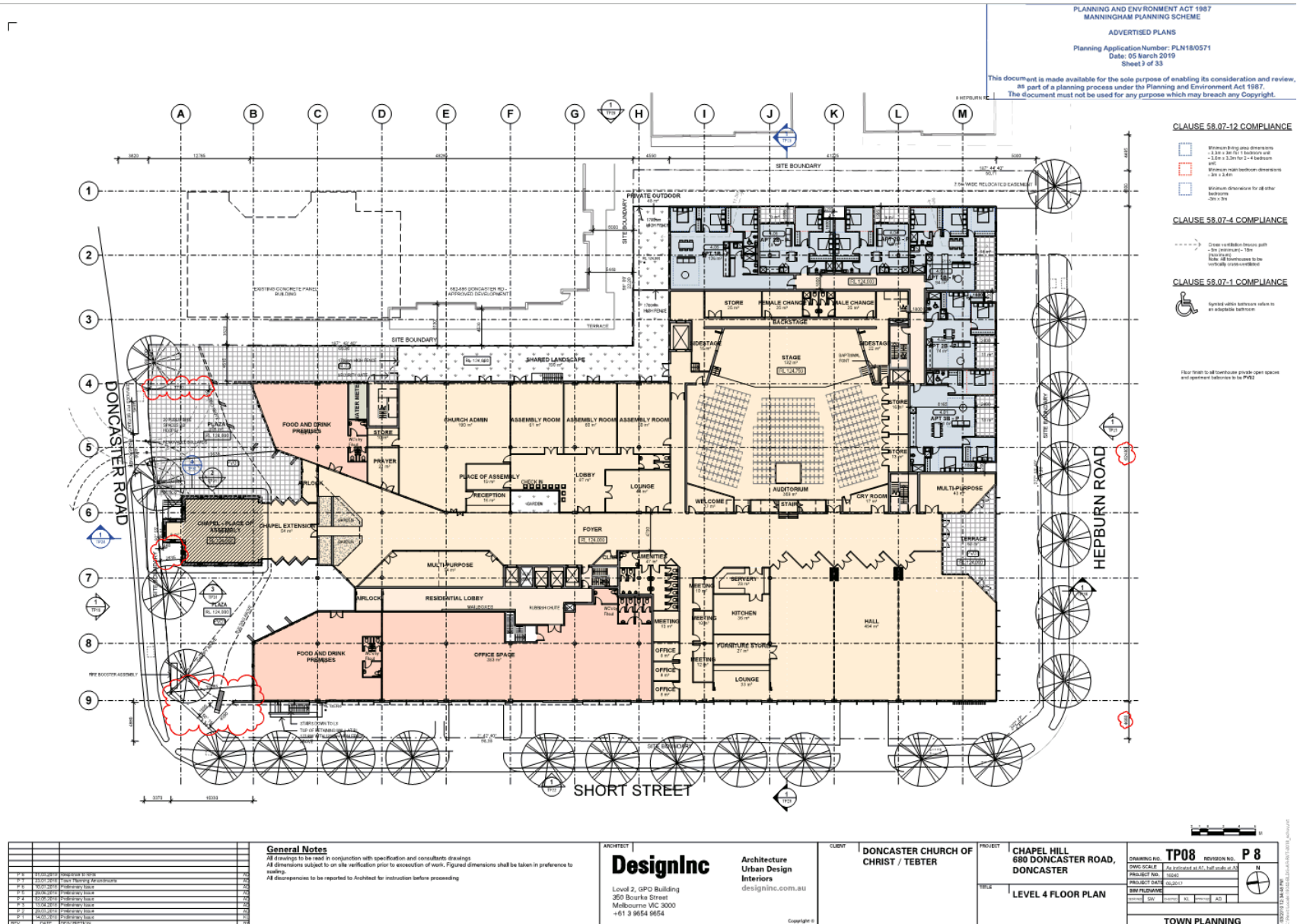






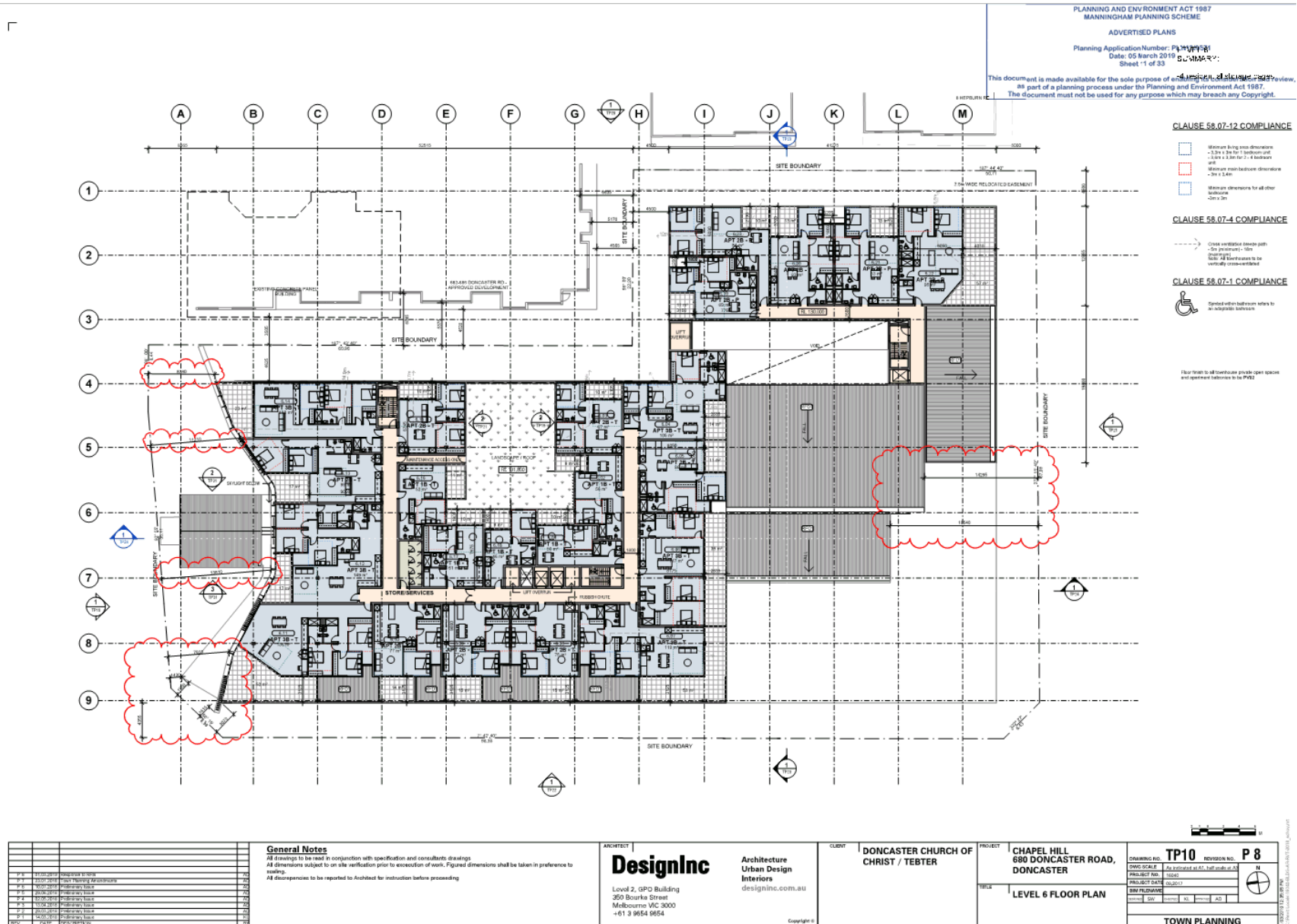


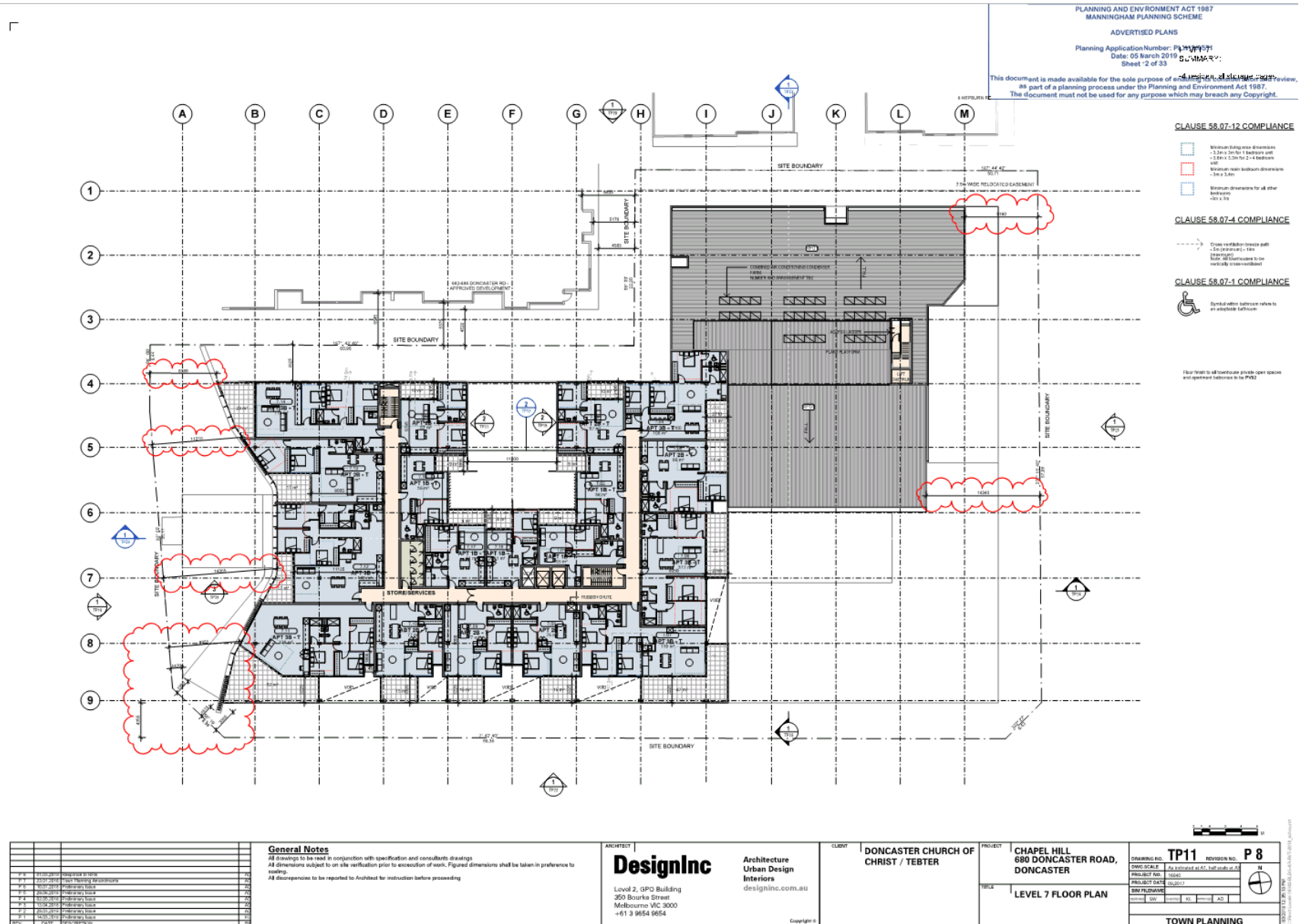


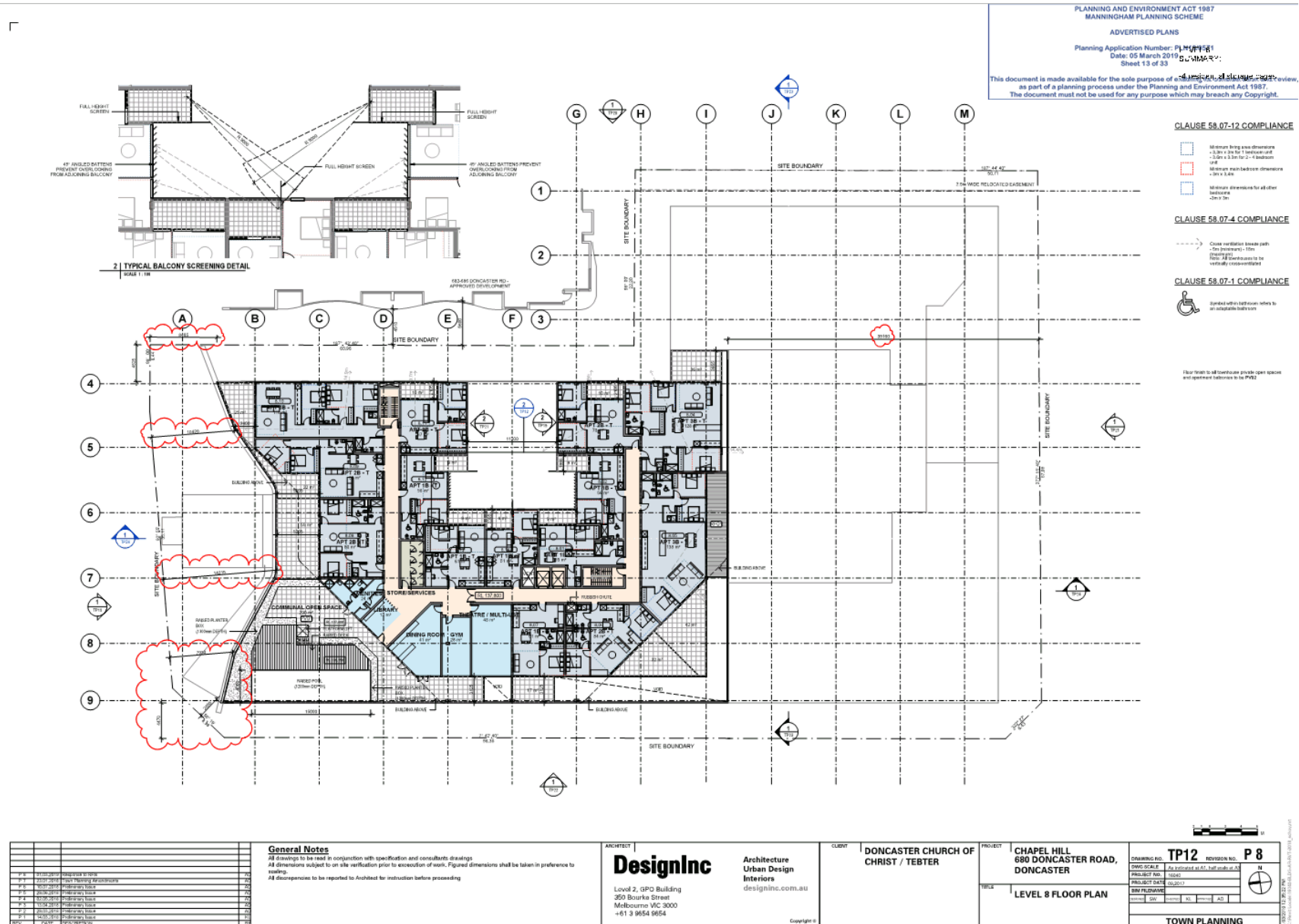
























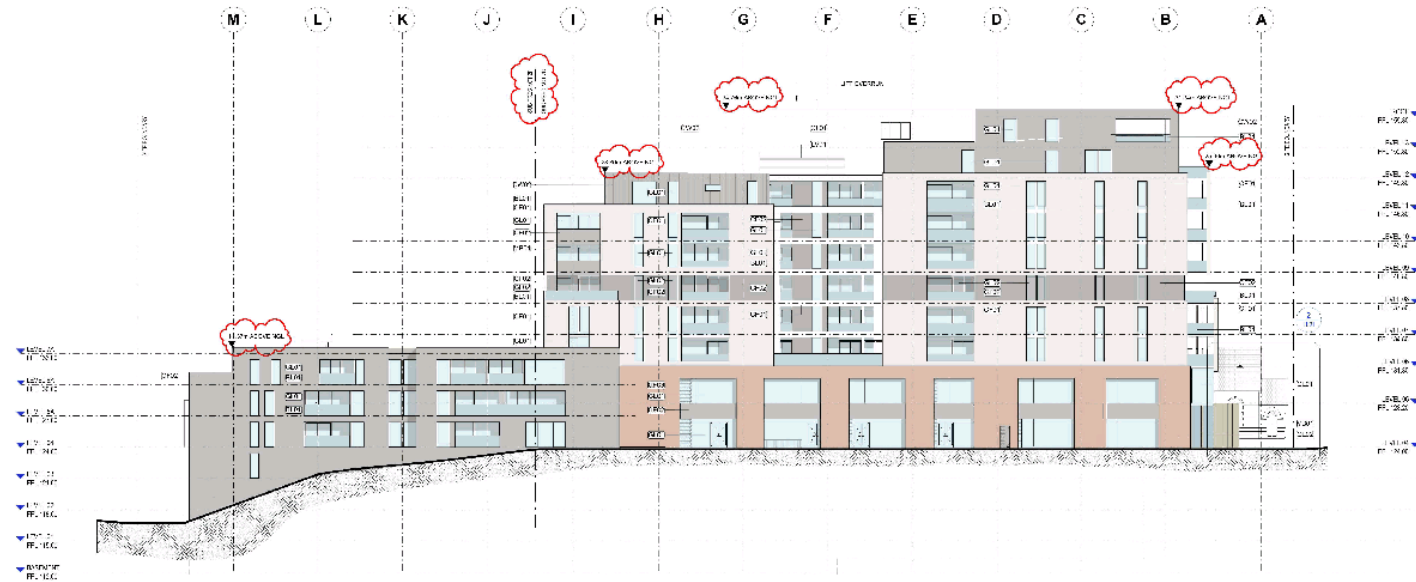








PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application Number: PLN180571  
 This document is made available for public inspection for the purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document is not to be used for any other purpose without the written consent of the Council. Copyright © 2018 DesignInc



1.1	1.1	1.1
1.2	1.2	1.2
1.3	1.3	1.3
1.4	1.4	1.4
1.5	1.5	1.5
1.6	1.6	1.6
1.7	1.7	1.7
1.8	1.8	1.8
1.9	1.9	1.9
1.10	1.10	1.10
1.11	1.11	1.11
1.12	1.12	1.12
1.13	1.13	1.13
1.14	1.14	1.14
1.15	1.15	1.15
1.16	1.16	1.16
1.17	1.17	1.17
1.18	1.18	1.18
1.19	1.19	1.19
1.20	1.20	1.20
1.21	1.21	1.21
1.22	1.22	1.22
1.23	1.23	1.23
1.24	1.24	1.24
1.25	1.25	1.25
1.26	1.26	1.26
1.27	1.27	1.27
1.28	1.28	1.28
1.29	1.29	1.29
1.30	1.30	1.30
1.31	1.31	1.31
1.32	1.32	1.32
1.33	1.33	1.33
1.34	1.34	1.34
1.35	1.35	1.35
1.36	1.36	1.36
1.37	1.37	1.37
1.38	1.38	1.38
1.39	1.39	1.39
1.40	1.40	1.40
1.41	1.41	1.41
1.42	1.42	1.42
1.43	1.43	1.43
1.44	1.44	1.44
1.45	1.45	1.45
1.46	1.46	1.46
1.47	1.47	1.47
1.48	1.48	1.48
1.49	1.49	1.49
1.50	1.50	1.50

**General Notes**  
 1. All dimensions are in millimetres unless otherwise stated.  
 2. All dimensions are to the face of the work unless otherwise stated.  
 3. All dimensions are to be checked in the field for any variations.  
 4. All dimensions are to be checked in the field for any variations.

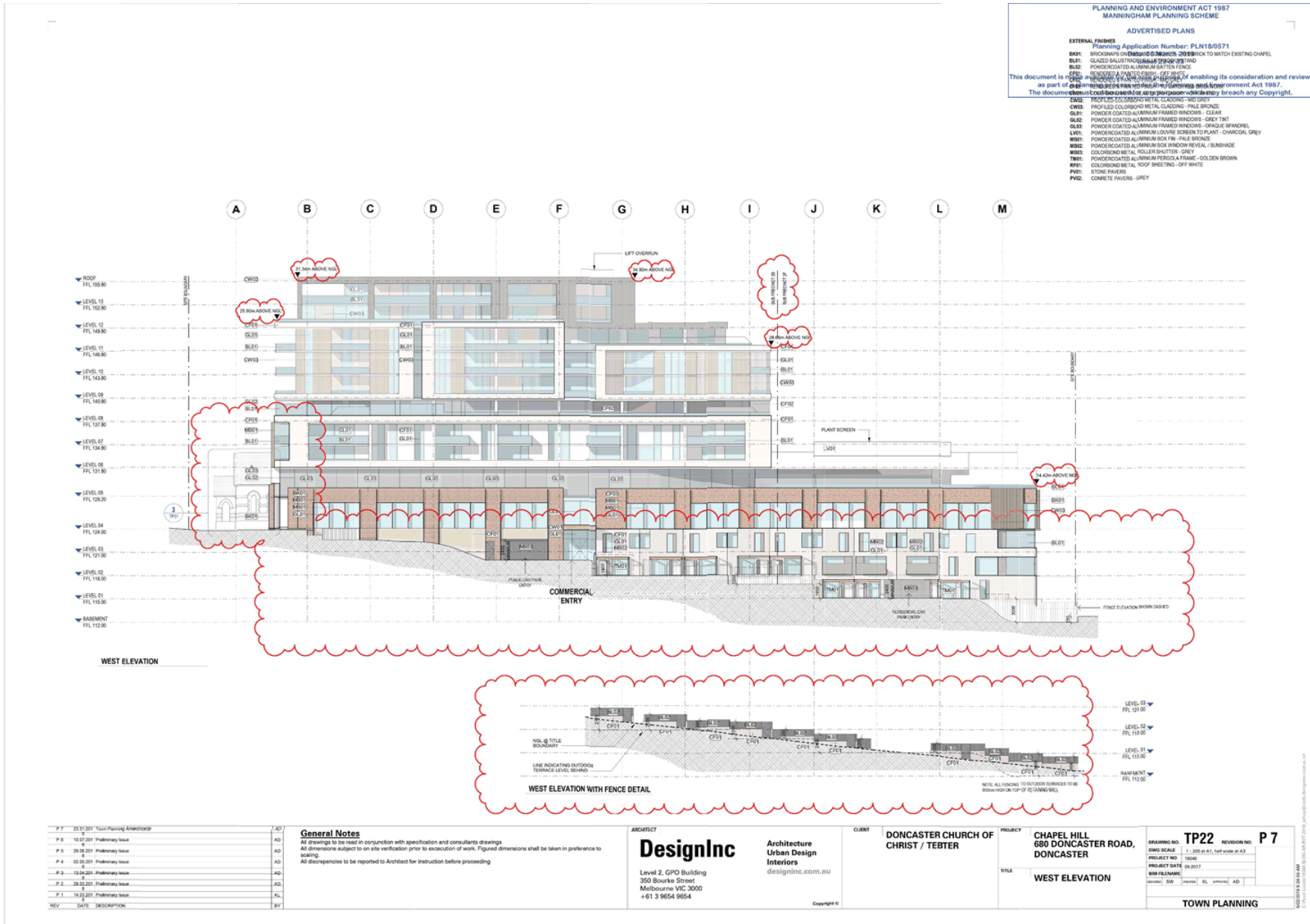
**DesignInc**  
 Architecture  
 Urban Design  
 Interiors  
 Level 2, GPO Building  
 300, Bourke Street  
 Melbourne VIC 3000  
 +61 3 9594 9881  
 designinc.com.au

**CLIENT** DONCASTER CHURCH OF CHRIST / TEBTER  
**PROJECT** CHAPEL HILL 680 DONCASTER ROAD, DONCASTER  
**EAST ELEVATION**

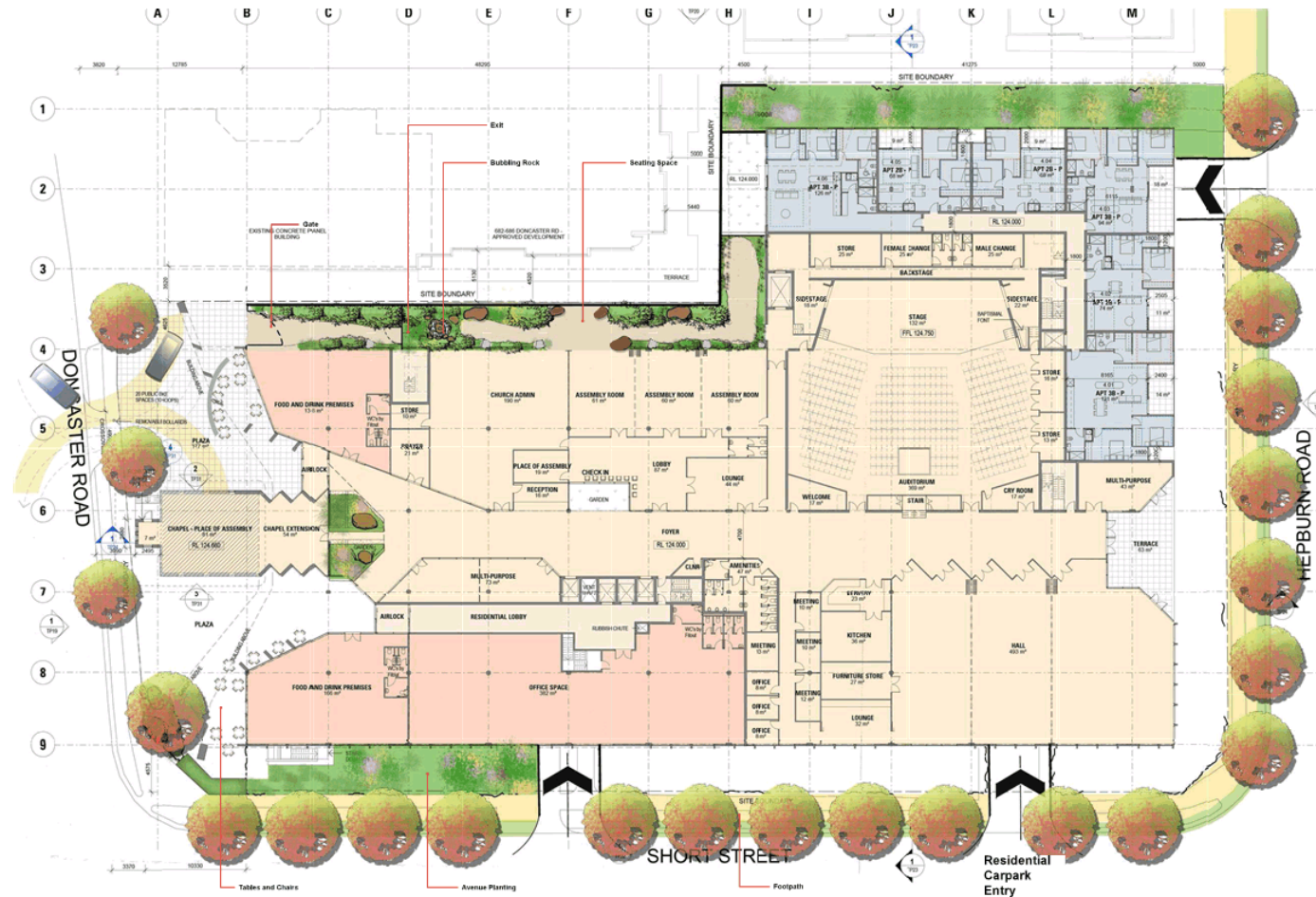
**TP20** P 7  
 TOWN PLANNING







PLANNING AND ENVIRONMENT ACT 1987 - MANNINGHAM PLANNING SCHEME  
 ADVERTISED MATERIAL - Planning Application P/18/00171, Date: 10 March 2019, Page 8 of 18  
 This document is made available for the sole purpose of enabling its consideration and review,  
 as part of a planning process under the Planning and Environment Act 1987.  
 The document must not be used for any purpose which may breach any Copyright.



# LANDSCAPE BASEPLAN-LEVEL-04

## Plaza Area

Copyright: THIS PLAN HAS BEEN PRODUCED BY PHILLIP JOHNSON LANDSCAPES AND REQUIRES PERMISSION TO BE REPRODUCED. THIS APPLIES TO ALL PREVIOUS REVISIONS

NORTH

**SCALE**

1:200 @ A1

1:400 @ A3

JOB NO: 1019

DATE: 19/11/2018

Drawn: LL Approved: VC

SHEET 05 of 19

DATE: 19/11/2018

Drawn: LL Approved: VC

ChapelHill project

Shurt St  
Doncaster  
VIC

DRAWING NO: 1019D\_SK\_0

PHILLIP JOHNSON  
LANDSCAPES

Greenmark Landscape Pty Ltd  
P.O. BOX 334, Menzies, VIC 3793 trading as:

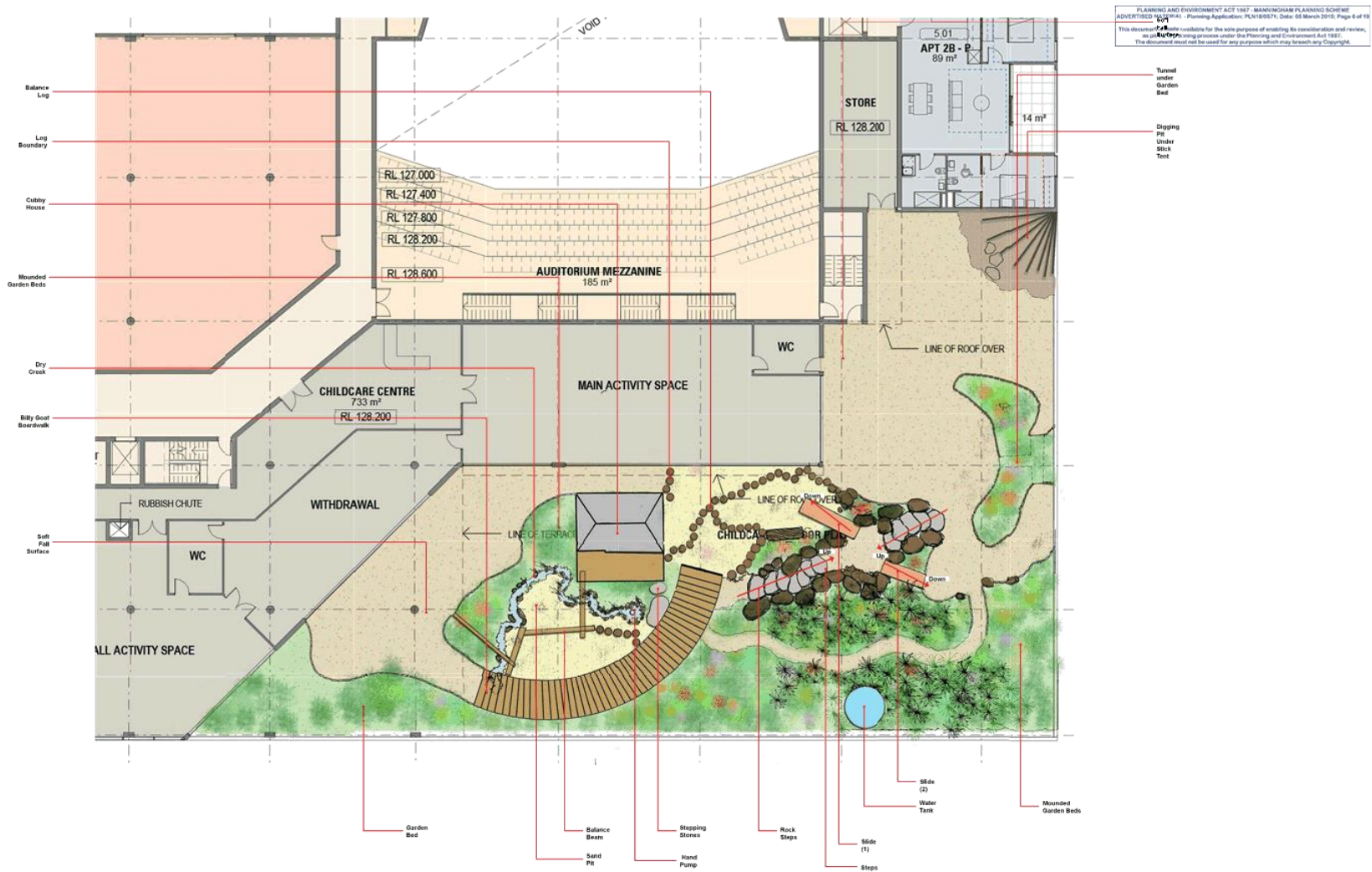
PHILLIP JOHNSON LANDSCAPES

phone: 0151 7233 fax: 0350 9120

info@philipjohnson.com.au

LAND SCAPING  
victoria

GREENWAY  
LANDSCAPES



# LANDSCAPE BASEPLAN-LEVEL-05

## Childcare Area

THIS PLAN HAS BEEN PRODUCED BY PHILIP JOHNSON LANDSCAPES AND REQUIRES PERMISSION TO BE REPRODUCED. THIS APPLIES TO ALL PREVIOUS REVISIONS

NORTH

SCALE  
 1:100 @ A1  
 1:200 @ A3

0 2m 4m 6m 8m 10m

ChapelHill project  
 Short St  
 Dorchester  
 VIC  
 DRAWING NO: 1019D\_SK\_0

PHILIP JOHNSON  
 LANDSCAPES  
 Greenmark Landscape Pty Ltd  
 P.O BOX 334, Menbulk, VIC 3793 trading as:  
 PHILIP JOHNSON LANDSCAPES  
 phone: 0155 7233 fax: 0155 9129  
 info@philipjohnson.com.au

JOB NO: 1019 SHEET 06 of 19  
 Date: 19/11/2018 Drawn: LL Approved: VC

LANDSCAPING  
 VICTORIA  
 GREEN MARK  
 LANDSCAPES





## 5. LEGISLATIVE REQUIREMENTS

### 5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### 5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- Planning Policy Framework
- Local Planning Policy Framework
- Clause 37.08 Activity Centre Zone, Schedule 1
- Clause 43.01 Heritage Overlay, Schedule 46
- Clause 45.06 Development Contributions Plan Overlay, Schedule 1
- Clause 45.09 Parking Overlay, Schedule 1
- Clause 52.06 Car Parking
- Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road
- Clause 52.34 Bicycle Facilities
- Clause 58 Apartment Developments
- Clause 65 Decision Guidelines

#### Zones

##### Clause 37.08 Activity Centre Zone, Schedule 1

The purpose of the Activity Centre Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To encourage a mixture of uses and the intensive development of the activity centre:*
  - *As a focus for business, shopping, working, housing, leisure, transport and community facilities.*
  - *To support sustainable urban outcomes that maximise the use of infrastructure and public transport.*
- *To deliver a diversity of housing at higher densities to make optimum use of the facilities and services.*

- *To create through good urban design an attractive, pleasant, walkable, safe and stimulating environment.*
- *To facilitate use and development of land in accordance with the Development Framework for the activity centre.*

A permit is required to construct a building or construct or carry out works unless the schedule to this zone specifies otherwise.

An apartment development must meet the requirements of Clause 58.

Schedule 1, relevant to Doncaster Hill Principal Activity Centre outlines the following objectives:

*Land use and development objectives to be achieved*

- *To advance Doncaster Hill as a sustainable and vibrant mixed-use activity centre with a strong sense of place and civic identity.*
- *To develop the centre as a focus for contemporary high density residential development incorporating a mix of complementary retail, social, commercial and entertainment uses.*
- *To ensure the activity centre enhances the social, environmental, economic and cultural elements of the municipality and region, advancing Doncaster Hill as a destination in Melbourne's East.*

*Land use*

- *To provide for a vibrant range of mixed uses that support the strategic role of the Doncaster Hill Principal Activity Centre.*
- *To provide for a high level of activity that attracts people, provides a focal point for the community, creates an attractive and safe urban environment, increasing opportunities for social interaction.*
- *To ensure mixed use development comprises flexible floor spaces for a range of uses.*
- *To substantially increase the provision, intensity and diversity of housing (especially affordable housing), that allows for all sectors of the community to live in the centre.*
- *To provide for high-density residential development on individual sites in conjunction with a diversity of other uses including a mix of retail, commercial, social, community and entertainment uses.*
- *To encourage commercial and small-scale retail uses at the lower level of buildings, with high-density style residential development on upper levels.*

*Built form*

- *To create treed boulevards framed by podiums, consistent front setbacks and a high quality landscape along Doncaster, Williamsons and Tram Roads.*
- *To encourage innovative, contemporary architecture that provides a distinctive sense of identity for the Doncaster Hill Principal Activity Centre.*
- *To emphasise the existing dramatic landform of Doncaster Hill through built form that steps down the hill.*
- *To ensure an appropriate transition in height both within the activity centre and to surrounding neighbourhoods.*
- *To encourage built form that capitalises on key views and vistas including to the middle-ground and distant features including Dandenongs, the Kinglake Ranges and the central Melbourne skyline.*
- *To encourage the provision of urban art within built form or in adjacent public areas.*
- *To encourage the built form at gateway locations identified in the Framework Plan to be designed to act as markers with distinguishing architectural or urban design treatments*

*Environmental sustainability*

- To ensure Australian Best Practice environmentally sustainable design is met in relation to building energy management, water sensitive urban design, construction materials, indoor environment quality, waste management and transport.

*Public realm*

- To encourage active street frontages and pedestrian generating activities to be located along main roads.
- To ensure public spaces are minimally impacted by overshadowing, including preserving solar access in mid-winter to the key boulevards of Doncaster Road and Williamsons Road.
- To facilitate the enjoyment of public urban spaces/plazas, streetscapes, pedestrian and bicycle paths by ensuring that these areas are not excessively overshadowed or affected by wind tunnelling.
- To encourage artwork in suitable locations to contribute to creating a distinctive sense of identity.

*Open space and landscaping*

- To achieve development that provides accessible, safe, attractive and functional private and public open space opportunities, which are well connected and integrated within a permeable urban environment.
- To create a healthy and consistently landscaped environment that is dominated by native and indigenous planting.
- To maximise opportunities for landscaping in the public and private realm.
- To ensure each precinct has ready access to well designed public open space.

*Transport and access*

- To achieve development of circulation networks that focus on providing strong linkages within the Doncaster Hill Principal Activity Centre, and enhance public transport, pedestrian and bicycle users' amenity.
- To provide for well-defined vehicular, bicycle and pedestrian access both within and external to all precincts, with strong pedestrian crossing points to be established between the north and south sides of Doncaster Road.
- To encourage the integration of car parking areas into buildings and the unique sloping landform, including providing under-croft and basement as opposed to open-lot parking.

Under the ACZ1, the subject site is located in **Precinct 2**. The objectives for Precinct 2 (clause 5.2-2) are as follows:

- To encourage an appropriate mix of residential and commercial uses in the precinct.
- To encourage the greatest area of high-density development to locate along the Doncaster Road ridgeline.
- To encourage the provision of cafes, restaurants and outdoor eating within the precinct.
- To retain and enhance the historic elements within the precinct and develop a link with the historic and arts enclave in Precinct 1.
- To support and connect with the pedestrian link proposed for the Doncaster Road, Williamsons and Tram Roads intersection at the western end of the precinct.
- To create a landmark gateway building at the eastern and western ends of the precinct.
- To create a public urban space/plaza with good solar access abutting the south side of Doncaster Road, with convenient access to the north side.
- To develop an area of open space as a passive green park, with urban play opportunities, and located in an area convenient to the precinct with well defined pedestrian links.

Table 5.2-3 of the Scheme sets out the following precinct requirements:

	Maximum height (excluding basement)	Design Element Height:	Setbacks
Precinct 2B	39m	5.8m above maximum height	5m to front podium edge from front boundary 9m to front tower edge from front boundary 4.5m from side boundaries 5m from rear boundary
Precinct 2F	14.5	Not applicable	5m from front boundary 4.5m from side boundaries 4.5m from rear boundary

### Overlays

#### Clause 43.01 Heritage Overlay, Schedule 46

A permit is required to:

- Demolish or remove a building; and
- Construct a building or construct or carry out works.

The key purpose of this overlay is:

- *To ensure that development does not adversely affect the significance of heritage places.*

The following decision guidelines are applicable to these permit requirements:

- *The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place*
- *Any applicable statement of significance, heritage study and any applicable conservation policy*
- *Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place*
- *Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place*
- *Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place*
- *Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.*

#### Clause 45.06 Development Contributions Plan Overlay

*A permit must not be granted to subdivide land, construct a building or construct or carry out works until a development contributions plan has been incorporated into this scheme.*

*This does not apply to the construction of a building, the construction or carrying out of works or a subdivision specifically excluded by a schedule to this overlay.*



A permit granted must:

- Be consistent with the provisions of the relevant development contributions plan.
- Include any conditions required to give effect to any contributions or levies imposed, conditions or requirements set out in the relevant schedule to this overlay.

#### Clause 45.09 Parking Overlay

This overlay operates in conjunction with Clause 52.06. A schedule to this overlay may:

- Vary the requirements of Clause 52.06 as allowed by this overlay.
- Specify additional requirements to the requirements of Clause 52.06 as allowed by this overlay.
- Specify requirements for the provision of a financial contribution as a way of meeting the car parking requirements of Clause 52.06 or this overlay.

#### **Planning Policy Framework**

The relevant sections of the state planning policy framework are as follows:

Clause 11.01-1 (Activity Centres) includes the objective to build up activity centres as a focus for high-quality development, activity and living for the whole community by developing a network of activity centres.

Clause 11.01-2 (Activity Centre Planning) includes the objective to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres which provide a variety of land uses and are highly accessible to the community.

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- Promote good urban design to make the environment more liveable and attractive.
- Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.
- Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.
- Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.
- Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.

Clause 15.01-2 (Urban Design Principle) policy objective is:

- To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- To *improve* community safety and encourage neighbourhood design that makes people feel safe.

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- To recognise and protect cultural identity, neighbourhood character and sense of place.

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
  - *The underlying natural landscape character.*
  - *The heritage values and built form that reflect community identity.*
  - *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*
- *Support low energy forms of transport such as walking and cycling.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- To *promote* a housing market that meets community needs.

The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Encourage housing that is both water efficient and energy efficient.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of housing in Metropolitan Melbourne to be developed within the established urban area, particularly at activity centres, employment corridors and at other strategic sites, and reduce the share of new dwellings in greenfield and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to activity centres, employment corridors and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within the established urban area to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-3 Strategic redevelopment sites

The policy objective is:

- *To identify strategic redevelopment sites for large residential development in Metropolitan Melbourne.*

Specific reference is made at clause 16.01-3 to "strategic redevelopment sites" which are described as:

- *in and around Central Activity Centres;*
- *in or within easy walking distance of Principal or Major Activity Centres;*
- *in or beside Neighbourhood Activity Centres that are well served by public transport;*
- *on or abutting tram, train, light rail and bus routes that are part of the Principal Public Transport Network and close to employment corridors, Central Activities Districts, Principal or Major Activity Centres;*
- *in or near major modal public transport interchanges that are not in Principal or Major Activity Centres;*
- *able to provide ten or more dwellings, close to activity centres and well served by public transport.*

Clause 16.01-4 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 15.03-1 Heritage: Heritage conservation

The policy objective is:

- *To ensure the conservation of places of heritage significance.*

The clause has the following strategies:

- *Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.*
- *Provide for the protection of natural heritage sites and man-made resources and the maintenance of ecological processes and biological diversity.*
- *Provide for the conservation and enhancement of those places which are of, aesthetic, archaeological, architectural, cultural, scientific, or social significance, or otherwise of special cultural value.*
- *Encourage appropriate development that respects places with identified heritage values and creates a worthy legacy for future generations.*
- *Retain those elements that contribute to the importance of the heritage place.*

- *Encourage the conservation and restoration of contributory elements.*
- *Ensure an appropriate setting and context for heritage places is maintained or enhanced.*
- *Support adaptive reuse of heritage buildings whose use has become redundant.*

Clause 18.01-1 Integrated Transport: Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

Clause 18.02-1 Movement networks: Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

Clause 18.02-2 Cycling

The policy objective is:

- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

The clause includes several strategies to achieve this objective including to:

Require the provision of adequate bicycle parking and related facilities to meet demand at education, recreation, shopping and community facilities and other major attractions when issuing planning approvals.

Clause 18.02-4 Management of the road system

The policy objective is:

- *To manage the road system to achieve integration, choice and balance by developing and efficient and safe network and making the most of existing infrastructure.*

Clause 18.02-5 Car parking

The policy objective is:

- *To ensure an adequate supply of car parking that is appropriately designed and located.*

The policy is relevant to the proposal because the application seeks a reduction in the standard car parking requirement of the Scheme. The objective is to ensure an adequate supply of car parking that is appropriately designed and located. It is also required to allocate or require land to be set aside for car parking subject to the existing and potential modes of access including public transport, the demand for off-street car parking, road capacity and the potential for demand management of car parking. Proposals are also encouraged to facilitate the use of public transport.

**Local Planning Policy Framework (LPPF)**

**Municipal Strategic Statement**

**Clause 21.03 Key Influences**

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce

pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

#### Clause 21.09 Activity Centre and Commercial Areas

This policy outlines that *principal, major and identified neighbourhood activity centres will be the focus of increased residential growth and development*. In particular, Doncaster Hill

Principal Activity Centre will:

- *Challenges mainstream community planning and building design to achieve desired environmental outcomes.*
- *Provides more local jobs to reduce journey to work trips.*
- *Provides housing where residents may walk to facilities and services.*
- *Encourages reduced levels of car ownership and increased public transport usage.*

The vision for Doncaster Hill Principal Activity Centre is outlined in Council's *Doncaster Hill Strategy (2002)* and includes:

- *To implement the objectives of Melbourne 2030 in respect of Principal Activity Centres as a focus for retail, social, commercial, entertainment, civic and residential uses.*
- *To integrate ecologically sustainable development principles and techniques into every facet of the design, construction and operation/occupancy stages of new development to raise the aspirations of all users, appropriate for a city looking towards a long-term, responsible and sustainable future.*
- *To ensure that built form outcomes demonstrate the use of contemporary architecture combined with innovative urban design and building techniques that incorporate ecologically sustainable design principles.*
- *To emphasise the existing dramatic landform of Doncaster Hill through built form that steps down the hill.*
- *To encourage high density, high rise residential development.*
- *To provide a greater diversity of dwelling types.*
- *To alleviate pressure for more intense residential development in established urban areas.*
- *To reduce travel demand and change travel behaviour.*
- *To promote the development of sustainable transport options.*
- *To meet the future infrastructure requirements of Doncaster Hill in a comprehensive, timely and equitable way.*
- *To develop an integrated mixed-use precinct for Doncaster Hill Activity Centre which provides for an appropriate mix of uses and functions on a location specific level, including the provision of:*
  - *mixed uses within buildings, particularly along boulevard locations*
  - *small scale retail opportunities at ground floor level in conjunction with other mixed use developments*
  - *additional commercial/office floor space*
  - *flexible floor spaces within buildings to ensure life cycle adaptability.*

Within Doncaster Hill Principal Activity Centre there are various precincts delineated in accordance with their topographic orientation and aspect on Doncaster Hill, their relationship to main roads, and their present and future uses.

#### Clause 21.10 Ecologically Sustainable Development

This policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

In relation to sustainability, the ACZ1 requires applicants to submit a Sustainability Management Plan that *demonstrates the application of Australian best practice rating tools and design principles, use of emerging technology, and a commitment to 'beyond compliance' throughout the construction period and subsequent operation of the development.*

#### Clause 21.11 Heritage

Manningham's cultural heritage reflects the historical development of the municipality. Many culturally significant buildings, precincts, trees, landscapes and sites of archaeological significance have been identified and documented through heritage studies of the municipality.

Council is committed to preserving and enhancing cultural heritage places in the municipality. Council will continue to identify cultural heritage assets and broaden the community's understanding and involvement in the protection, promotion and future conservation of these places. The challenge will be to effectively manage pressures to develop sites of cultural heritage significance and encourage the retention of heritage fabric in development proposals.

Relevant objectives of this clause are to enhance cultural heritage through the retention and protection of significant buildings, precincts, trees and landscapes and to minimise impacts on heritage places as a result of changes to adjoining land uses and development.

Strategies to achieve these objectives include:

- *Identify and assess the cultural significance of heritage places and sites of archaeological significance.*
- *Discourage the demolition and destruction of heritage places.*
- *Encourage the retention of heritage fabric in development proposals.*
- *Encourage initiatives that preserve and enhance Manningham's cultural heritage.*

#### **Local Planning Policy**

##### Clause 22.03 Cultural heritage policy

This policy applies to cultural heritage places which are places of aesthetic, historical, scientific, architectural or social significance including individually significant buildings and places as well as individual trees, groups of trees, gardens and landscapes.

The objectives of this policy are:

- *To recognise, protect, conserve, manage and enhance identified cultural heritage places.*
- *To ensure that the significance of cultural heritage places involving the aesthetic, historic, scientific, architectural or social value of a heritage asset to past, present and future generations, is assessed and used to guide planning decisions.*
- *To encourage the retention of cultural heritage places and ensure that these places are recognised and afforded appropriate protection to enrich the character, identity and heritage of the municipality.*

The decision guidelines require the consideration of:

- *The extent to which the application meets the objectives and directions of this policy.*
- *The significance of the cultural heritage place.*
- *The views of Council's Heritage Advisor.*
- *Heritage studies and all available documentation.*

Where an application proposes the demolition or removal of a building or parts of a building, it is policy that the responsible authority considers:

- *The degree of its significance.*
- *The character and appearance of the building or works and its contribution to the architectural, social or historic character and appearance of the streetscape and the area.*
- *Whether the demolition or removal of any part of the building would contribute to the longer-term conservation of the significance of that building.*
- *Whether the demolition or removal is justified for the development of the land or the alteration of, or addition to a building.*

Where an application proposes alterations or additions to a building, it is policy that the responsible authority considers:

- *The degree of the building's significance.*
- *The effect of the new works upon the significance, character and appearance of a building or its streetscape contribution.*
- *The building's structural condition.*

#### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

#### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

#### Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

### **Particular Provisions**

#### Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rates:

- *1 space for 1 and 2 bedroom dwellings.*
- *2 spaces for 3 or more bedroom dwellings.*
- *1 visitor space to every 10 dwellings (within the Parking Overlay, Schedule 1).*
- *2.5 spaces to each 100m<sup>2</sup> of net floor area to an office.*
- *0.22 spaces to each child to a child care centre.*
- *3.5 spaces to each 100m<sup>2</sup> of net floor area to a food and drink premises.*
- *0.3 spaces to each patron to a place of assembly.*

The land is identified as being within the Principal Public Transport Network Area.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road

The purpose of this clause is:

- To ensure appropriate access to identified roads.
- To ensure appropriate subdivision of land adjacent to identified roads.

A permit is required to create or alter access to a road in a Road Zone, Category 1.

Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, the following number of bicycle spaces are required in development of four or more storeys:

- 1 space for every 5 dwellings for residents.
- 1 space for every 10 dwellings for visitors.

The following number of bicycle spaces are required for other uses:

- Food and drink premises: 1 space to each 300m<sup>2</sup> of leasable floor area for employees.
- Food and drink premises: 1 space to each 500m<sup>2</sup> of leasable floor area for customers.
- Office: 1 space to each 300m<sup>2</sup> of net floor area for staff, if the net floor area exceeds 1000m<sup>2</sup>.
- Office: 1 space to each 1000m<sup>2</sup> of net floor area for staff, if the net floor area exceeds 1000m<sup>2</sup>.
- Place of assembly: 1 space to each 1500m<sup>2</sup> of leasable floor area for employees
- Place of assembly: 2 spaces plus 1 space for patrons, if the net floor area exceeds 1500m<sup>2</sup>.
- No bicycle spaces are required for the use of a child care centre.

If 5 or more employee bicycle spaces are required, 1 shower for the first 5 employee bicycle spaces, plus 1 to each 10 employee bicycle spaces thereafter is required.

1 change room or direct access to a communal change room is required to each shower. The change room may be a combined shower and change room.

Clause 58 Apartment Developments

A development:

- Must meet all of the objectives of this clause
- Should meet all of the standards of this clause.

If a zone or a schedule to a zone, or a schedule to an overlay specifies a requirement different from a requirement of a standard set out in Clause 58 (excluding Clause 58.04-1), the requirement in Clause 58 applies.

**General Provisions**

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.



- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

**9.4 Planning Application PLN18/0452 at 312-316 Springvale Road, Donvale for the use and development of the land for a retirement village with associated facilities, basement car parking, tree removal including native vegetation, and altered access to a road in a Road Zone, Category 1**

File Number:	IN19/275
Responsible Director:	Director City Planning and Community
Applicant:	PLC Consulting
Planning Controls:	Low Density Residential Zone, Significant Landscape Overlay, Schedule 6, Public Acquisition Overlay, Schedule 4
Ward:	Mullum Mullum
Attachments:	1 <a href="#">Decision Plans</a> ↓ 2 <a href="#">Legislative Requirements</a> ↓

## **EXECUTIVE SUMMARY**

### **Purpose**

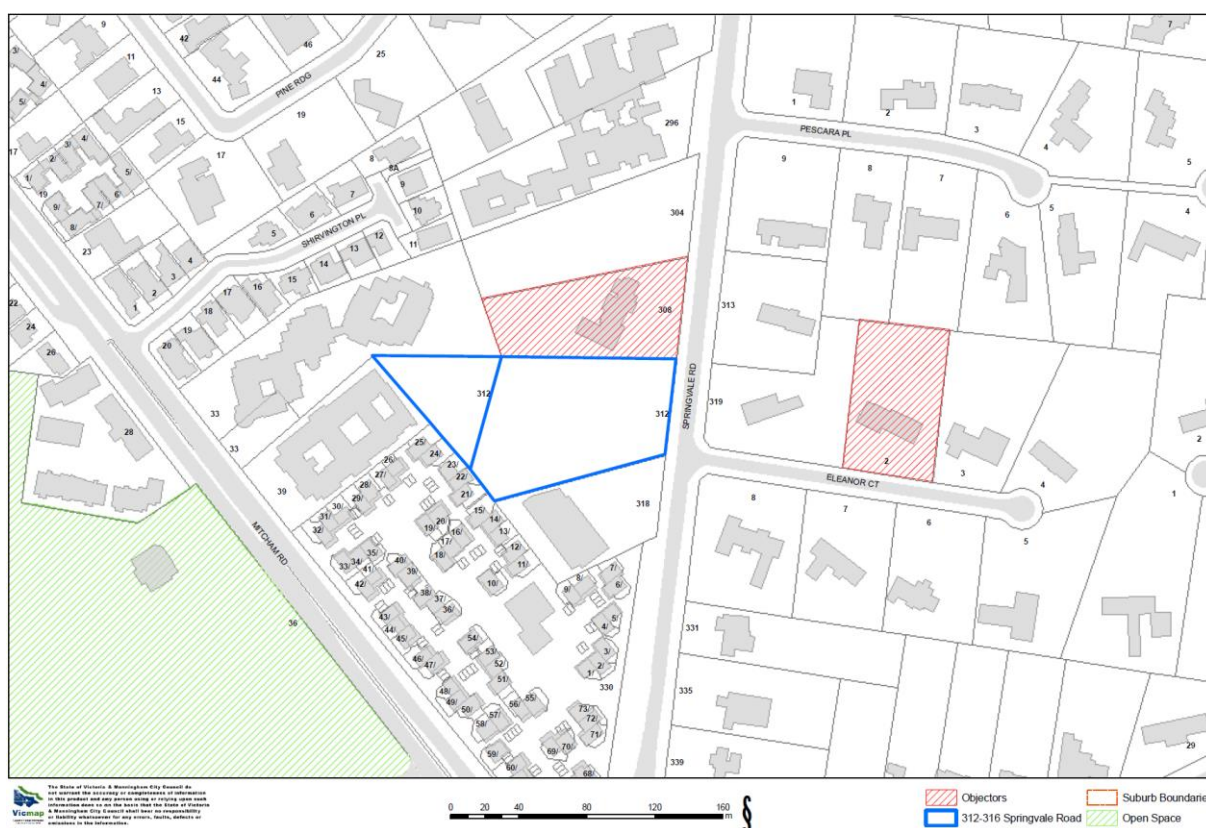
1. This report provides Council with an assessment of the planning permit application submitted for 312-316 Springvale Road, Donvale and recommends its approval, subject to amendments to be addressed by way of permit conditions. The application is being reported to Council as it is a Major Application (with more than 15 dwellings and a development cost of more than \$5 million).

### **Proposal**

2. The proposal is for the development of the land for a multi-level “Seniors’ Living” retirement village. There are 75 apartments comprising a mix of one, two and three bedrooms, along with associated communal facilities. The removal of native and exotic vegetation is proposed, in part to accommodate the development footprint, but moreover due to the overall poor quality of the trees. An altered vehicular access is created in more centralised location along the frontage, with the construction of a left-turn deceleration lane to facilitate traffic movements. Car parking is provided in the form of two basement levels and provides 118 car spaces, exceeding the statutory requirement by 22 car spaces.
3. The land has a total area of 10,274.11m<sup>2</sup>. The building proposes a site coverage of 44% and the site permeability is 31%. There are three building modules which vary between two to three storeys above the natural ground level, and reach a maximum height of 10.8 metres. The western part of the site is to be excavated so as to assist with resident accessibility and to reduce overall building height in this area.

### **Advertising**

4. Notice of the application was given over a three week period which concluded on 21 November 2018.
5. Two objections have been received to date. The grounds of objection relate to drainage matters and increased traffic pressures associated with the use and location of the vehicular access.



### Key issues in considering the application

6. The key issues for Council in considering the proposal relate to:
- Planning Policy Frameworks;
  - Use and location;
  - Siting, scale, design and built form;
  - Vegetation removal and landscaping;
  - Amenity;
  - Traffic, car parking and access; and
  - Objector concerns.

### Assessment

7. The use and development of the land for a retirement village is appropriate having regard to relevant Planning Policy Frameworks of the Manningham Planning Scheme (the Scheme), including the requirements of the Low Density Residential Zone (LDRZ), Significant Landscape Overlay, Schedule 6 (SLO6) and supporting policy relating to residential accommodation.
8. Whilst a development of this particular form and intensity would not ordinarily be appropriate in a typical low density setting, the site sits within a unique context, located on the fringe of the Growth Zone and amidst established “like” facilities for retirement villages/aged care uses, as well as being immediately adjacent to a large purpose-built childcare centre. With the very large site area on offer and in the context of the surrounding built form, a more robust development can be reasonably accommodated without perceivable detriment to the low density character and landscape values defining this particular section of Springvale Road. This is further supported by the proposal’s consistency with the locational requirements relevant to residential accommodation proposed in low density areas, as directed by Clause 22.14 of the Scheme.

9. The overall siting and design utilises differing treatments upon each building module to respond to its relevant boundary interface, with the third storey components set deep into the site as a design response to the more sensitive residential abuttals. The intent of SLO6 is reflected in the large boundary setbacks, and building heights which are largely maintained beneath 8 metres in the appropriate locations.
10. There is a notable amount of vegetation being removed from the site in totality, however only 52 trees of the 113 to be removed require planning permission, with the remaining to be cleared through the permissible exemptions of the SLO6 and bushfire protection provisions. Many of the trees to be lost are of poor health and structure, and many inappropriate for their location (particularly the Monterey Pines). There are 40 existing trees being retained and protected which will uphold a "treed" frontage, and 84 additional canopy trees proposed to further enhance the overall landscape value of the site, and offset losses with more suitable species selections.
11. It is considered that the proposal constitutes a well-conceived development which is acceptable to the site/neighbourhood context and landscape setting, and will provide for increased housing choice for the Municipality's ageing population. The site is appropriately located in terms of its main road location and has a high level of accessibility to essential services. Approval of this development would achieve the desired "clustering" amongst other similar residential and community based facilities.

### Conclusion

12. This report concludes that the proposal complies with the relevant planning policy in the Scheme and particularly with Council's Local Policy at Clause 22.04 - Residential Accommodation, which stipulates the essential criteria for residential accommodation. The proposal has been assessed against the merits of policy and planning scheme requirements and is supported for the reasons outlined in the detailed assessment subject to conditions requiring modest design changes and tree protection measures, and the submission of supporting plans for Council approval.
13. It is recommended that the application be supported, subject to conditions.

### COUNCIL RESOLUTION

**MOVED: CR ANDREW CONLON**  
**SECONDED: CR SOPHY GALBALLY**

**That Council:**

- A. Having considered all objections issue a NOTICE OF DECISION TO GRANT A PERMIT in relation to Planning Application PLN18/0452 at 312-316 Springvale Road, Donvale for the use and development of the land for a retirement village with associated facilities, basement car parking, tree removal including native vegetation, and altered access to a road in a Road Zone, Category 1, subject to the following conditions -**

1. Before the development starts, amended plans drawn to scale and dimensioned, must be submitted via email and approved by the Responsible Authority. When approved, the plans will then form part of the permit. The plans must be generally in accordance with the decision plans prepared by Thomson Adsett Pty Ltd, dated 10 October 2018, but modified to show the following:

*Plan Detail*

- 1.1. Full site contours transposed onto relevant site plans, with the location of all retaining walls and finished surface levels of pathways and modified outdoor spaces;
- 1.2. Scaled and dimensioned balcony measurements demonstrating the minimum areas of Standard B43 of Clause 55.07-9 are generally achieved;
- 1.3. Vegetation retention and removal accurately detailed;

*Layout*

- 1.4. The north-eastern elevation and any associated balconies of the western building module (Apartments LG.01, G.27 and L1.54) modified to achieve a minimum 5 metre setback from the northern boundary, with the third level (Apartment L2.75) to be setback a minimum of 5.5 metres. This could be achieved through internal layout configurations, and should explore the relocation of balconies to face toward the north-east, to the satisfaction of the Responsible Authority;
- 1.5. The deletion of Apartment G.21 and subsequent internal modifications to the satisfaction of the Responsible Authority, or as generally depicted on the discussion plans prepared by Thomson Adsett Pty Ltd, received 23 April 2019, which includes:
  - 1.5.1. Apartment G.20 modified to include two bedrooms with an increased balcony area;
  - 1.5.2. An increase in gym floor area and concealment of the bin room servicing this level to behind the lift core;
  - 1.5.3. The relocation of the service corridor connection to the external bin store and rationalising of the remaining pathway area within the southern setback;

*Screening*

- 1.6. Boundary fencing correctly depicted on elevation (as measured above natural ground level at the Title boundaries). Any trellis additions are to be erected in a sturdy manner and of a feature material/design with not more than 25% transparency;
- 1.7. Further detailing regarding the referenced “privacy screens”, with any window and balcony screening to be clearly identified on elevation and accompanied by updated cross-sections to demonstrate that overlooking is suitably restricted. Any screening mechanisms deemed necessary are to be designed to restrict downward views whilst maintaining clear outward views (i.e. planters or extended lip screens etc.);

***Pedestrian pathways and communal area***

- 1.8. Doorway connections between the lower ground level and central communal open space to be identified on plan, and also provided (in a glazed manner) between the corridors servicing the northern and central building modules;
- 1.9. The pathway within the western boundary setback replaced with terraced garden beds. The garden bed where at the natural ground level is to be increased to approximately 3.5 metres in width, and terraced with a secondary retaining wall to reduce the gradient of batter slopes adjoining the apartment terraces;
- 1.10. Subsequent modifications to the pedestrian pathway and communal open space area the satisfaction of the Responsible Authority, including:
  - 1.10.1. The rationalising of the pathway within the southern setback (generally adjacent to Apartment G.20) to adequately accommodate landscaping in addition to some service access to the rear garden bed;
  - 1.10.2. The creation of a usable communal open space area in the north-west corner of the site (to include facilities such as sheltered bbq/picnic facilities etc.) with a pathway connection to the central open space area and the treatment of any level differences to be appropriately detailed;
  - 1.10.3. The pathway system to include some curvature;
  - 1.10.4. Any modifications to the pathway system to ensure all trees to be retained in vicinity of the pathways are adequately protected, in accordance with the recommendations of the updated Arborist assessment required by Condition 7;
  - 1.10.5. The pathway termination to the north-east of the building modified to provide a stairway connection to the front terrace adjacent to the communal dining area, or other suitable design solution;

***Materials and site services***

- 1.11. Relevant plans detailing any solar panels or roof plant, with the meters/service cabinets upon the southern boundary condensed (or relocated if possible) in preference for planting;
- 1.12. A separate sheet with a full schedule of materials and finishes with colour samples of all external walls, roofs, fascias, window frames, paving (including terraces, balconies, roof terraces, stairs), fencing, privacy screens, roof top plant screens and retaining walls, providing the following changes to the satisfaction of the Responsible Authority:
  - 1.12.1. The grey colouring of Material 1 modified to be of a warmer/earthier colour tone (such as a lighter brown);

- 1.12.2. Timber materials further detailed and to be of a suitably durable material. If a reconstituted product is proposed, specifications of the make, style and colouring must be submitted to demonstrate a high quality appearance, to the satisfaction of the Responsible Authority;
- 1.12.3. Hardstanding within the front setback area and internal pathways to be of a feature material/paver (not plain concrete) and including an alternate driveway finish for the drop-off area;
- 1.12.4. Retaining walls constructed of a durable material such as stone, or blockwork finished in a colour which complements the overall scheme;
- 1.12.5. Detailing of how site services will be screened/finished, so as to reasonably integrate into the overall development, including the design of cabinets where necessary. Where roof plant is proposed above the ridgeline of the main roof, screening is to be of a light colouring;

***General***

- 1.13. The corridor width at the eastern end of the northern building module increased to achieve a minimum door opening of 850mm and deletion of circulation line-markings adjacent to doorways, as relevant;
- 1.14. All surplus car parking allocated to staff and visitors; and

***Other Conditions/Plans***

- 1.15. Any plans and design changes to satisfy VicRoads requirements at Condition 65;
- 1.16. A schedule listing all sustainability features and commitments, including any plan changes as per the Sustainability Management Plan required by Condition 4; and
- 1.17. Any plan changes as per the reports and plans required by Conditions 7, 12, 14 and 25.

**Endorsed Plans**

2. The use and development and approved vegetation removal, including the location of buildings, services, engineering works, fences, retained trees and landscaping as shown on the approved plans must not be altered without the written consent of the Responsible Authority.

**Easements**

3. Prior to the commencement of the development, an approved plan of variation for the removal and creation of Easements on TP874804S must be lodged with the Land Titles Office to the satisfaction Responsible Authority.

#### **Sustainability Management Plan**

- 4. Prior to the endorsement of plans under Condition 1, an amended Sustainability Management Plan (SMP) must be submitted to and approved by the Responsible Authority. When approved the Plan will form part of the permit. The recommendations of the Plan must be incorporated into the design and layout of the development and must be implemented to the satisfaction of the Responsible Authority before the occupation of any dwelling. The plan must be generally in accordance with the report prepared by Waterman Group, dated 30 May 2018, though updated to reflect any conditional changes and the following:**
  - 4.1. Water 1.1 Water Efficient Fixtures: Amend BESS to state commitment to providing dishwashers and washing machines as part fit-out to correspond to basin tap commitment, or amended to default/unrated;**
  - 4.2. Energy 4.2 Renewable energy systems – Solar: Plan detailing to show and notate the proposed 5kW PV system referred to in SMP;**
  - 4.3. IEQ 1.4 Daylight access – Non-residential: Report to include daylight calculations (modelling or hand calculations) to demonstrate predicted performance of non- residential spaces in relation to BESS daylight benchmarks;**
  - 4.4. Waste 2.1 Food & Garden Waste: Plan detailing to show facilities provided for management of food and garden waste; and**
  - 4.5. BESS Assessment: Formally published in the BESS tool, with categories updated as necessary and demonstrating the project meets the BESS minimums.**

#### **Waste Management Plan**

- 5. Prior to the commencement of the development, a Waste Management Plan must be submitted via email and approved to the satisfaction of the Responsible Authority. When approved, the plan will form part of the permit. Private waste collection must occur on site and no private waste contractor bins can be left outside the development boundary at any time on any street. The plan must be generally in accordance with the submitted Waste Management Plan (WMP) prepared by PCL Consulting, dated 3 April 2018, and updated to detail the collection times to occur outside of peak commuter hours affecting the road network, with dwelling/bedrooms numbers updated as necessary.**

#### **Construction Management Plan**

- 6. Not less than three months prior to the commencement of the development, a Construction Management Plan (CMP) must be submitted via email and approved by the Responsible Authority. When approved the plan will form part of the permit. The Construction Management Plan must be prepared in accordance with the template within Council's CMP Guidelines. The CMP must address:**
  - 6.1. Element A1: Public Safety, Amenity and Site Security;**
  - 6.2. Element A2: Operating Hours, Noise and Vibration Controls;**
  - 6.3. Element A3: Air Quality and Dust Management;**



- 6.4. Element A4: Stormwater and Sediment Control and Tree Protection (also as per the specific requirements of this permit);
- 6.5. Element A5: Waste Minimisation and Litter Prevention; and
- 6.6. Element A6: Traffic and Parking Management.

Council's Works Code of Practice and Construction Management Plan Guideline are available on Council's website.

#### Tree Protection Management Plan

7. Prior to the endorsement of plans under Condition 1, an updated Arboricultural Assessment (generally in accordance with the reports prepared by Arboriculture Pty. Ltd. dated January and July 2018) must be submitted to address the following:
  - 7.1. An accurate assessment of the impacts associated with all proposed buildings and earthworks affecting the Tree Protection Zone (TPZ) of any tree to be retained. Specifically, the internal pathway and associated earthworks, and any access variations required to satisfy VicRoads condition 65;
  - 7.2. Any recommendations, including design/layout changes or tree sensitive construction methods, in response to the updated assessment to ensure any permissible encroachments will not compromise the health and stability of any tree to be retained;
  - 7.3. Any maintenance or remedial works required to maximise the health and longevity of all trees to be retained;
  - 7.4. An updated schedule of all trees to be retained, including the specific protection measures relevant to each tree (ie. Arborist supervision, tree sensitive construction, remedial works etc);
  - 7.5. Further recommendations to inform the location of TPZ fencing as shown on the Tree Protection Plan, when accounting for any approved building or works encroachments;

An updated Tree Protection Plan (generally in accordance with the Tree Protection Plan prepared Arboriculture Pty. Ltd. dated July 2018) must also be submitted for approval, but modified to reflect any changes above, and including:

- 7.6. A schedule listing the trees to be retained, including species, TPZ, SRZ, permitted encroachment, and all protection measures (both general and specific to any tree);
- 7.7. Any permitted encroachments into the TPZ's of retained trees to be generally highlighted on plan, with the nominated location for protective fencing updated or annotated to account for such encroachments; and
- 7.8. Notations listing the protection requirements of Conditions 16 to 24.

**Disability Access Management Plan**

8. Prior to the commencement of the development, or the issue of a building permit for the development, whichever is the sooner, a Disability Access Plan that implements the recommendations of a Disability Access Audit, prepared by a suitably qualified person that demonstrates compliance with the relevant Australian Standards for access, including AS1428 Part 2, must be submitted and approved to the satisfaction of the Responsible Authority. When approved, the plan will form part of the permit. The plan must include but is not limited to:
  - 8.1. Vehicular and pedestrian access into the buildings;
  - 8.2. Access to the lifts;
  - 8.3. The provision of tactile indicators;
  - 8.4. The provision of braille indicators for the lifts;
  - 8.5. The use of contrasting paving materials to assist the vision impaired;
  - 8.6. All emergency exits; and
  - 8.7. Car parking areas.

**Car Parking Management Plan**

9. Prior to the commencement of the approved use, a Car Parking Management Plan must be submitted to and approved by the Responsible Authority. When approved, the plan will then form part of the permit. The plan must be generally in accordance with the endorsed plans, and include further details of the ancillary café/wellness centre operations and how their hours, staff numbers etc., will be managed to ensure surplus parking can suitably cater for staffing and minimise conflict with peak visiting times.

**Management Plan Compliance**

10. The Management Plans approved under Conditions 4, 5, 6, 7, 8, and 9 of this permit must be implemented and complied with at all times to the satisfaction of the Responsible Authority, unless with the further written approval of the Responsible Authority.
11. Before the occupancy of the development, a report from the author of the Sustainability Management Plan approved pursuant to this permit, or similar qualified person or company, must be submitted to the Responsible Authority. The report must be to the satisfaction of the Responsible Authority and must confirm that all measures / commitments in the Sustainability Management Plan approved under Condition 4 of this permit have been implemented in accordance with the approved plans and the planning permit.

**Landscape Plan**

- 12. Prior to the endorsement of plans under Condition 1, amended landscaping plans must be submitted to the Responsible Authority for approval. The plans must be generally in accordance with the decision plans prepared by Site Image Landscape Architects, dated October 2018, but modified to show:**
  - 12.1. Detailing of roof planting, including drainage and maintenance;**
  - 12.2. Any changes specified under Condition 1 and Condition 14, in addition to a schedule listing vegetation management recommendations for bushfire protection;**
  - 12.3. An updated tree retention/removal schedule and plan to accurately reflect the Arborist Report and Tree Protection Plan;**
  - 12.4. The trees to be retained in the north-east corner to be depicted as an indigenous remnant patch (generally free from additional landscaping) and completed with understorey grasses. Should the removal of existing native grasses be sought, this must be included in the amended Native Vegetation Report required by Condition 25 and offset accordingly;**
  - 12.5. Pine and cypress species to be concentrated in the following areas:**
    - 12.5.1. In front of the drop-off area within the front setback, though clear of land within the Public Acquisition Overlay;**
    - 12.5.2. Along the northern boundary (other than in the location of the Indigenous patch of trees being retained);**
    - 12.5.3. Along the southern boundary, particularly in the vicinity of the frontage and where opposite the adjoining car park;**
  - 12.6. Canopy trees with the main garden bed adjoining the western boundary to have appropriate regard to the proximity to the adjacent dwellings, and ensure such trees are appropriately placed and selected to consider size, spread, leaf litter etc. Daylight access to both the existing and proposed dwellings is also to be accounted for;**
  - 12.7. The lower terraced garden bed within the western setback to incorporate shrubs approximately 1.5 metres in height to effectively screen the main retaining walls;**
  - 12.8. Replacement planting selections to incorporate the above requirements, and be generally commensurate to a 1:1 replacement planting of the pines removed (requiring a permit) and to incorporate native *Cypress Callitris*; and**
  - 12.9. Surface and paving details to be further detailed, and consistent with overall material schedule.**

**Landscape Bond**

13. Before the release of the approved plan for the development, a \$10,000 cash bond or bank guarantee must be lodged with the Responsible Authority to ensure the completion and maintenance of landscaped areas and such bond or bank guarantee will only be refunded or discharged after a period of 13 weeks from the completion of all works, provided the landscaped areas are being maintained to the satisfaction of the Responsible Authority.

**Bushfire Protection**

14. Prior to the endorsement of plans under Condition 1, the Bushfire Design Assessment (generally in accordance with the report prepared by Terramatrix, dated September 2018) must be updated to include a review of the landscape plan (Section 5 of report) and any recommendations with respect to selections and ongoing vegetation maintenance to manage bushfire risk and hazard.
15. Bushfire protection measures must be implemented commensurate with the low level of risk to the site, which comprises a BAL-12.5 construction, vegetation on the site managed in a low threat state, access for emergency services, and compliance with the National Construction Code/Building Code of Australia requirements for water supply for structural firefighting and development of a Bushfire Emergency Management Plan. This condition continues to have force and effect after the development authorised by this permit has been completed.

**Vegetation protection**

16. All vegetation protection measures must be carried out in accordance with the endorsed Tree Protection Management Plan approved under Condition 7. Prior to the works commencing (including any demolition, excavations, tree removal, delivery of building/construction materials and/or temporary buildings), protective fencing must be erected around all vegetation to be retained in accordance with the approved Plan, with the following prohibited (unless where approved) from occurring within the TPZ of any retained vegetation:
  - 16.1. Vehicular or pedestrian access;
  - 16.2. Trenching or soil excavation/grade changes;
  - 16.3. Storage or dumping of any soils, materials, equipment, vehicles, machinery or waste products;
  - 16.4. Entry and exit pits for underground services; and
  - 16.5. Any other actions or activities that may result in adverse impacts to retained native vegetation.
17. Any damage or disturbance to trees' root zones within the TPZ must be reported to the Responsible Authority. Damaged tree root zones may deem the tree unviable and further approvals and offsets may be required.

18. All construction and maintenance equipment, earth moving equipment and associated machinery must be made free of soil, seed and plant material before being taken to the works site and again before being removed from the works site (to prevent the spread of noxious weeds) to the satisfaction of the Responsible Authority.

19. Prior to the commencement of the development, the owner must arrange with Council's Parks and Recreation Unit for the removal of any street trees and any required replacement. All costs associated with this must be paid to the satisfaction of the Responsible Authority. The removal and replacement of street trees must only be undertaken by Council contractors to ensure quality and safety of work.

#### Vegetation removal

20. No vegetation (including trees, shrubs, grasses and herbs), other than as approved on the endorsed plans, shall be removed, damaged, destroyed, felled, lopped or uprooted unless with the prior written consent of the Responsible Authority.

21. Vegetation removal and the provision of local offsets must be in accordance with the endorsed plans to the satisfaction of the Responsible Authority.

22. Vegetation removal and disposal must not damage vegetation stands to be retained to the satisfaction of the Responsible Authority.

23. Any tree removal or remedial works are to be undertaken by a qualified Arborist to the Australian Standard – Pruning of Amenity Trees AS4373-1996 and to the satisfaction of the Responsible Authority.

24. Within three (3) months of the felling of trees approved under this permit, all fallen trees must be mulched or removed from the site to the satisfaction of the Responsible Authority.

#### Native Vegetation Offset

25. Prior to the endorsement of plans under Condition 1, an Updated Native Vegetation Report is required to delete reference to planted tree Nos. 69, 85, 86, 87 and 98, with the gain of habitat units and strategic score of the offsets calculated and provided accordingly.

26. Within three (3) months of issuing this permit, evidence that the native vegetation offset has been secured must be provided to the satisfaction of the Responsible Authority. The native vegetation offset (as determined by Updated Native Vegetation Report) must meet the following requirements:

- 26.1. Contribute the required amount of gain of general habitat units;
- 26.2. Be located within the Port Phillip or Westernport Catchment; and
- 26.3. Have the required minimum strategic biodiversity score.

27. Prior to the removal of any native vegetation, evidence that the required offset has been secured must be provided to the satisfaction of the responsible authority. This evidence must be in the form of either:

**27.1. A credit extract allocated to the permit from the Native Vegetation Credit Register. A copy of the offset evidence will be endorsed by the Responsible Authority and form part of this permit. Or;**

**27.2. A security agreement, to the required standard, for the offset site or sites, including a 10 year offset management plan.**

**28. Within 30 days of endorsement of the offset evidence by the Responsible Authority, a copy of the endorsed offset evidence must be provided to the Department of Environment, Land, Water and Planning (DELWP).**

**29. In the event that a security agreement is entered into as a condition, the applicant must provide notification to the responsible authority of the management actions undertaken towards the implementation of the offset management plan each anniversary of the security agreement for ten years. An offset site condition statement, including photographs must be included in this notification.**

#### **Stormwater – On-site detention (OSD) and Flooding**

**30. The owner must provide an on-site stormwater detention system to the satisfaction of the Infrastructure Services Department, which limits the Site Discharge to that applicable to the site coverage of 35 percent of hard surface or the pre-existing hard surface if it is greater than 35 percent. The OSD system must meet the following requirements:**

**30.1. Discharge must be designed for a 1 in 5 year storm; and**

**30.2. Storage must be designed for 1 in 100 year storm.**

**31. Prior to the commencement of the development (after the approval of the endorsed plans) a certified construction plan for the system required by Condition 30 of this permit must be submitted to and approved by the Infrastructure Services Department. The system must be maintained by the Owner thereafter in accordance with the approved construction plan to the Responsible Authority.**

**32. A backup source of power must be provided for the pump associated with the approved OSD system, to the satisfaction of the Responsible Authority.**

#### **Drainage**

**33. Prior to the commencement of the development (and in conjunction with the further approvals required by Condition 3), a certified engineering construction plan for drainage diversion works (generally along the alignment of the north-western and part northern boundary, to the existing drainage system within the easement at the rear of 308 Springvale Road) must be submitted to and approved by the Responsible Authority. Drainage must be designed for the 20% Annual Exceedance Probability (AEP) storm), or as required by the Infrastructure Services Department. Before the works commence:**

**33.1. A supervision fee equal to 2.5% of the cost of construction of the drainage works must be paid to the Infrastructure Services Department;**

- 33.2. A plan-checking fee equal to 0.75% of the cost of construction of the drainage works must be paid to the Infrastructure Services Department;
- 33.3. A maintenance deposit equal to 5% of the cost of construction of the drainage works must be lodged with the Infrastructure Services Department and retained thereafter for a minimum of three months; and
- 33.4. A schedule of costs for the construction of drainage works must be submitted to the Infrastructure Services Department, (if applicable).

All diversion works must be constructed in accordance with the approved plan, prior to the commencement of any works permitted under this permit (but not before all further approvals required by Condition 3 are submitted) to the satisfaction of the Responsible Authority.

34. Stormwater must not be discharged from the subject land other than by means of drainage to the legal point of discharge. The drainage system within the development must be designed and constructed to the requirements and satisfaction of the relevant Building Surveyor. A connection to Council maintained assets must not be constructed unless a "Connection to Council Drain" Permit is first obtained from the Responsible Authority.
35. The whole of the land, including landscaped and paved areas must be graded and drained to the satisfaction of the Responsible Authority, to prevent ponding and to minimise overland flows onto adjoining properties.

#### Footpath construction

36. Prior to the commencement of the development, detailed design and construction plans (with supporting longitudinal and cross sections) and associated traffic management plans must be submitted to and approved by the Responsible Authority for the construction of a footpath within the road reserve adjacent to the site, to Council standards. When approved, the plans will then form part of the permit. All works constructed or carried out must be in accordance with the approved plans and completed prior to the completion of the development, being at the full cost of the permit holder. The plans must be drawn to scale with dimensions and two copies provided. Before the footpath works commence:
- 36.1. A supervision fee equal to 2.5% of the cost of construction of the footpath must be paid to the Infrastructure Services Department;
- 36.2. A plan-checking fee equal to 0.75% of the cost of construction of the footpath must be paid to the Infrastructure Services Department; and
- 36.3. A maintenance deposit equal to 5% of the cost of construction of the footpath must be lodged with the Infrastructure Services Department and retained thereafter for a minimum of three months.

#### Completion and Maintenance

37. Before the occupation of the approved buildings, landscaped areas must be fully planted and mulched or grassed generally in accordance with the approved plan and to the satisfaction of the Responsible Authority.

38. Privacy screens and obscure glazing as required in accordance with the approved plans must be installed prior to occupation of the buildings to the satisfaction of the Responsible Authority and maintained thereafter to the satisfaction of the Responsible Authority. The use of obscure film or spray fixed to transparent windows is not considered to be 'obscure glazing' or an appropriate response to screen overlooking.
39. Driveway gradients and transitions as shown on the plan approved under Condition 1 of this permit must be generally achieved through the driveway construction process to the satisfaction of the Responsible Authority
40. Buildings, paved areas, fencing, external lighting, sight screens, drainage and landscaping must be maintained to the satisfaction of the Responsible Authority.
41. An in-ground drip-feed watering system must be installed in the main landscaped areas to the satisfaction of the Responsible Authority

#### **On-site car parking and bicycle parking**

42. The areas set aside for the parking of vehicles, together with the aisles and access lanes as delineated on the endorsed plans must:
  - 42.1. Be completed, line-marked numbered and signposted to provide allocation to each apartment, to the satisfaction of the Responsible Authority prior to the occupation of the development hereby permitted;
  - 42.2. Be used for no other purpose and maintained at all times to the satisfaction of the Responsible Authority; and
  - 42.3. Be drained and sealed with an all-weather seal coat where appropriate.
43. Surplus car parking spaces must be made available for resident visitor and staff vehicle parking free of charge at all times and must not be used for any other purpose to the satisfaction of the Responsible Authority.
44. Automatic basement door opening systems must be installed and maintained, so as to facilitate secure access to the allocated parking areas by residents, visitors and staff, to the satisfaction of the Responsible Authority
45. All bicycle parking must be maintained and not be used for any other purpose, to the satisfaction of the Responsible Authority.

#### **Lighting**

46. The development must be provided with external lighting capable of illuminating access to each car parking space, storage, rubbish bin, recycling bin, pedestrian walkways, stairwells, lift, dwelling entrances and entry foyer. Lighting must be located, directed, shielded and of limited intensity so that no nuisance or loss of amenity is caused to any person within and beyond the site, to the satisfaction of the Responsible Authority.



**General**

- 47. All services, including water, electricity, gas, sewerage and telephone, must be installed underground and located to the satisfaction of the Responsible Authority.**
- 48. All service pipes must be concealed and screened respectively to the satisfaction of the Responsible Authority.**
- 49. Communal lighting must be connected to reticulated mains electricity and be operated by a time switch, movement sensors or a daylight sensor to the satisfaction of the Responsible Authority.**
- 50. A centralised TV antenna must be installed and connections made to each dwelling to the satisfaction of the Responsible Authority.**
- 51. All roof-top plant and services (including any hot water systems, but excluding solar panels) must be installed in appropriately screened areas, unless otherwise agreed in writing with the Responsible Authority.**
- 52. Any air-conditioning unit installed on a balcony or terrace must stand at floor level and be positioned to minimise general visual impacts from off the site, and unless otherwise agreed in writing with the Responsible Authority, no air-conditioning unit may be erected on an external wall to the satisfaction of the Responsible Authority.**
- 53. All building services and metering located in the front setback, including fire services, gas, water and electricity, must be installed in accordance with the approved plans and must be positioned in discrete manner and be screened using landscaping or cabinets etc that integrate with the overall building design to the satisfaction of the Responsible Authority.**
- 54. In the event of excavation or works causing damage to any other existing boundary fence, the permit holder must at their own cost repair or replace the affected fencing to the satisfaction of the Responsible Authority.**
- 55. All retaining walls must be constructed and finished in a professional manner to ensure a neat presentation and longevity to the satisfaction of the Responsible Authority**
- 56. All bins and receptacles must be maintained in a clean and tidy condition and free from offensive odour, to the satisfaction of the Responsible Authority.**

**Use**

- 57. The Independent Living Apartments must be operated and managed in accordance with the *Retirement Villages Act 1986*.**
- 58. The wellness centre must only be used to service the residents of the retirement village, to the satisfaction of the Responsible Authority.**
- 59. The café must primarily be used for the purpose of persons associated with retirement village, to the satisfaction of the Responsible Authority.**

60. The use and development must be managed so that the amenity of the area is not detrimentally affected, to the satisfaction of the Responsible Authority, through the:

- 60.1. Transport of materials, goods or commodities to or from the land;
- 60.2. Storage of goods and wastes;
- 60.3. Appearance of any building, works or materials; and
- 60.4. Emission of noise, light, vibration, odour and dust.

61. The exhaust system of any cooking area must be provided with filter devices capable of minimising the external emission of odours and airborne fat particles to the satisfaction of the Responsible Authority and such filter system must be maintained to the satisfaction of the Responsible Authority.

62. All delivery and collection of goods associated with the ancillary cafe premises must be conducted within the subject land.

63. Any infectious or potentially infectious wastes (as defined by the EPA) associated with the wellness centre must be disposed of in accordance with Environmental Protection Authority (EPA) requirements, to the satisfaction of the Responsible Authority.

#### Construction Management

64. The owner must use appropriate site management practices to prevent the transfer of mud, dust, sand or slurry from the site into drains or onto nearby roads. In the event that a road or drain is affected, the owner must upon direction of the Responsible Authority take the necessary steps to clean the affected portion of road or drain to the satisfaction of the Responsible Authority.

#### VicRoads conditions

65. Prior to the commencement of works, amended plans to the satisfaction of VicRoads must be submitted to the Responsible Authority for endorsement. Once endorsed, the plan(s) will form part of this permit. The amended plans shall show:

- 65.1. The proposed 25m left turn lane modified to maximise storage;
- 65.2. Kerb and Channel matched to existing Kerb and Channel at 318 Springvale Road;
- 65.3. The PAO4;
- 65.4. Internal access arrangement, particularly the layout of set down/ pick up area modified allow future road widening; and
- 65.5. Access gradient to the underground parking from the edge of the road.

66. Vehicles must enter and exit the land in a forward direction at all times.

67. No compensation is payable under part 5 of the Planning and Environment Act 1987 in respect of anything done under this permit.

**68. Prior to the commencement of any roadworks, the applicant must submit the detailed engineering design plans along with detailed design stage road safety audit to VicRoads for review and obtain written approval. The detailed design plans must be prepared generally in accordance with the approved functional layout plan and functional stage road safety audit;**

**69. Prior to the commencement of the use or the occupation of the buildings or works hereby approved, the access crossover and associated works, including service relocation, must be provided and available for use to the satisfaction and at no cost to VicRoads and the Responsible Authority.**

**Public Transport Victoria condition**

**70. The permit holder must take all reasonable steps to ensure that disruption to bus operation along Springvale Road is kept to a minimum during the construction of the development. Foreseen disruptions to bus operations and mitigation measures must be communicated to Public Transport Victoria eight (8) weeks prior by telephoning 1800 800 007 or emailing customerservice@ptv.vic.gov.au.**

**Permit Expiry**

**71. This permit will expire if one of the following circumstances applies:**

**71.1. The development is not started within four (4) years of the date of this permit; and**

**71.2. The development is not completed within eight (8) years of the date of this permit.**

**71.3. The use is not commenced within two (2) years of completion;**

**The Responsible Authority may extend the periods referred to if a request is made in writing by the owner or occupier either before the permit expires or in accordance with Section 69 of the Planning & Environment Act 1987.**

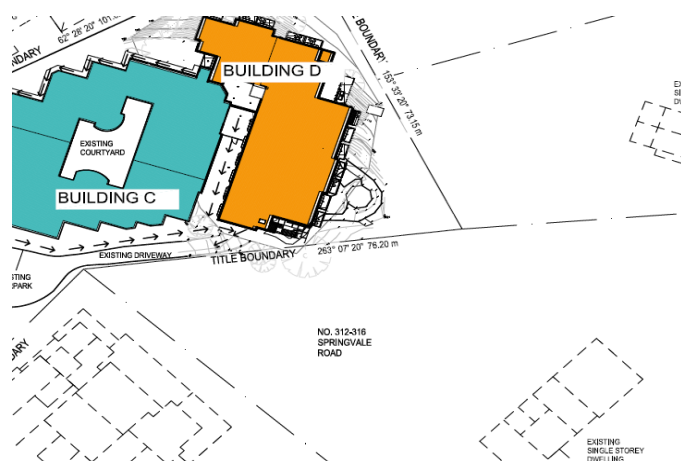
**CARRIED**

**1. BACKGROUND**

1.1 A pre-application request relevant to the current application and design was submitted to Council on 29 May 2017, and presented to the Sustainable Design Taskforce meeting on 27 July 2017. The design evolved to what is currently proposed generally in response to those earlier meetings, resulting in the removal of the additional use for a medical centre, reduced apartment numbers and a lowered built form, particularly toward the northern interface.

1.2 The current application was submitted to Council in July of 2018, and a request for further information was issued on 1 August 2018. Upon submission of further information, the application was amended under Section 50 on 26 October 2018, with plan modifications generally made to increase daylight access to lower level apartments.

- 1.3 Notice of the application was given over a three-week period which concluded on 21 November 2018. Prior to this, the applicant held a voluntary “drop-in” information session on 20 October 2018 to offer the local community an opportunity to view the proposal and ask questions directly of the project team.
- 1.4 The statutory time for considering a planning application is 60 days, which lapsed on 25 December 2018.
- 1.5 Due to complexities surrounding potential flooding impact and the required removal/relocation of easements and associated drainage divergence, the Infrastructure Services Unit required a more extensive referral assessment to consult with the applicant’s engineers. The removal and variation of the easements has not been applied for as part of this application (and will be applied for separately), however, it was imperative to resolve that suitable pipe diversions could be achieved without adverse impact upon current or future drainage conditions, and that the design response addressed the potential for flooding. Thus preliminary engineering plans were called for and reviewed. These matters have now been satisfactorily resolved.
- 1.6 Prior to the lodgement of the current application, Planning Permit PL17/028007 was approved on 29 June 2018 for works associated with the construction of a temporary vehicle access and associated vegetation removal, and alterations to access a road within a Road Zone, Category 1. This proposal sought to create temporary vehicular access for the “Allity” (aged care) site on higher land at 33 Mitcham Road. This access was to serve construction vehicles associated with an approved proposal for a 3 storey addition at the rear of this property (shown as Building D in image below). The crossover location proposed herewith reflects the approved location for this application. This permit will not be acted on as the owner of this adjoining facility has recently decided not to carry out the extensions.



## 2. THE SITE AND SURROUNDS

### The Site

- 2.1 The subject site (known as Lots 1 and 2 on Title Plan 874804S) is situated on the western side of Springvale Road, generally opposite the roads intersection with Eleanor Court, and some 250 metres north of Mitcham Road.

- 2.2 The site is irregularly shaped (10,247sqm total site area) with frontage of 56.4 metres, a northern boundary length of 178 metres, southern boundary length of 104.5 metres, and south-western boundary of 88.2 metres (west for the purpose of this report).
- 2.3 The site contains a single storey dwelling which is centrally located and has outbuildings and an in-ground pool. Vehicular access is via an informal crossing at the southern end of the frontage, opposite the Eleanor Court intersection. The site's landscape is equally characterised by a moderate coverage of well-established trees (some very large), and open grassed areas. Mature Monterey Pines are the predominant species, with these being generally concentrated along the front, south and rear boundaries. Native trees are found in scattered locations, with a "remnant patch" identified in the north-eastern part of the site.
- 2.4 The row of pines extending along the frontage and within the road reserve generally conceals views into the site from Springvale Road.
- 2.5 There are two 1.83 metre wide easements bisecting the land on either side to the existing dwelling, and connecting to two differing points along the northern boundary. The easement to the west of the dwelling contains assets.
- 2.6 Topographically, the land has gentle cross-fall of approximately 6.8 metres from north to south-west.



### The Surrounds

- 2.7 Land surrounding the site is highly varied in character due to its contextual location where two very contrasting Zones meet.

- 2.8 Like the site, the land directly opposite and adjoining the eastern portion of the northern boundary are with the LDRZ and are characterised by larger residential allotments that are 4,000sqm or more in area. These properties are also covered by the SLO6, which acknowledges the “pine and cypress tree theme” that characterises the general landscape. Whilst land to the south is also with the LDRZ, its recent development with a purpose-built childcare centre is not typical of the above-said character, and more akin to typical urban development. To the rear of the site, and also wrapping around to the north is the Residential Growth Zone (RGZ), which is characterised by a mixture of low scale retirement living dwellings and multi-storey aged care facilities. The desired future character for land in the RGZ anticipates apartment style buildings with a more intense built form and density.
- 2.9 Properties fronting Springvale Road have also attracted an influx of alternative uses such as aged care and child care, amongst the otherwise residential properties. This is presumably due to the combined qualities of large site areas, full services availability and their wide, main road frontages.
- 2.10 The direct abuttals as described as follows:

Direction	Address	Description
South	318-320 Springvale Road (LDRZ)	<p>Immediately to the south of the site is a single storey childcare centre approved by Planning Permit PL15/025084, which has 150 places and operates from 6.30 am to 6.30pm. The building is sited toward the rear/western boundary, and is setback 1.1 metres from the subject site, with this space used as a “service area”. The front of the site is characterised by an open bitumen car park providing for 38 spaces servicing the centre. Play areas are located to the rear and front of the building and separated from the site by a recently constructed 2 metre paling fence which is above retained fill.</p> <p>Landscaping associated with the approval is still developing so at present, the building, playground and car park are highly exposed to the street.</p>
South-west	330 Springvale Road (RGZ)	<p>To the south of the child care centre, is the Aveo Pinetree Retirement Village. This is a very large allotment which occupies the entire Mitcham Road and Springvale Road “corner”, and therefore which results is an abuttal with the southern half of the site’s rear boundary.</p> <p>This older complex is characterised by typical “villa style” single-storey brick units, centred around a private internal roadway.</p> <p>There are four semi-detached units with a direct abuttal to the site. Setbacks are between 4 and 10 metres from the common boundary, with each containing their courtyard within this space.</p> <p>There is a 2.0m high divisional fence and approximately 0.5m higher level difference than the site.</p>

West	39-41 Mitcham Road (RGZ)	The northern half of the site's rear boundary is adjoined by TLC -The Heights, which incorporates residential Aged Care accommodation and also a Medical Centre. The building is 3 storeys in scale and setback some 5 metres from the shared boundary. The rear elevation generally contains windows associated with rooms and communal dining areas.
North-west	33-37 Mitcham Road (RGZ)	<p>The western half of the site's northern boundary is adjoined by Allity Aged Care Living, which provides residential Aged Care accommodation in a series of two storey building modules. As previously, indicated a planning permit has been issued to for a three-storey addition to the rear, comprising of 25 additional rooms (total of 105 rooms on site). This permit may not be acted upon.</p> <p>At present, the area in the vicinity of the shared boundary generally comprises an open air car park and associated driveway access. A communal open space area with a gazebo is located to the rear of the car park. The building itself is setback over 8 metres.</p>
North	308 Springvale Road (LDRZ)	<p>The remainder of the northern boundary is adjoined by a large residential allotment developed with two attached single storey dwellings (both on the one Title and as permitted under Planning Permit PL11/022154). Both dwellings are setback over 30 metres from the frontage, with a tennis court located within this setback. The original dwelling is angled, with setbacks of between 5.1 and 15 metres from the shared boundary. Within this setback is the driveway servicing this dwelling, and a number of mature trees which provide for some screening of the dwelling and its south-facing windows, as viewed from the subject site. This dwelling effectively "blocks out" the second dwelling (constructed following the issue of the above-said permit) and has no window outlook facing the site.</p> <p>Beyond to the north at 304 Springvale Road is vacant, though has been issued a past approval to construct a childcare centre and removal of 47 trees. North of this is 296-302 Springvale Road, which contains a 2 storey aged care facility occupied by "Bupa".</p>
North	349 Springvale Road and Eleanor Court (LDRZ)	<p>The dwellings are typically positioned within landscaped gardens, most with tennis courts and/or swimming pools as a usual part of the development.</p> <p>The residential properties addressing Springvale Road almost all have high solid fencing along the frontage with supplementary planting, and therefore dwellings are generally well concealed from street view.</p>

- 2.11 Springvale Road, travelling north of the subject site, has a distinct landscape character created by the linear rows of mature trees on either side of the roadway. Whilst Monterey Pines are prominent, there is also a relatively high contribution made by other exotic and native vegetation. Many allotments have undergone a notable amount of clearing to accommodate dwellings and outbuildings. This, however, is not evident to the streetscape due to an apparent preference to retain a treed environment toward the frontages, arguably to keep vegetation sufficiently clear of dwellings and their usable spaces, and provide a “buffer” from the main road environment.
- 2.12 Springvale Road as viewed looking south of the subject site has an entirely different character, as tree canopy significantly lessens and a more “urban” built form becomes a visible feature in the approach to the Mitcham Road intersection.
- 2.13 Springvale Road is a primary arterial road generally aligned in a north-south direction. In the vicinity of the site, there is one trafficable lane in each direction with no kerbside parking or formal pedestrian pathways. A Public Acquisition Overlay, Schedule 4 affects properties on either side of the road (generally between Mitcham Road and Cat Jump Road), in anticipation of the future widening scheme to provide an additional lane in each direction.
- 2.14 Being adjacent to a Growth Zone, the site benefits from the same level of access to essential services and facilities, including a number of bus routes (including a smart bus) which directly services Springvale Road. In addition to the small strip of shops at the nearby Mitcham Road intersection, Tunstall Square Activity Centre is within a 600 metre distance and offers numerous shopping/food service facilities, along with medical and office uses. The TLC Medical Centre also directly adjoins the rear boundary. Donvale Reserve is within a 300 metre distance, and the Municipality’s Principle and Major Activity Centres are 3.5km and 4.5km away respectively, and both directly accessible via bus routes servicing Springvale Road.

### 3. THE PROPOSAL

- 3.1 It is proposed to use and develop the land for the purpose of a “seniors’ living” retirement village, containing 75 apartments and associated communal facilities.
- 3.2 The proposal is outlined on the plans prepared by Thomas Adsett, Project No. 16.0031, dated 10 October 2018 and a landscape plan prepared by Site Image Landscape Architects, Job No. SM17273, dated October 2018. Refer to Attachment 1.
- 3.3 The following reports were provided in support of the application:
- Town Planning report prepared by PCL Consulting, dated 12 October 2018;
  - Traffic Impact Assessment and addendum prepared by Cardno, dated 24 September 2018;
  - Waste Management Plan prepared PCL Consulting, dated 28 October 2018;
  - Sustainable Management Plan prepared by Waterman Pty. Ltd., dated May 2018;
  - Arboricultural Inspection Report prepared by Arboriculture Pty. Ltd, dated January 2018;
  - Arboricultural Tree Impact Assessment and Tree Protection Plan prepared by Arboriculture Pty. Ltd, dated July 2018;



- Native Vegetation Impact Report prepared by Practical Ecology, dated June 2018;
- Bushfire Development Report prepared by Terramatix, dated September 2018;
- Daylight Assessment Report prepared by Waterman Pty. Ltd. and dated October 2108;
- Stormwater Assessment Report prepared by Murdue Engineering, dated 29 May 2018; and
- Endorsed Site Access Plan (as approved under P117/028007), endorsed 21 March 2018.

**Development summary**

3.4 A summary of the development is provided as follows:

Land Size:	10,247sqm	Minimum wall setback to west (Springvale Road):	24.4m
Site Coverage:	44%	Minimum building setback to north boundary:	8.2m: Northern module 4.6m: Western module
Permeability:	31%	Minimum building setback to south boundary:	9.1m: Northern module 3.5m: Western module
Density	1 per 137m <sup>2</sup>	Minimum building setback to west (rear) boundary:	8.7m: Western module
Maximum Building Height:	10.8m: Central module  7.7m: Northern module  9.3m: western module	Maximum building height restrictions:	LDRZ: Nil  SLO6: Nil – a permit is required for building heights exceeding 8m
Number of retirement living apartments:	75  • 1 bedroom: • 7 • 2 bedrooms: • 47 • 3 bedrooms: • 21	Total car parking spaces:	• 118 (96 required)
		• Residents: • 100 (96 required) • Visitors: • 18 (0 required)	
		Total excess car parking:	• 22 spaces

### Design Layout

- 3.5 The building massing is mainly concentrated in the centre and western portions of the site and comprises three connected building modules that follow the side and rear boundary alignments. The central module provides the primary entrance to the building. A porte cochere in front of the building defines the entry, leading into the reception area and majority of communal facilities. These include a wellness centre for the residents, library, gym, cafe/dining area, bar, lounge, billiards room, and outdoor terrace seating areas. A cinema and cellar are also located at lower levels elsewhere in the building.
- 3.6 Two levels of apartments are located above these ground level facilities, giving this module a three storey scale reaching 10.8 metres in height (being the maximum height of the overall development). The third storey is set deep into the site; over 40 metres away from the frontage, more than 20 metres from the northern boundary and a minimum of 13 metres from the southern boundary. There are 14 apartments arranged in a double-loaded configuration with either a north-westerly or south-easterly aspect.
- 3.7 The northern building module follows the angled alignment of the northern boundary. This module is only two storeys in scale and setback over 8 metres from the northern boundary. It includes nine apartments in a single-loaded layout, all offering living areas and courtyard/balconies with a northerly aspect. A “green roof” is proposed atop of the building.
- 3.8 The western building module follows the angled alignment of the rear boundary, and is the more “robust” module, being set over three to four levels and containing the remaining 52 apartments. The apartments are arranged in a double loaded layout and mainly oriented to the north-eastern or south-western. From an external perspective, this building is only 2-3 storeys in height above the natural ground level, with the fourth storey essentially sunken into the natural ground by way of the earthworks in this general location.
- 3.9 The primary area of outdoor communal open space is located within the central “v” shaped area between the building modules, offering open lawns and recreational space. A pedestrian circuit pathway connects this area to front of the building, with a secondary path extending along the southern and western setbacks.

### Car parking and vehicular access

- 3.10 The existing access point to Springvale Road will be removed, and a new access constructed more centrally along the frontage. The new accessway will provide access to both a circular drop off area in front of the main entrance and to a ramp leading down into the basement car park beneath the building. A left-turn slip lane is proposed along the frontage.
- 3.11 The two levels of basement car parking provide for a total 100 resident spaces and 18 visitor spaces. There are 32 bicycle spaces also incorporated.
- 3.12 The basement is connected to the building modules via adjoining corridor connections and two lift cores.

### Vegetation removal and Landscaping

- 3.13 It is proposed to retain 40 trees on site, comprising a relatively even mix of Monterey Pines, Indigenous Candlebarks and other native/exotic species. These are generally located along the frontage and north-east corner of the site, where there is also a remnant patch of Indigenous grasses.
- 3.14 There are 52 trees to be removed which require planning permission, and a further 61 which can be rightfully cleared. Most are “weeds species” exempt under the SLO6, though there are also 24 Monterey Pines which satisfy the exemptions to provide defensible space under Clause 52.12, due to their close proximity to the retirement villa units to the west.

Trees:	Retained	Removed
Indigenous	13	15
Monterey Pine	13	31
Native/Exotic	14	6
<b>Total:</b>	<b>40</b>	<b>52</b>

Other removal:		
Exempt under bushfire provision (>10m to adjoining dwellings):		24
Exempt under SLO6:		37
<b>Total tree removal not requiring permit:</b>		<b>61</b>

- 3.15 Revegetation is proposed in the form of 84 canopy trees and complimentary understorey planting. Of the replacement trees, 42 are pine or cedar varieties.

### Design detail

- 3.16 The buildings feature a contemporary architectural design, incorporating earthy coloured stonework and timbers upon a grey based colour scheme.
- 3.17 Roof forms are gently pitched, with the main entrance defined by battened pergola style porte cochere. Vertical fanning accents are provided to the projecting balconies. The buildings are highly modulated and consequently have varied setbacks to boundaries, including deep “cut-outs” within the elevations.

## 4. LEGISLATIVE REQUIREMENTS

- 4.1 Refer to Attachment 2.
- 4.2 A permit is required under the following Clauses of the Manningham Planning Scheme:
- Clause 32.03 Low Density Residential Zone:
    - Use of the land for a retirement village
    - Buildings and works associated with a Section 2 (permit required) use
  - Clause 42.03 Schedule 6 to the Significant Landscape Overlay:
    - To construct a building or construct or carry out works
    - The removal of any Victorian native vegetation, or an exotic or Australian native tree with either a trunk circumference of more than 0.35 metres measured at a height of 1.3 metres above natural ground level, or a height of more than 6 metres.

- Clause 45.01 Public Acquisition Overlay for a Category 1 Road:
    - Use of the land for a Section 2 use in the zone
    - To construct a building or construct or carry out works
    - To damage, remove, destroy any vegetation (other than where a listed exemption)
  - Clause 52.17 Native Vegetation:
    - To remove or destroy native vegetation (other than as exempt)
  - Clause 52.29 Land Adjacent to a Road Zone Category 1 or a Public Acquisition Overlay for a Category 1 Road:
    - To create or alter access to a road in a Road Zone, Category 1 and associated POA.
- 4.3 A retirement village is defined in Clause 73.03 of the Scheme as - land used to provide permanent accommodation for retired people or the aged and may include communal recreational or medical facilities for residents of the village

## 5. REFERRALS

### External

- 5.1 Given the proposal involves the alteration of access to Springvale Road, it is a statutory requirement to refer the application to VicRoads as a determining referral authority. They are also the determining authority for the works and vegetation removal proposed within the PAO4.
- 5.2 VicRoads has no objection subject to conditions being included on any permit issued, requiring the provision of a functional layout plan and plan amendments to address the extension of the left-turn lane and modifications to the internal accessway, so as to have regard for future road widenings.
- 5.3 As the proposal involves a residential development comprising 60 or more dwellings, it is a statutory requirement to refer the application to Public Transport Victoria as a determining referral authority.
- 5.4 Public Transport Victoria has no objection subject to a condition on any permit issued requiring the permit holder take all reasonable steps to ensure that disruption to bus operation along Springvale Road is minimised during construction.
- 5.5 DELWP was notified of the application and had no objection, with advice that suggesting the offset requirements be applied in accordance with the *Guidelines for the removal, destruction or lopping of native vegetation 2017*.
- 5.6 Whilst not a statutory authority, the MFB was consulted to ensure that Bushfire Report prepared in response to the sites location within a Bushfire Prone Area had adequately considered the bushfire risk as required by Clause 13.02-1S of the Scheme.
- 5.7 The MFB commented that they would not object to Council determining the application provided the comments in bullet point 6 of subsection 6.1.2 of the Bushfire Report were complied with. It was also noted that there is a distance of approximately 194 metres between the nearest hydrant to the furthest point of the allotment and would expect the implementation of a hydrant system that is compliant with relevant requirements.

- 5.8 **Conditions** to implement the relevant conditional requirements of the determining referrals and recommendations of the MFB will be required.

Internal

- 5.9 The application was referred to a number of Service Units within Council. The following table summarises the responses:

Service Unit	Comments
Infrastructure Services Unit – Drainage	<ul style="list-style-type: none"> <li>No objection subject to conditions for the provision of on-site storm water detention, with storage designed for 1 in100 year storm.</li> </ul>
Infrastructure Services Unit – Vehicle Crossing	<ul style="list-style-type: none"> <li>The proposed vehicle access arrangements from Springvale Road are generally acceptable and will be subject to VicRoad's requirements and final approval.</li> <li>Construction of new footpath required along frontage, with associated design and plans require for approval.</li> </ul>
Infrastructure Services Unit – Access and Driveway	<ul style="list-style-type: none"> <li>Visibility splays must be provided adjacent to the accessway at the site's frontage in accordance with Design Standard 1: Accessways of Clause 52.06-9 Car Parking of the Manningham Planning Scheme.</li> </ul>
Infrastructure Services Unit – Traffic and Car Parking	<ul style="list-style-type: none"> <li>The number of car parking spaces is in excess of statutory requirements and considered satisfactory.</li> <li>The proposed development adds 29 vehicle movements to Springvale Road during the peak hour and 214 daily vehicle movements. The increase in total daily traffic volumes along Springvale Road is considered to have a negligible impact on the operation of Springvale Road and the surrounding road network.</li> </ul>
Infrastructure Services Unit – Car Parking Layout	<ul style="list-style-type: none"> <li>Corrective manoeuvres required for some resident parking bays are acceptable.</li> </ul>
Infrastructure Services Unit – Construction Management	<ul style="list-style-type: none"> <li>No objection subject to a requirement for the provision of a construction management plan.</li> </ul>
Infrastructure Services Unit – Waste	<ul style="list-style-type: none"> <li>No objection subject to conditions for on-site private waste collection and for the provision of an approved waste management plan.</li> </ul>
Infrastructure Services Unit – Easements	<ul style="list-style-type: none"> <li>No objection subject to the construction of diversion drainage works along the alignment of the north-west and part of the northern boundary of the site to the existing drainage system within the easement at the rear of 308 Springvale Road.</li> <li>Drainage shall be designed for the 20% Annual Exceedance Probability (AEP) storm), or as required by the Infrastructure Services Unit in accordance with a certified engineering construction plan approved by the Responsible Authority.</li> <li>Drainage divergence works required prior completion.</li> <li>Prior to the commencement of works, an application to vary easements must be submitted and approved by the Responsible Authority.</li> </ul>

Service Unit	Comments
Infrastructure Services Unit – Flooding	<ul style="list-style-type: none"> <li>• No objection subject to conditions. Large underground detention tanks have been designed to be able to handle the 1% AEP rainstorm events. System relies on pumping water to the water tank near Springvale Road.</li> <li>• Condition required for approval of OSD plans, with storage designed for a 1 in 100 year storm. Such system is to include a backup power source for the event of a power outage during a 1% AEP rainstorm event.</li> <li>• Flooding concerns have been satisfactory addressed.</li> </ul>
Integrated Planning Unit – Sustainability	<ul style="list-style-type: none"> <li>• No objection subject to a conditions. The application almost meets Council’s current expectations for ESD standards for a development of this type, although alterations report and plans required to address: <ul style="list-style-type: none"> <li>• <u>Water 1.1 Water Efficient Fixtures</u> Amend BESS to state commitment to providing dishwashers and washing machines as part fit-out to correspond to basin tap commitment, or amended to default/unrated.</li> <li>• <u>Energy 4.2 Renewable energy systems – Solar</u> Plans required to show and notate the proposed 5kW PV system referred to in SMP.</li> <li>• <u>IEQ 1.4 Daylight access – Non-residential</u> Include daylight calculations (modelling or hand calculations) to demonstrate how non- residential spaces are predicted to perform in relation to daylight benchmarks outlined in BESS. Diagram provided in report is not relevant.</li> <li>• <u>Waste 2.1 Food &amp; Garden Waste</u> Provide further information on plans showing facilities provided for management of food and garden waste.</li> <li>• <u>BESS Assessment</u> Assessment to be formally published in the BESS tool, with categories updated as necessary and demonstrating the project meets the BESS minimums.</li> </ul> </li> </ul>
Environment	<ul style="list-style-type: none"> <li>• No objection to the application subject to conditions.</li> <li>• The development is similar to surrounding facilities, including those that extend north along Springvale Road within the LDRZ.</li> <li>• The removal of 24 pines and Pittosporum shrubs along existing fenceline are exempt of any permit requirements and vegetation offsets, under the bushfire exemptions.</li> <li>• The development is able to provide onsite 1-for-1 replacement of removed (non-exempt) pines as well as the native an indigenous trees proposed for removal.</li> <li>• The Landscape Plan makes sufficient gains with regard to the required replacement plantings to offset the loss of pines, as required under the SLO6.</li> <li>• Most of these plantings will utilise an array of conifer species, though not specifically <i>Pinus radiata</i> as is being removed. This is considered appropriate as the proposed species will be more suitable for this site use.</li> <li>• Of the Indigenous vegetation, Trees 69, 87, 85, 86, and 98 are “planted” and therefore exempt from offsetting under the requirements of Clause 52.17. An updated native Vegetation Removal Report is therefore required.</li> <li>• On-site planting on 16 indigenous canopy trees proposed, however retention of Trees 13, 55, 56 and 88 should be explored.</li> </ul>

Service Unit	Comments
	<ul style="list-style-type: none"> <li>Retaining walls to consider Trees 17, 18 and 118.</li> <li>Landscape plan to ensure that no non-indigenous plantings occur within the north-east corner of the property and remain generally exempt of any landscaping (retained as indigenous remnant patch, complete with indigenous understory grasses), with weed control following seasonal seed-set of native grasses.</li> </ul>
City Parks – Street trees	<ul style="list-style-type: none"> <li>Pine tree removal within the road reserve was generally considered as part of Permit PL17/028007. City Parks had no objection to their removal (being deemed generally poor specimens of introduced weed species) subject to the appropriate payment associated with their removal and replacement.</li> </ul>
Heath	<ul style="list-style-type: none"> <li>No objection. The proposed facility must connect and discharge all plumbing wastes to the available mains sewer.</li> <li>An application to register the facility (kitchen and café etc.) under the Food Act must also be submitted to Council's Health Unit for approval, prior to the fit out of the food preparation areas. A Certificate of Registration must be held by the proprietor of the facility prior to the commencement of trade. (note required)</li> <li>An application to register the beauty salon under the Public Health &amp; Wellbeing Act must also be submitted to Council's Health Unit for approval prior to the fit out occurring. A Certificate of Registration must be held by the proprietor of the salon prior to the commencement of trade. (note required)</li> </ul>

## 6. CONSULTATION / NOTIFICATION

- 6.1 Notice of the application was given over a three-week period, which concluded on 21 November 2018, by sending letters to adjoining and nearby properties and displaying a sign upon the frontage.
- 6.2 Two objections were received from the following properties:
- 308-310 Springvale, Donvale
  - 2 Eleanor Court, Donvale;
- 6.3 The main grounds of the objection are summarised into the following categories:
- Increased traffic associated with the use in addition to the three other facilities (child care and aged care) within a 300m distance;
  - The number of slip lanes, and proximity to the access point of No. 308-310 and associated impacts on access/egress;
  - The removal of the central easement extending into No. 308-310 and flooding/inundation impacts
- 6.4 A response to the grounds of objection will follow.

### Planning Policy Framework

- 6.5 The proposal is supported by the broader high level policy directions, being within the urban growth boundary and in a location highly supported by established infrastructure. The site's proximity to Doncaster and Mitcham Roads supports the concept of the "20 minute neighbourhood" where shopping nodes are as little as 400 metres away. This is further reinforced by its location within the Principal Public Transport Network, and Clause 18.02-2R which seeks to increase the diversity and density of development within the identified network area.
- 6.6 As the site is located within a Bushfire Prone Area, Clause 13.02-1S must be considered. The Bushfire Plan submitted suitably identifies bushfire risk, and the protection measures required to manage such risks to ensure the protection of human life is prioritised. Whist evacuation plans and the maintenance and management of vegetation existing and proposed landscaping is required to reduce risk, the site overall is in a relatively low risk location. Minimum canopy separations (as required in a BMO) are therefore not required, ensuring bushfire protection measures can be implemented without unacceptable biodiversity impacts.
- 6.7 Of most relevance to this application is Clause 21.06 *Low Density* in the MSS and the *Residential Accommodation Policy* at Clause 22.04.
- 6.8 Clause 21.06 seeks to ensure that residential accommodation is appropriately sited and responsive to the significant landscape character of low density areas, recognising that these locations are constrained by land capability, environmental values, both narrow and unsealed roads, lack of kerbs and channels and lack of convenient access to public transport and physical and community infrastructure.
- 6.9 The primary objectives of Clause 22.04 seek to ensure that group accommodation, residential buildings and retirement villages are appropriately located close to activity centres, main roads, community facilities and public transport networks, to optimise convenient access to these services and facilities. Other objectives relate to the appropriate design and scale of developments, and minimising impacts with respect to access and car parking, neighbourhood character and landscape values. This is further informed by a number of pointed policy requirements.
- 6.10 Despite the Low Density zoning of the site, this particular context is quite different to the more typical "remote" low density areas of the Municipality. The site offers a direct connection to an arterial road and has public transport and other community infrastructure virtually at its "doorstep". With exception of its residential abuttal to the north, the site is surrounded by other similar aged/retirement and community based uses. The proposed use in this contextual setting will provide for a "clustering" of like uses, which is both consistent with policy and orderly planning outcomes.
- 6.11 Council's MSS identifies that the greatest change in Manningham's age structure will be the increase in the ageing population. It is projected that by 2036, 28% of its population will be aged 60 years or over. The proposal offers a greater supply of retirement living housing to cater for the anticipated demographics, which is also supportive of the "age in place" concept for residents of the Municipality. It also provides a unique housing choice for people seeking to downsize amongst similar aged people, although amidst a more spacious and attractive environmental setting, which is quite different to what other facilities offer in a typical urban locale.



- 6.12 It is therefore submitted that the use is appropriate in this context, and that the proposal overall has been designed in a manner that is sensitive to the amenity and character of the surrounding low density area and landscape values. The more selected policy requirements of Clause 22.04 *Residential Accommodation* provide tools to assess the appropriateness of retirement village use with respect to *location, design and built form, open space and landscape, car parking and access*, and these aspects are detailed in the assessment to follow.

### Use and Location

- 6.13 Retirement villages are a land use that for the most part are located in residential zones. Whilst not considered a “dwelling”, they provide “independent living” within a dwelling context. By their nature, they usually require a significant parcel of land to successfully provide for both housing and facilities to create a sense of place and community. While the consolidation of lots within the growth zone may provide opportunity for the larger land parcels required, selected sites in the LDRZ are also a reasonable choice, especially when fully serviced and close to public transport. Alternative uses in the LDRZ have historically been supported by Council where the site is appropriately located, as evidenced by the other existing development along Springvale Road.
- 6.14 Whether or not a low density zoned lot will be considered suitable will depend on a number of criteria. In exercising the discretion to issue a permit afforded by the Zone, planning policy at Clause 22.04 *Residential Accommodation* provides strong guidance.
- 6.15 Policy has specific locational criteria for residential accommodation on land within the NRZ and LDRZ. Whilst it does state these are not the preferred locations, the specific criteria indicates that it may be acceptable where considering land that:
- *Has convenient access to an activity centre and community facilities external to the site;*
  - *Is located on a main road or collector road so that the use does not depend on a local road for main vehicular movements; and*
  - *Is on a public transport route and within 400m walking distance to public transport.*
- 6.16 The site meets all of these criteria. Springvale Road is a main arterial road, with increased carriageways intended in its future widening scheme. Tunstall Square Shopping Centre is a Neighbourhood Activity Centre and well serviced with a supermarket and complimentary shops. This is only 600 metres away, or accessible on foot in a 1 kilometre walk. Public transport is directly available by bus routes servicing Springvale Road, connecting the site to other major activity centres and the CBD.
- 6.17 The site also responds favourably to the locational criteria for residential accommodation located in the RGZ and GRZ (as the preferred locations). The frontage well exceeds 15 metres, the land is at suitable grade, and there is access to a sealed road and pedestrian path (noting footpath construction at the front of the property will be conditioned as part of any approval). Vegetation removal is required, though can be offset (and exceeded) with replacement planting.

- 6.18 The general requirements of Clause 21.06 *Low Density Residential* is silent on locational provisions for alternative land uses, though the proposal gives appropriate regard to vegetation, infrastructure provision, topography, waterways, landslip, wildfire, flooding and environmental and landscape significance as required. Land capability is also not of issue as the site has connection to sewer.
- 6.19 It is therefore considered that the site is appropriate for a retirement village use and is generally supported by the locational criteria specified, despite its low density zoning.

#### **Siting, scale, design and built form**

- 6.20 The locational criteria considerations of Clause 22.04 must be balanced with the importance of respecting the much valued landscape of Manningham's low density residential areas. The built form and site layout must therefore carefully respond to the low density character of the area and site attributes. This is enforced by the key objectives of the SLO6, which seek to minimise the visual impact of development, and ensure development is in keeping with the area.
- 6.21 A multi-level building is not what is typically anticipated in the LDRZ, where the character is more commonly defined by larger one to two-storey homes amongst landscaped settings. As described above, the site is somewhat different, forming a gateway between its low density setting to the north and east, non-residential use to the south and growth zoning to its north-west and west. Due to this and the extremely large site area, it provides opportunity to develop the land in a manner which balances and reflects these contrasting characters.
- 6.22 In a more general assessment, it can be said that the proposal has executed this balanced approach quite well, employing differing built form attributes to each of the three building modules, relevant to their interface. The 44% site coverage is inevitably higher than typically expected, though is reasonably offset by its centralised footprint and high concentration of space available for landscaping within the building setbacks. This is particularly reflective of the low density character with respect to building siting and vegetation coverage.
- 6.23 ResCode is not applicable to development into the LDRZ, however the SLO6 provides guidance with respect to height and setbacks by virtue of its permit triggers for dwellings which are more than 8 metres in height, or located less than 10 metres from a frontage or 5 metres from other boundaries. In addition, policy at Clause 22.04 requires side and rear setbacks that are generally reflective of those prescribed by ResCode, and building heights of up to 10 metres where no maximum heights are specified under another control. The following assessment is made with respect to each interface.

#### *East (Springvale Road)*

- 6.24 To Springvale Road, the building is setback a minimum of 23.5 metres which well exceeds the expected setbacks under both the SLO6 and Clause 22.04, and is consistent with the siting patterns along the western side of Springvale Road. The central building module does include a third storey element which reaches a height 10.8 metres, however, this element is recessed well behind the main two-storey façade and over 35 metres from the frontage. The appearance of the third storey is also disguised quite well through design elements and parapet projections. What is important to acknowledge is that the retention of significant trees and supplementary planting along the frontage will ensure vegetation continues to dominate the street presentation, in place of built form. The overall

building height is also well beneath the prevailing canopy height of the retained trees, (which is the relevant “height” consideration in the decision guidelines of the SLO6) and suggestive that a development of this scale can still be considered “in keeping” with the character of the area.



#### *North*

- 6.25 The residential abuttal to the north has been sensitively treated through the stepping of the northern building module to a two-storey scale which is less than 8 metres in height. A building of this height is not dissimilar to the scale of housing in the surrounds and is afforded setbacks of more than 8 metres which will ensure that tree retention and further planting will in time screen direct views of the building.
- 6.26 The western building module is the more “robust” building in terms of overall height and scale. The three bedroom apartments at the northern-most end of this module (LG.01, G.27, L1.54 and L2.75) provide a replicated 4.5 metre setback to the northern boundary from their living rooms, and only a 2.9 metres setback from their projecting balconies. Whilst this element technically adjoins the communal area associated with No. 33 Mitcham Road (in the RGZ), it will be distantly visible to the rear yards of the two dwellings at No. 308 Springvale Road also. The proposed setback and treatment of this elevation is not considered appropriate in either context, and therefore a **condition** will require that these living rooms and balconies provide a minimum 5 metre setback from the northern boundary.
- 6.27 The 5 metre setback nominated is consistent with the minimum side setbacks recommended under the SLO6 to ensure the buildings and balconies can be sufficiently screened through the development of new boundary landscaping. Apartment 2.75 at the third storey will require a greater setback to address the sheer verticality of this elevation. The *design and built form* policy requirements of Clause 22.04 specify side and rear setback requirements which mirror those of Standard B17 of Clause 55.04-1. The first two levels well exceed the required figures, however the third storey would require a 5.5 metre setback, which will be required via **condition**. This distance will also achieve the desired level of articulation. A simple reconfiguration of the affected apartments could reasonably be satisfy these requirements. The exploration of relocating the balconies to the north-west of these dwellings will also be suggested to re-orient outlooks toward the communal garden adjoining and facilitate further “cut-outs” from the elevation.

*South and west*

- 6.28 There is little concern with the built form treatment as presented to the childcare centre to the south. Whilst within the LDRZ, its development with a non-residential use has left the site with little landscape significance or sensitivities. The interface with the site characterised by the side of building, open car park and play spaces with high shade sail coverage. That aside, any aspects of visual dominance or loss of amenity is avoided through the large boundary setbacks of the central module. The western building module does propose a minimum setback of 3.47 metres from the southern boundary. Whilst less than the recommended 5 metres under the SLO6, it does exceed the expected setbacks of Standard B17 and can be justified in this location, which is generally adjacent to the 1 metre wide service yard area between the childcare building and shared boundary. There will be some views to the building from the rear play space, although will not be affected by shadowing and can be softened through boundary planting.
- 6.29 As viewed from the two adjoining developments to the rear, the western module will effectively appear as a two storey building (less than 8 metres in height) with setbacks 8 metres or more (or 6.6 metres to balconies). This will have little consequence to multi-storey TCL aged care aged facility partly adjoining the rear boundary, resulting in a “like-for like” outcome in terms of building heights and setbacks. The more sensitive outlook is from the four single storey retirement living villa units and courtyards also adjoining the rear boundary. The visible upper level elevation has been well treated to provide a highly modulated form, incorporating a series of recesses along the length of the building, in addition to material variations.
- 6.30 Whilst there will be an apparent change from the current “treed” character created by the dense Monterey Pine tree row along this boundary, it is not an unreasonable outlook for land which is within the growth zoning (which would not usually adjoin land in the LDRZ). Re-vegetation with more appropriate species provides opportunity to soften this elevation and provide a visual screen between the two properties.
- 6.31 It is therefore considered that in comparison to the adjoining land uses and building scales, the development compares favourably in terms of its siting, massing, setbacks and heights and achieves an appropriate built form response to accommodate the proposed use.

**Vegetation removal and landscaping**

- 6.32 The development seeks to retain vegetation where possible, having regard to the relative quality of the vegetation and its contributing value to the landscape character of the area.
- 6.33 It is proposed retain and protect 40 trees. Of these, 13 are Monterey Pines, 13 Indigenous Candlebarks, and the remaining 14 are a mixture of native and exotic varieties. Under the two determining considerations of the SLO6 and Clause 52.17, a planning permit is required to remove 15 Indigenous trees, 31 Monterey Pines, 6 exotic species.

- 6.34 A further 61 additional species (some being multi-stemmed weed clusters) will also be cleared from the site, however none of which requires planning permission. This includes the removal of 24 Monterey Pines, which are by exempt by virtue of the bushfire exemptions applicable to trees within a 10 metre distance of habitable buildings. The remaining trees are exempt due to being nominated “weed species” under the SLO6, or juvenile in height and/or trunk circumference.
- 6.35 There is some discretion between the trees nominated for retention and removal as indicated in Tables 2 and 3 of the supporting Arborist report, and as shown the plans and schedules submitted as part of the Landscape Plan. This is assumed to be an oversight (particularly with the omission of Trees 3, 10, 12, 15, 42, 43, 44, 45, 57, 58 and 68 from the retention schedule) and will require corrections via **conditions**.

*SLO6 considerations*

- 6.36 The largest loss of Monterey Pine trees will occur along the southern boundary and western boundaries. Whilst those aligning the western boundary (and the removal of other exempt species) cannot “technically” be considered for the purpose of offsetting, regards still needs to be given to the overall loss from the development in totality.
- 6.37 A key objective of the SLO6 seeks to protect the pine and cypress tree theme that characterises the area, however this needs to be balanced with the quality of the trees and the impact of their removal upon the landscape. The majority of the pine trees were assessed as having poor structure, and/or poor health. This was observed on-site, with many leaning and others clearly in decline. The childcare centre development appears to have impacted most pines along the southern boundary through soil disturbance in proximity, in addition to past canopy reductions which have created biased canopy leans toward the north. Similarly, the majority of “exempt” pines along the western boundary display alike characteristic in their overall form and health.
- 6.38 The location of these pines deeper into the site means that their removal will be less apparent from the key public realm of Springvale Road. Whilst their loss will change the landscape character as viewed from the direct abutments, these properties are “urban” in nature and do not share the same landscape setting. And when accounting for the proximity of the childrens’ play areas to the south and villa units to the west, advocating for their retention would not seem appropriate, as trees of this size are not usually expected or preferred where amidst a built up area. The applicant has also submitted that the residents of the adjoining retirement living units have made numerous requests for tree removal due to the dangers and risks associated with their proximity and high volumes of falling pine needles.
- 6.39 The proposed retention of the 13 pine trees along the frontage is an appropriate response to maintain their current contribution to the streetscape, where the pine theme character is strongest. This is also reflective of the surrounding landscape pattern, which tends to concentrate most tree coverage toward the street where suitably removed from buildings and habitable spaces. The Arborist report nominates these trees as fair in health and structure, though further review is suggested to ensure that remedial works be explored to recover any noted defects and improve their overall form.

- 6.40 The proposed clearing required to accommodate the access point (as already approved under PL17/02007) and the removal of some additional pines deeper into the site will result in a less continuous span of vegetation along the frontage to what currently exists, however the “glimpses” of built form thus created will not be out of place in context of the childcare centre to the south which is highly exposed to the street. The density of vegetation within the frontage will also increase with time, as fresh landscaping matures.
- 6.41 A **condition** will require that replacement pine species be concentrated forward of the driveway (though generally outside of the PAO4), and in selected sections along the side boundaries, so that they visibly enhance the landscape character as seen from the streetscape. Council’s Environmental Officer encourages an alternate species in place of the Monterey Pines, including *Cypress Callitris* which are native to Australia.
- 6.42 Whilst the SLO6 does not impose offsets for other native vegetation, indigenous losses will be exceeded in the replanning of Eucalypts. These will complement the “patch” of native vegetation and remnant grasses within the north-east corner of the site. The internal pedestrian pathway may require some modifications to ensure no adverse impacts will occur to any tree being retained, which will be informed by the **conditional** requirement for an updated Arborist report and recommendation.
- 6.43 The selected tree retention is therefore considered an appropriate response to the objectives of the SLO6. The generous building setbacks will ensure that an equal canopy tree contribution can be made along the side and rear boundaries, with **conditions** to impose that the replacement species be carefully selected and positioned to respond to each particular interface. This is especially important to the west, where the selection must account for the proximity of the adjoining villa units and their associated open spaces.

*Native vegetation considerations under Clause 52.17*

- 6.44 It is acknowledged that there will be some loss to habitat value of the site through the removal of 15 indigenous trees. The objectives and decision guidelines seek to promote the retention and establishment of vegetation, and *avoid, minimise and offset* the removal of Victorian Native Vegetation to maintain trees characters. The application has sought to avoid removal (where possible) and appropriately offset what loss will occur.
- 6.45 The requirement to “avoid” loss was explored by the applicant in addressing the preferred retention of additional indigenous trees, particularly Trees 55 and 56. . It was ultimately not possible due to the restrictions associated with VicRoad’s preferred location for access, together with the need to achieve the necessary gradients into the basement. The requirement to “minimise” loss is achieved by only removing indigenous trees that are directly within the footprint of the proposed building and driveway, and through protection of the remnant “patch” that includes an equal value of 11 indigenous trees being retained and protected.
- 6.46 A **condition** will require restrictions to new plantings in its location, in addition general protection measures for all vegetation to be retained. The tree loss will be appropriately “offset” through Clause 52.17 and the over-the-counter offset credit to be obtained by DELWP, and also at a local level through replacement planting. The offset credit will need to be recalculated with an amended Native Vegetation Removal Report to remove reference to five of the included trees,

which were observed by Council's Environmental Officer as being "planted" and therefore exempt.

- 6.47 A specific **condition** will require that an updated Bushfire Design Assessment be prepared to include a review of the landscape plan, including plant selections and any recommended vegetation maintenance to manage bushfire risk and hazard. The assessor has already provided preliminary comment to this affect.

#### *Earthworks*

- 6.48 Another landscape aspect relates to the earthworks proposed and how they respond to the objectives of the SLO6 in particular. Aside from excavation required to accommodate the basement, the excavated area will extend out to encompass the footprint of the western building module. The depth of earthworks averages at 3 metres at this point, and lessens considerably in the approach toward the central and northern buildings.
- 6.49 Retaining walls will support the works, and are generally inset from the property boundaries. This in turn allows landscaping to be planted "at grade" where it has the soil volumes to properly establish and reach its viable height. Improvements to some garden bed widths and setbacks are recommended, in addition to a terraced approach along the rear boundary, as detailed further below.
- 6.50 The concentration of earthworks toward the rear of the site is an acceptable design response and is not resulting in any further impact to vegetation beyond what is lost by the building footprints. The objectives of the SLO6 seek to "*minimise visual impact of earthworks upon the landscape*" and this is achieved given they will not be visible external to the site, and be will treated appropriately internally with some minor variations.

#### **Amenity**

##### *External*

- 6.51 The design and built form requirements of Clause 22.04 require consideration be given to existing residential amenity with respect to overlooking, overshadowing and visual bulk. The section above addresses matters relating to building bulk and recommends changes to the northern elevation of the western building module.
- 6.52 With respect to overshadowing, the shadow diagrams prepared for the September Equinox indicate that shadows cast will not extend beyond the fence shadows or cause a loss of sunlight to the adjoining properties during the control period. The existing retirement village units adjoining the rear boundary will receive a significantly improved level sunlight through the removal of the large pine trees along this interface.
- 6.53 The elevations indicate that screening will be applied to balconies as necessary, though plans do not clearly distinguish where screening is proposed. Frosted glazing to a 1.2 metre height is shown to upper level balconies facing north or west to prevent downward views from adjacent living rooms, in addition to trellis additions to boundary fencing. ResCode is not applied to retirement village uses, however a **condition** will require that that any screening be clearly identified on plans and demonstrate that overlooking to the north and west is reasonably limited to the satisfaction of the Responsible Authority.

- 6.54 It will also be required that any screening measures ensure that residents are afforded with an outlook for a higher quality amenity, whilst preventing downward views into sensitive spaces. Through conditions, the elevations will also be required to accurately demonstrate the boundary fencing and trellis additions above the natural ground level, with such trellis to be not more than 25% transparent to have reasonable effectiveness.

*Internal*

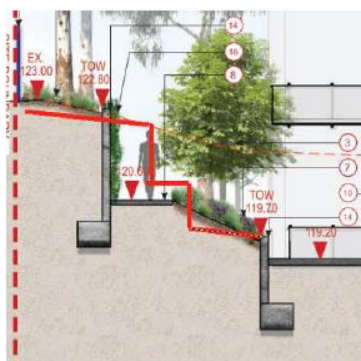
- 6.55 Clause 55.07 and the Better Design Guidelines (although not applicable) provide a useful tool to measure the level of internal amenity afforded to future residents, particularly with respect to functional layout and open space. The apartments overall are well dimensioned, many also having multiple aspect rooms which is a positive attribute for this style of housing. All have generous living rooms areas and dimensions and good sized main bedrooms. However, the third bedroom of the three-bedroom apartments are smaller than the minimum recommendations. In considering the land use at hand and specific demographic of retired people or the aged (as defined by the Scheme), it is considered unreasonable to require these third bedrooms to be enlarged, given they are likely to be used as guest rooms or studies.
- 6.56 The one bedroom dwellings at the southern end of the western building module have the back wall of their kitchens slightly further than 9 metres from a single-aspect slight source, however daylight access will still be reasonable. These are the smaller, more affordable apartments within the complex, and will receive some easterly sunlight. The two apartments at the ground level, however will not have the benefit of a raised balcony, with G.20 also unseasonably close to the external bin room offering a poor level of amenity overall. A **condition** will require that this apartment be deleted. As per the sketch plan provided by the applicant, G.21 can be increased to have two-bedrooms with a dual aspect living space to improve daylight. It also facilities an increased gym size for residents and a more suitable service connection to the bin area (and additional one car space surplus).
- 6.57 The lower ground apartments facing south-west (in the western building module) are excavated deeply into the ground. Whilst below-ground apartments are not generally encouraged, these apartments do have the benefit of being located approximately 8 metres away for the rear boundary. Accordingly there is sufficient space between the boundary fencing and the primary living areas to support appropriate terracing and for clear access to daylight. This has been supported in the submitted daylight assessment report. The dwellings also have very wide terraces with multiple windows adjoining, which again ensures reasonable amenity.

*Communal areas*

- 6.58 The communal areas offer residents the convenience of complementary facilities that are directly accessibly from within the complex, including health and recreational services aimed at supporting the lifestyle needs of its residents. Whilst these are ancillary to the primary use, the facilities such as the café could be utilised by visitors or nearby residents. The wellness centre offers the residents immediate access to medical based services.



- 6.59 Some modifications are recommended to improve the functionality of the communal open space, with the first being the removal of the walking path from the rear setback. The pathway's design/location lack intrinsic appeal being cramped by fencing and wall construction and basically ending in a remote corner location. The path is unlikely to be used to any great extent and would appear to compromise the privacy of the adjoining lower ground apartments.
- 6.60 A **condition** will require it be deleted, which will also facilitate a widened landscape buffer at grade to the rear boundary to better accommodate canopy tree root establishment and improve the amenity of adjacent dwellings. A secondary terraced garden bed can adjoin the open spaces areas to remove any battering, and provide low shrubbery to conceal the main retaining wall, generally as pictured below.



- 6.61 Other **conditional** changes will require a usable communal area to be provided in the north-west corner (and include shelters, bbq/picnic facilities etc.) with direct connection made to the central area. Additional facilities are to be further detailed on the landscape plan. Some curvature in the paths alignment and the adequate protection of retained trees adjoining is also required. To improve the connectivity of the path, it is recommended that the path be connected to the front terrace area adjoining the communal dining space.
- 6.62 Overall, it is submitted that the proposal's good level of design, together with the implementation of the above modifications will ensure a high level of internal and external amenity is achieved.

#### Traffic, car parking and access

- 6.63 Pursuant to Clause 52.06-5, car parking for a retirement village is calculated at the rate usually applied to dwellings. The 75 dwellings (54 x 1 to 2 bedrooms and 21 x 3 bedrooms) require 96 car spaces. Due to the site's location within the Principal Public Transport Network (PPTN), no visitor car parking is required.
- 6.64 The on-site parking provision of 118 spaces well exceeds the required rate, with 100 spaces allocated to residents and 18 to visitors. The 12 tandem spaces would be allocated to the three bedroom apartments which is a reasonable approach. The circular driveway offers a convenient standing area for pick-up and drop-off vehicles, or other short-term deliveries or stays.
- 6.65 The ancillary nature of the café and wellness centre consulting suites does not require a separate allocated parking rate, particularly given they will only service on-site residents. Not being an assisted living facility, 13 staff are anticipated (generally for the wellness centre and cafe), with the 18 excess spaces nominated for visitor parking able to accommodate the staff parking on a shared basis, given peak demands would generally occur at differing times.

- 6.66 To ensure car parking demands are appropriately managed, a **condition** will require a car parking management plan to satisfactorily demonstrate that these uses be managed in a manner that will reduce conflict between staff and visitor peak periods, and that all excess on-site car parking be allocated to this purpose. The restriction for the wellness centre to be for the purpose of the residents of this facility will also be imposed to ensure it does not operate as an “independent” medical centre with separate parking demand. The café/dining room is anticipated to largely cater for the residents and their visitors (given its remote setting with no street exposure), and therefore a general condition will require that it operate in this manner, the satisfaction of the Responsible Authority.
- 6.67 The centrally located access eliminates any potential conflict points, such as the Eleanor Court intersection and child care centre access to the south, and will be supported by a proposed slip lane to reduce the impact of left-turning vehicles accessing the subject site. The **conditional** requirements of VicRoads include amendments to for a slip lane, and modifications to the alignment of the internal accessway, particularly for the “left-turn” toward the porte cochere, to account for future road widening and swept paths. Officers are now satisfied that the changes needed to achieve this will have little impact upon the overall development layout, as potential design options have since explored and “in principal” agreement from VicRoads obtained.
- 6.68 The submitted traffic report concludes that the peak traffic generation for independent living retirement villages occurs on weekdays between 10am and 11am and at weekends. Peak commuter periods of the adjacent road network were nominated as between 7.00am-9.30am and 3.30pm-6.30pm weekdays. During the peak periods, the development is estimated to add a total of 29 vehicle movements to or from Springvale Road (with 21 movements inbound at AM peak and 21 outbound at the PM peak). The majority of these movements are expected to be generated by staff.
- 6.69 A lower traffic generation can be reasonably expected for a retirement village use. As its residents are generally of a “retired” age, the need to commute during the peak traffic periods would be significantly less than what they might otherwise be for a residential development. The resident peak is anticipated at 10am-11am (and generally throughout other times of the day), when traffic volumes along Springvale Road would be considerably lighter. Whilst there are up to 13 staff expected to service the ancillary uses, arrivals and departures are likely to be staggered to accord with differing start and finishing times, and would be much less than the traffic volumes generated by an aged care facility and their associated staff rostering requirements.
- 6.70 Council’s Infrastructure Services Unit has raised no concern in relation to the expected traffic generated by the proposed development as indicated in the submitted report. Overall, the proposed use and development will not generate any unreasonable traffic congestion within the surrounding street network.
- 6.71 Bicycle parking requirements exceed the statutory requirements for 16 spaces.
- 6.72 Waste collection (and loading facilities) will be catered for via the allocated bay adjacent to the circular driveway in vicinity of the southern boundary. The method/frequency of collection and associated hours will be controlled by a Waste Management Plan.
- 6.73 An assessment against the car parking design standards in Clause 52.06-9 is provided in the table below:

Design Standard	Assessment
1 – Accessways	<ul style="list-style-type: none"> <li>The accessways to the basement car parks meet the minimum width and height clearance requirements.</li> <li>Minimum passing areas are provided within the site frontage.</li> <li>All vehicles are able to exit the site in a forward direction.</li> <li>Adequate visibility splays are provided along the exit lane of the driveway.</li> </ul>
2 – Car parking spaces	<ul style="list-style-type: none"> <li>Car parking spaces are provided in accordance with the dimensions and clearance areas required.</li> </ul>
3 – Gradients	<ul style="list-style-type: none"> <li>Driveway gradients are compliant with the standard, though a further longitudinal section is required between the roadway and entry to satisfy VicRoad's requirements.</li> </ul>
4 – Mechanical parking	<ul style="list-style-type: none"> <li>No mechanical parking is proposed.</li> </ul>
5 – Urban design	<ul style="list-style-type: none"> <li>The main accessway areas do not dominate the streetscape, with a <b>condition</b> to require pavement colouring to incorporate a feature pattern (other than plain concrete) in a darker colour shade to better blend into the landscape.</li> <li>The development limits the projection of basement areas above natural ground level.</li> </ul>
6 – Safety	<ul style="list-style-type: none"> <li>The car parking areas are secured by gates.</li> <li>Pedestrian access is clearly separated from the roadways.</li> </ul>
7 – Landscaping	<ul style="list-style-type: none"> <li>Landscaping is well-placed within the frontage to largely screen views of the accessway areas.</li> </ul>

### Objector concerns

6.74 A response to the grounds of objection is provided as follows:

#### Traffic impacts

6.75 Issues raised relate to the additional traffic created by the use (in addition to other similar uses along Springvale Road), and the more direct impacts of the left-turn lane and access location upon the property adjoining to the north.

6.76 The potential traffic impacts have been assessed by the applicant's traffic consultant and Council's Infrastructure Services Unit. Both concluded that the traffic associated with the proposal can be accommodated within the immediate road network without creating any adverse traffic safety or capacity issues, as discussed in further detail above.

6.77 The accessway has been designed to enable safe ingress and egress of vehicles, as specifically determined by VicRoads as the road authority. The proximity to the property to the north is not expected to create access issues for the adjoining residents, given the creation of a left-turn slip lane to remove traffic from the main carriageway. The traffic report determined that the majority of peak movements are likely to be heading from or toward the freeway connection to the south.

- 6.78 Springvale Road is an arterial road with the current capacity to accommodate the additional vehicle movements associated with the development without compromise to its functioning, noting its capacity will be further increased upon its widening.

#### Drainage

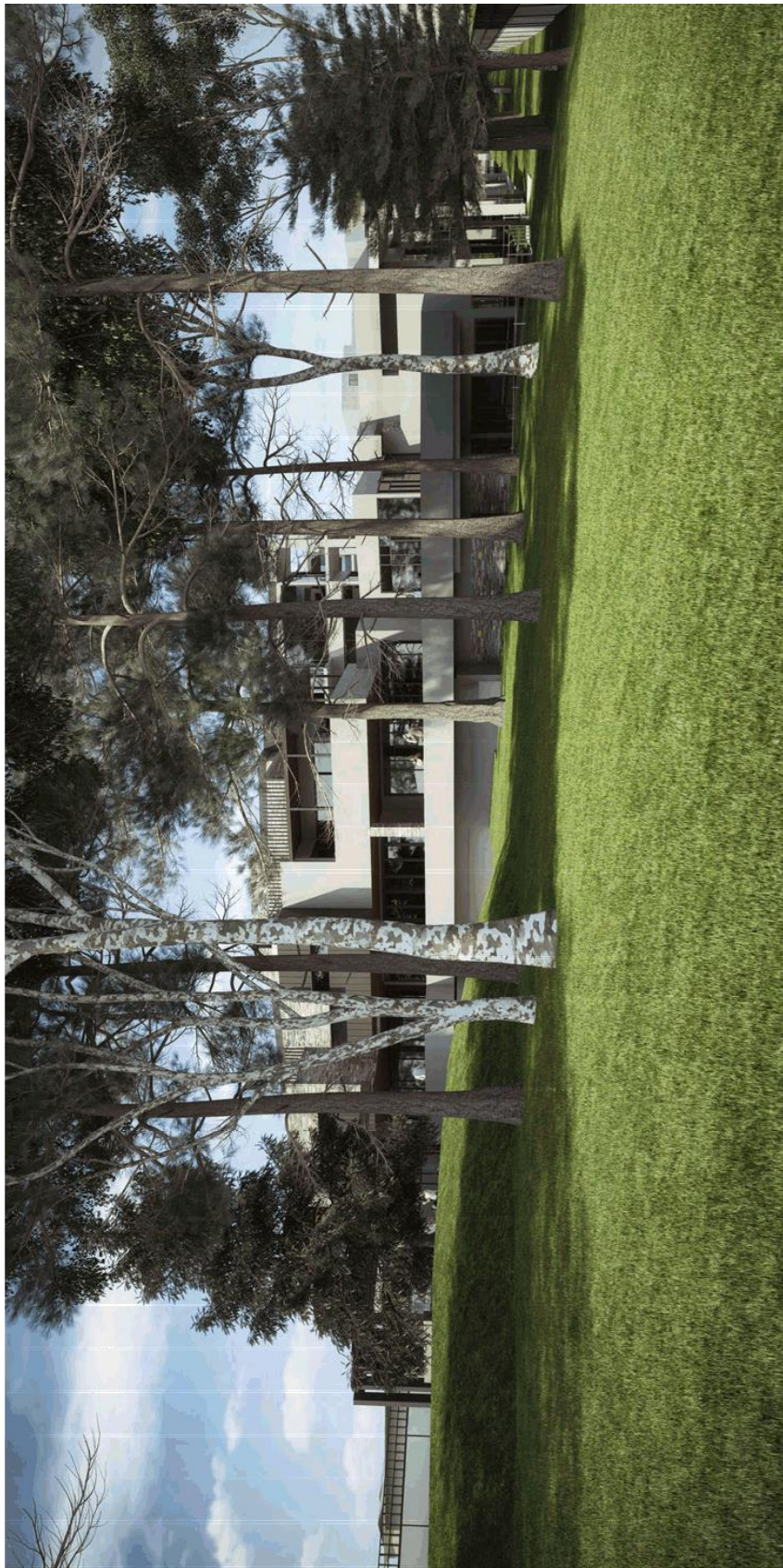
- 6.79 There are two easements which will require removal and variation to accommodate the building footprint. Concerns related to the central easement intended for removal which currently continues into the property to the north.
- 6.80 The applicant has been in consultation with Council's Infrastructure Services Unit to demonstrate how the proposed on-site systems and re-divergence works can satisfactorily manage stormwater and drainage requirements.
- 6.81 Council's Engineers have determined that there is ability to retain stormwater and drainage works which ensure that the property to the south is not impacted as a result of the development. New drainage is planned to extend around the perimeter or the side/rear boundaries, before reconnecting to No. 308. Subsequent application to vary the affected easements will be required.
- 6.82 The C109 flooding risks identified on the site was largely remediated following the similar drainage re-divergence that occurred for childcare centre development to the south, however plans submitted to date indicate that the underground detention system will have capacity to manage store the 1% AEP rainstorm event, and will require alternative power sources to back up the included pumps for the event of a power outage.
- 6.83 Further specifications and plans will be required to support a final drainage design and on-site detention.

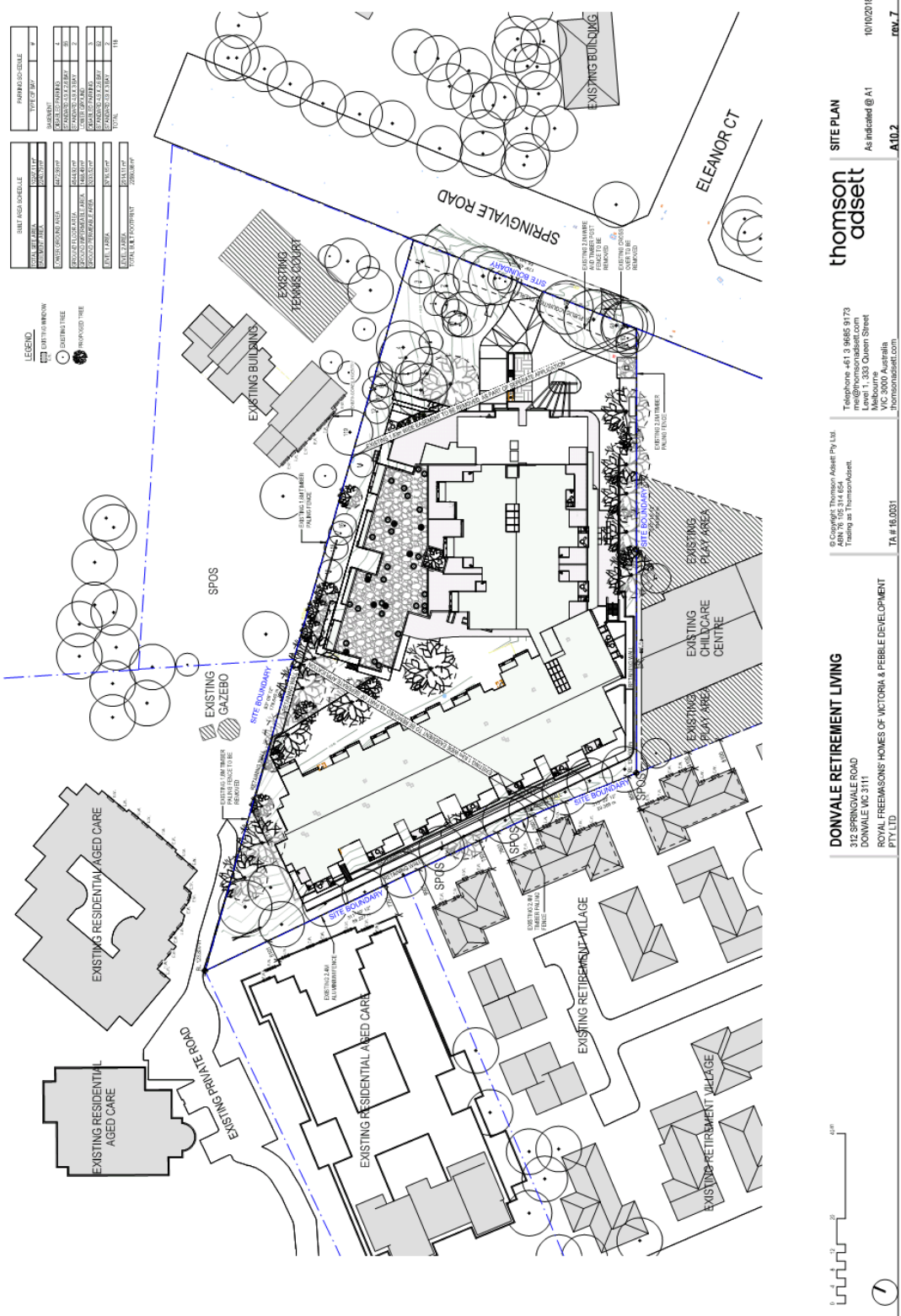
## **7. DECLARATION OF CONFLICT OF INTEREST**

- 7.1 No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.

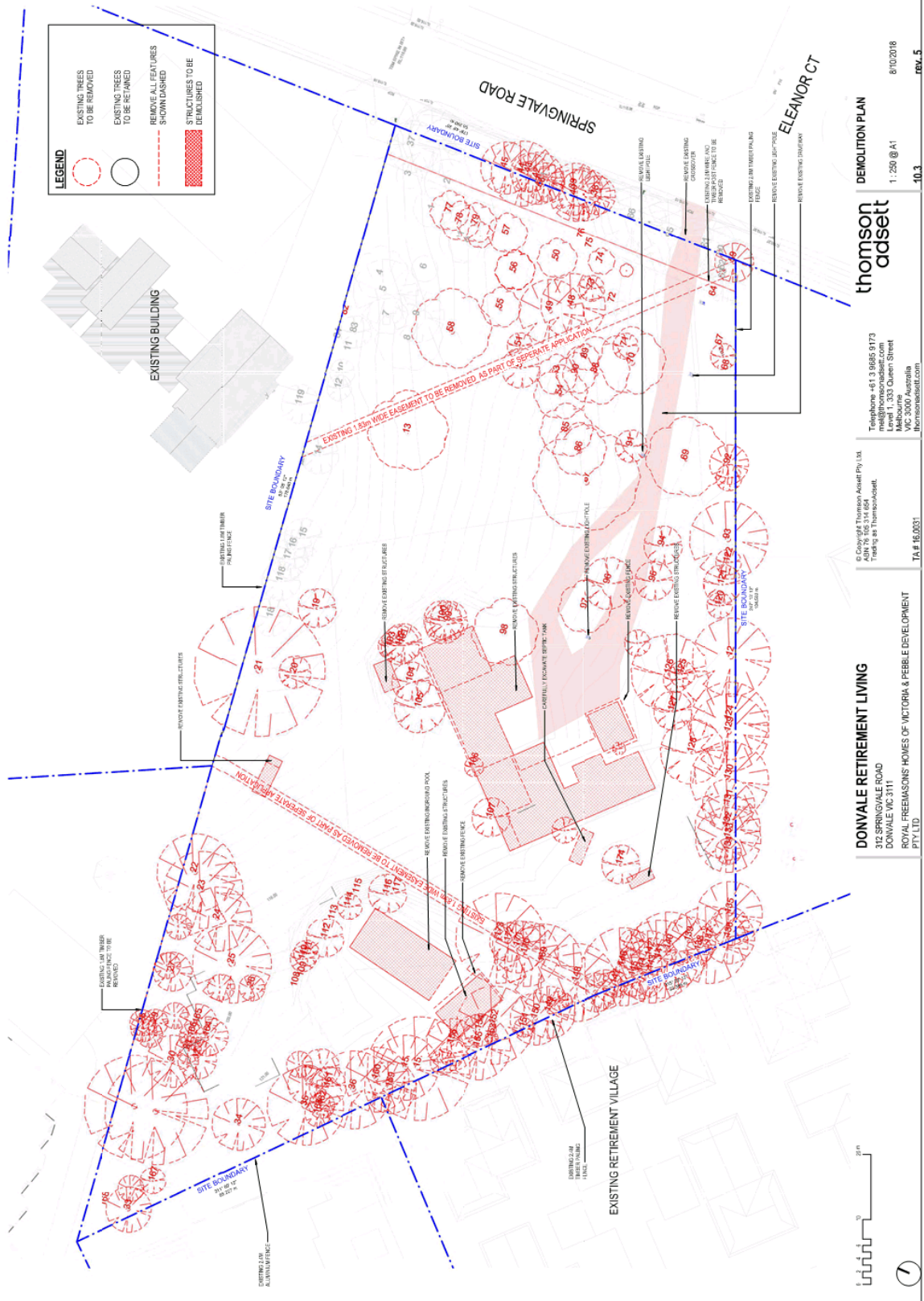


























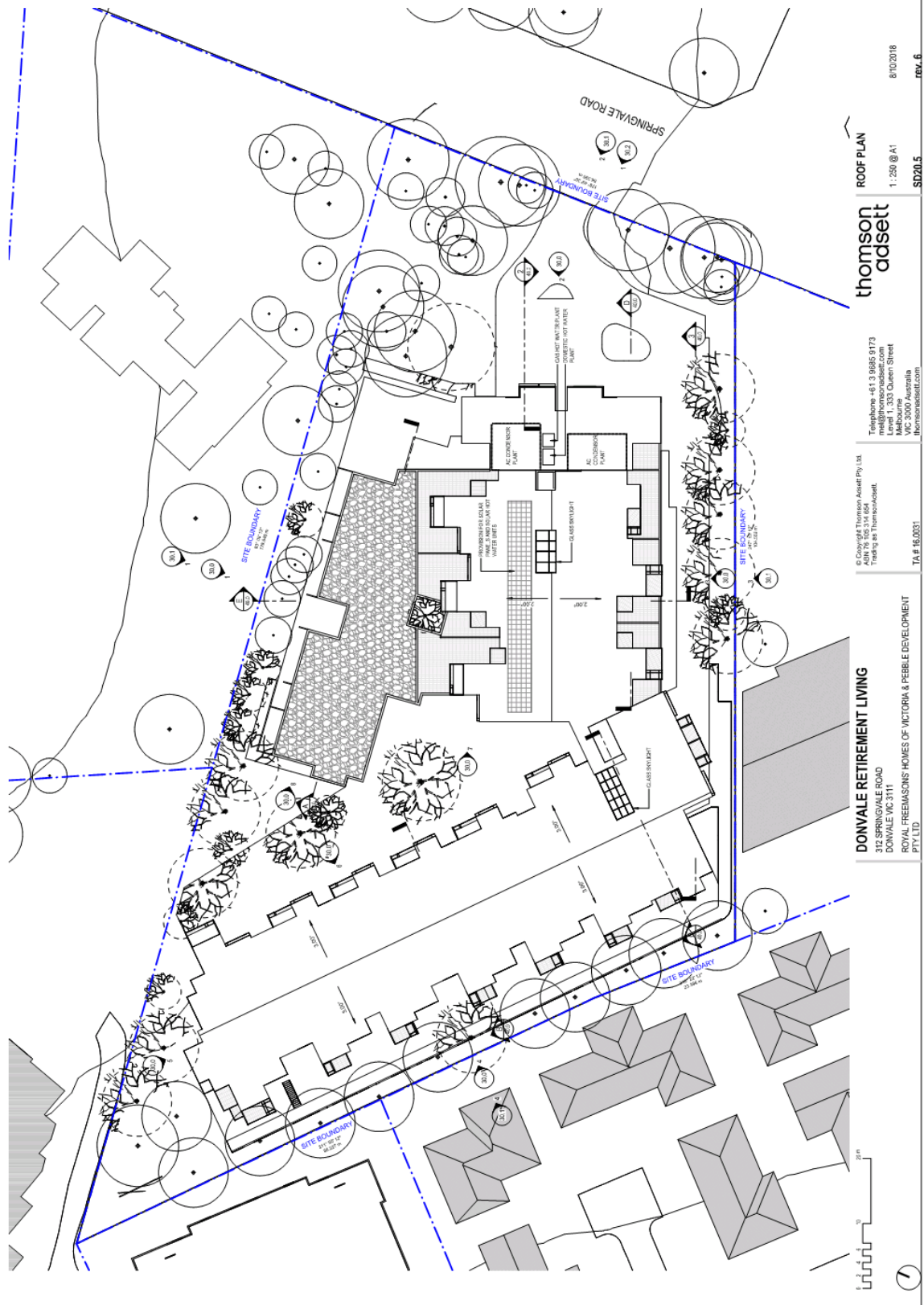












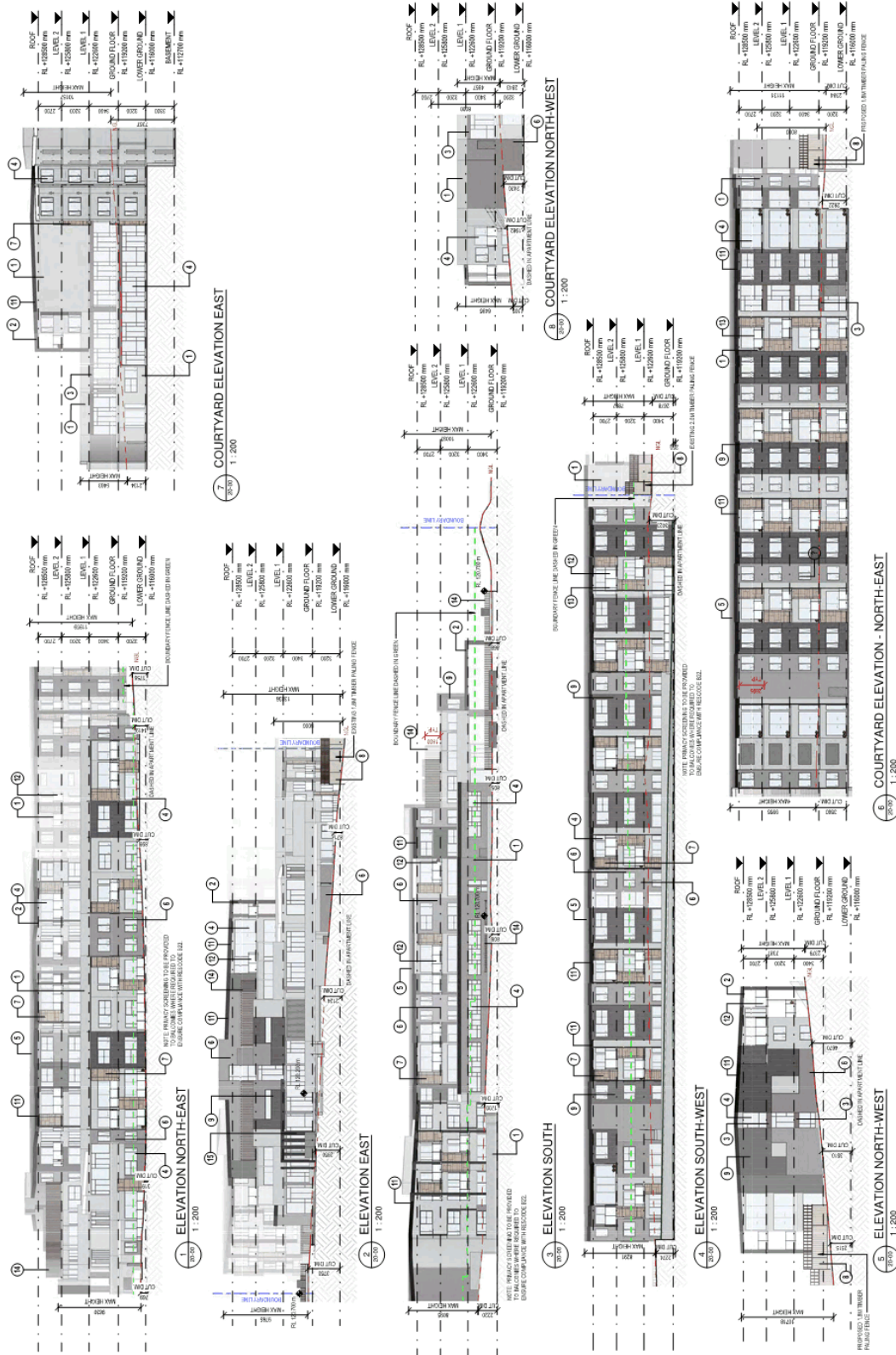
**thomson  
adsett**

Telephone +61 3 9685 9173  
Level 11, 333 Queen Street  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

© Copyright Thomson Adsett Pty Ltd  
Trading as ThomsonAdsett.  
TA # 15.0031

**DONVALE RETIREMENT LIVING**  
312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

ROOF PLAN  
1:250 @ A1  
SD20.5  
8/02/2018  
REV. 6



**thomson adsett**  
ELEVATIONS  
1:200 @ A1  
A30.0

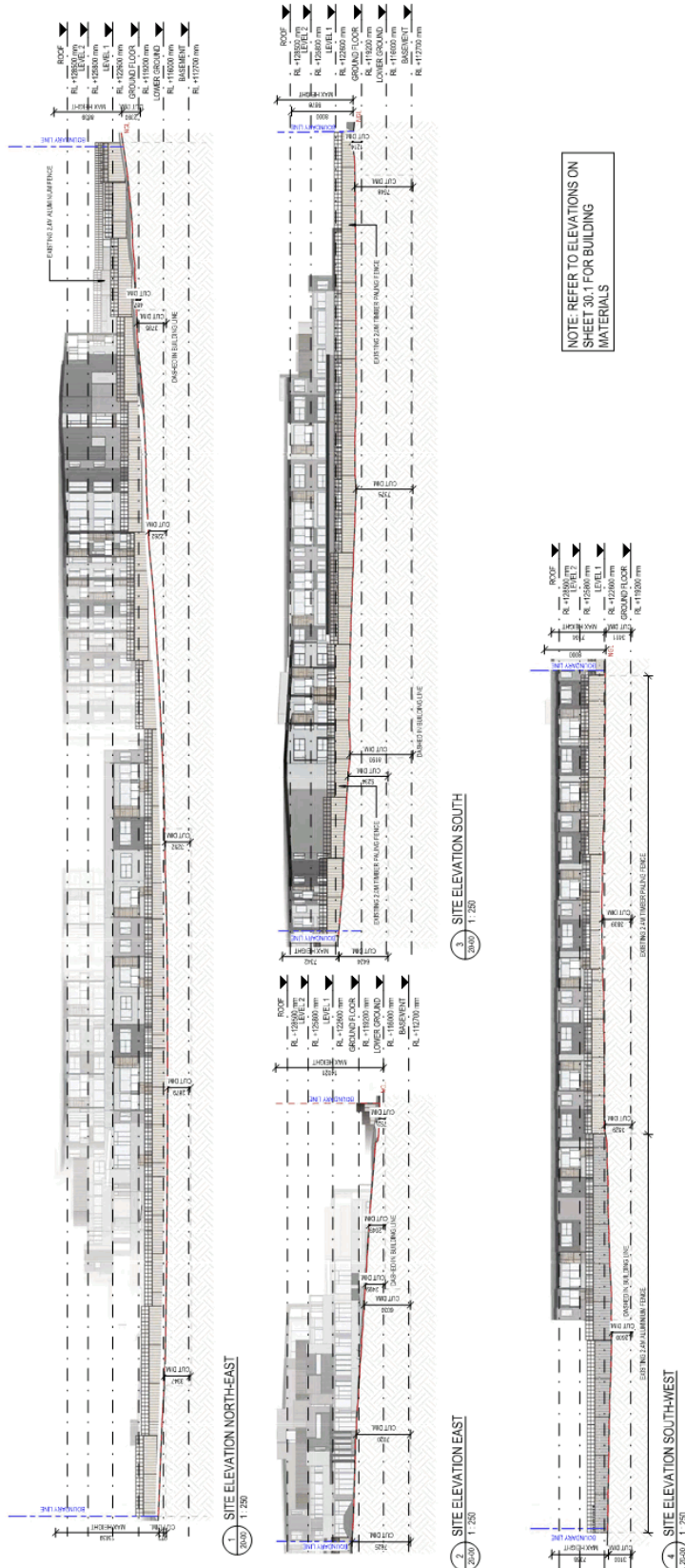
**DONVALE RETIREMENT LIVING**  
312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

© Copyright Thomson Adsett Pty Ltd  
All Rights Reserved  
Training as ThomsonAdsett.

Telephone +61 3 9685 9173  
101/102/118  
Level 1, 333 Queen Street  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

TA # 15.0031



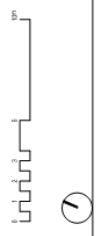


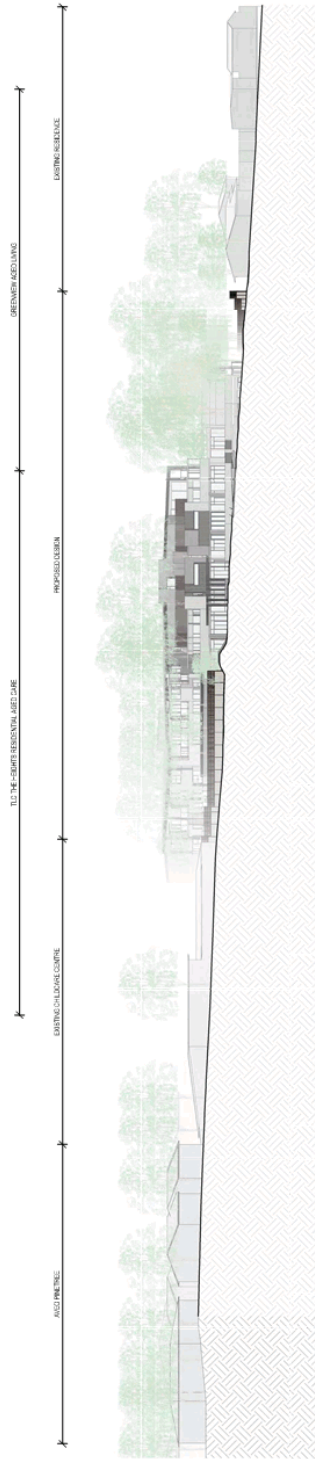
**thomson  
adsett**  
ELEVATIONS  
1:250 @ A1  
30.1

Telephone +61 3 9685 9173  
100 Springvale Road  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

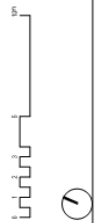
© Copyright Thomson Adsett Pty Ltd  
Trading as ThomsonAdsett.  
TA # 16.0031

**DONVALE RETIREMENT LIVING**  
312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD





STREET ELEVATION  
1:200



**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD

© Copyright Thomson Asset Pty Ltd  
 Trading as ThomsonAdsett.

Telephone +61 3 9685 9173  
 1000 Springvale Road  
 Level 11, 303 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

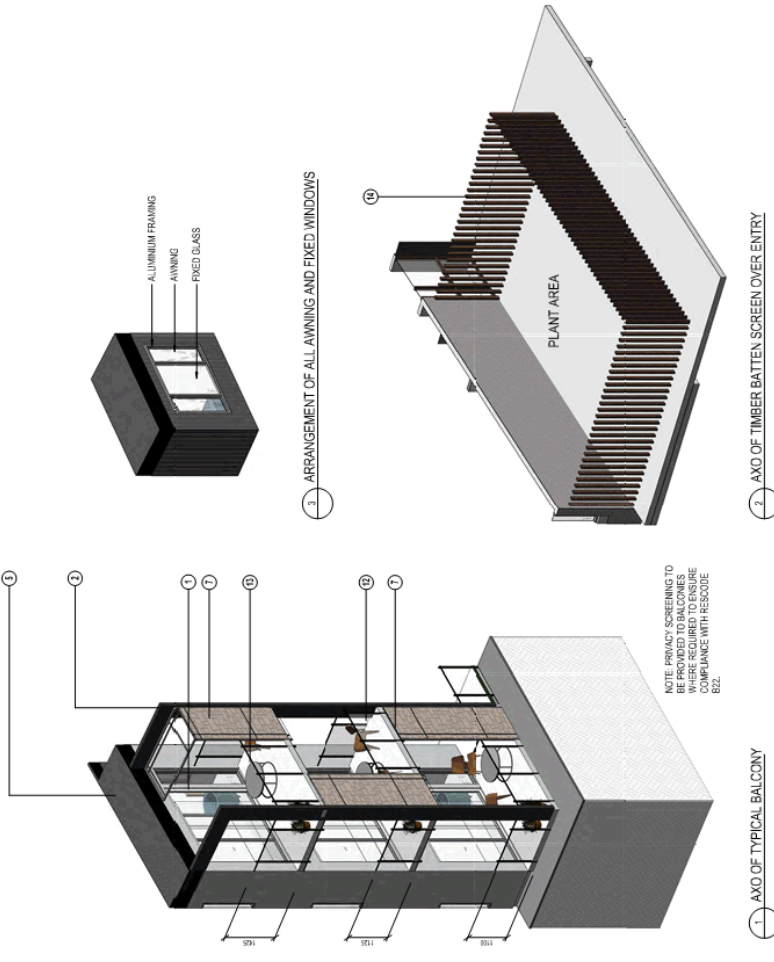
**thomson  
adsett**

**ELEVATIONS**  
 1:200 @ A1  
 8/10/2018  
 REV. 3

302

EXTERNAL FINISH SCHEDULE		
MARK	DESCRIPTION	IMAGE
9	CHARCOAL METALLIC WALL CLADDING	
10	MANGROVE TIMBER	
11	BLACK ALUMINIUM FRAME	
12	FROSTED GLASS	
13	BLACK STEEL FRAME	
14	WOODEN BATTENS	
15	CHARCOAL ALUMINIUM SUN SHADE	
16	DRIVEWAY FINISH GREY CONCRETE	
17	BLUESTONE CRAZY PAVE	

EXTERNAL FINISH SCHEDULE		
MARK	DESCRIPTION	IMAGE
1	GREY RENDER	
2	CHARCOAL COLOURED STEEL	
3	DARK GREY COLOURED BACK GLASS SPANREL	
4	CLEAR GLAZING	
5	CHARCOAL METAL ROOF SHEETING	
6	MACEDON STONE WALL PANEL	
7	TIMBER LAMINATED PANELLED SUN SHADE	
8	TIMBER PROPERTY BOUNDARY FENCE	



**thomson adsett**

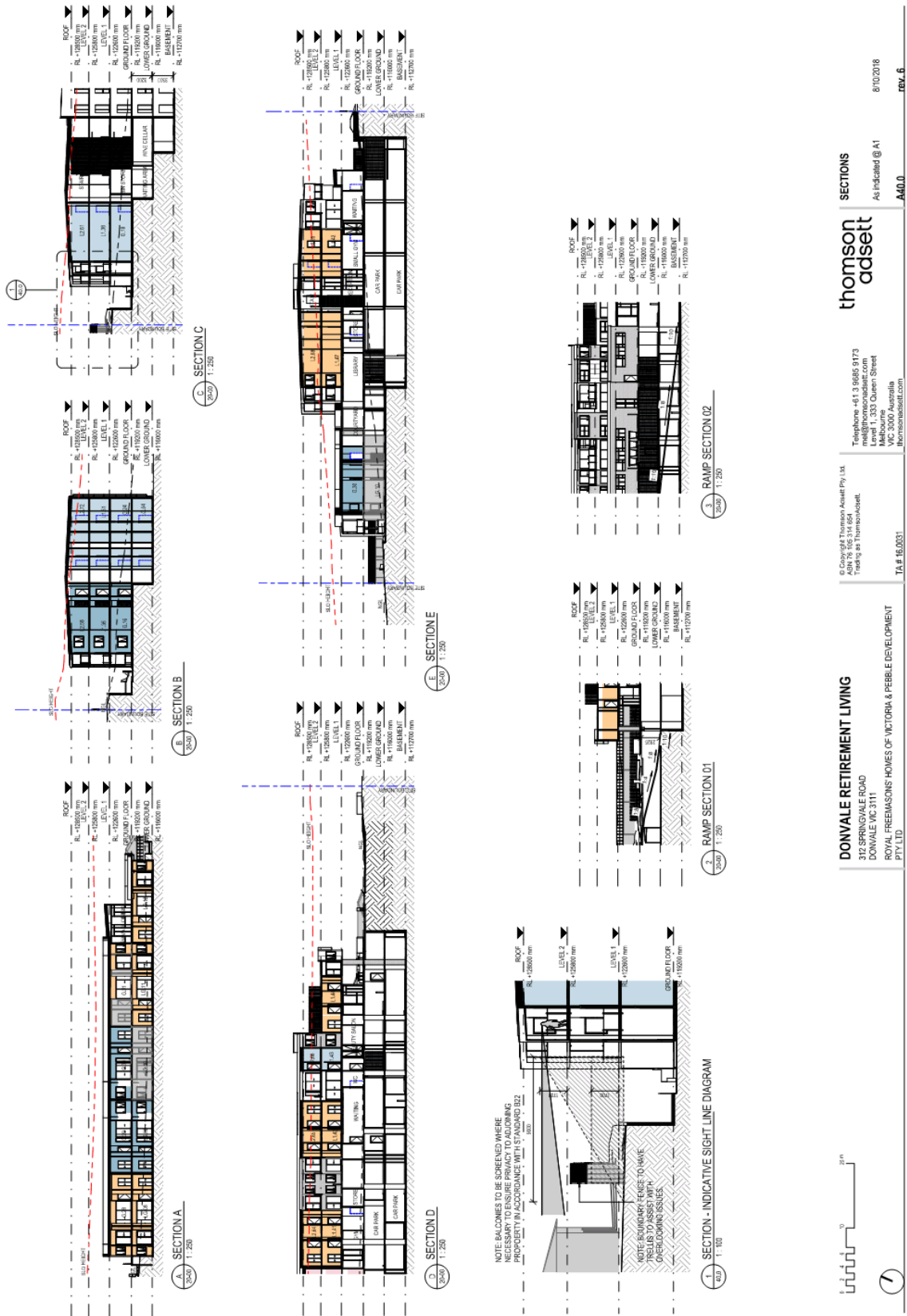
© Copyright of Thomson Adsett Pty Ltd  
Trading as ThomsonAdsett.

Telephone +61 3 9685 9173  
100 Springvale Road  
Level 1, 333 Queen Street  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

**DONVALE RETIREMENT LIVING**  
312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

TA # 16.0031

**ELEVATIONS**  
1:25 @ A1  
8/02/2018  
REV. 4



**thomson adsett**

© Copyrigt Thomson Adsett Pty Ltd  
Trading as ThomsonAdsett.

Telephone +61 3 9685 9173  
1000 Springvale Road  
Level 1, 303 Queen Street  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

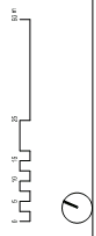
TA # 16.0031

**DONVALE RETIREMENT LIVING**

312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

SECTIONS  
As Indicated @ A1  
A40.0

6/10/2018  
REV. 6

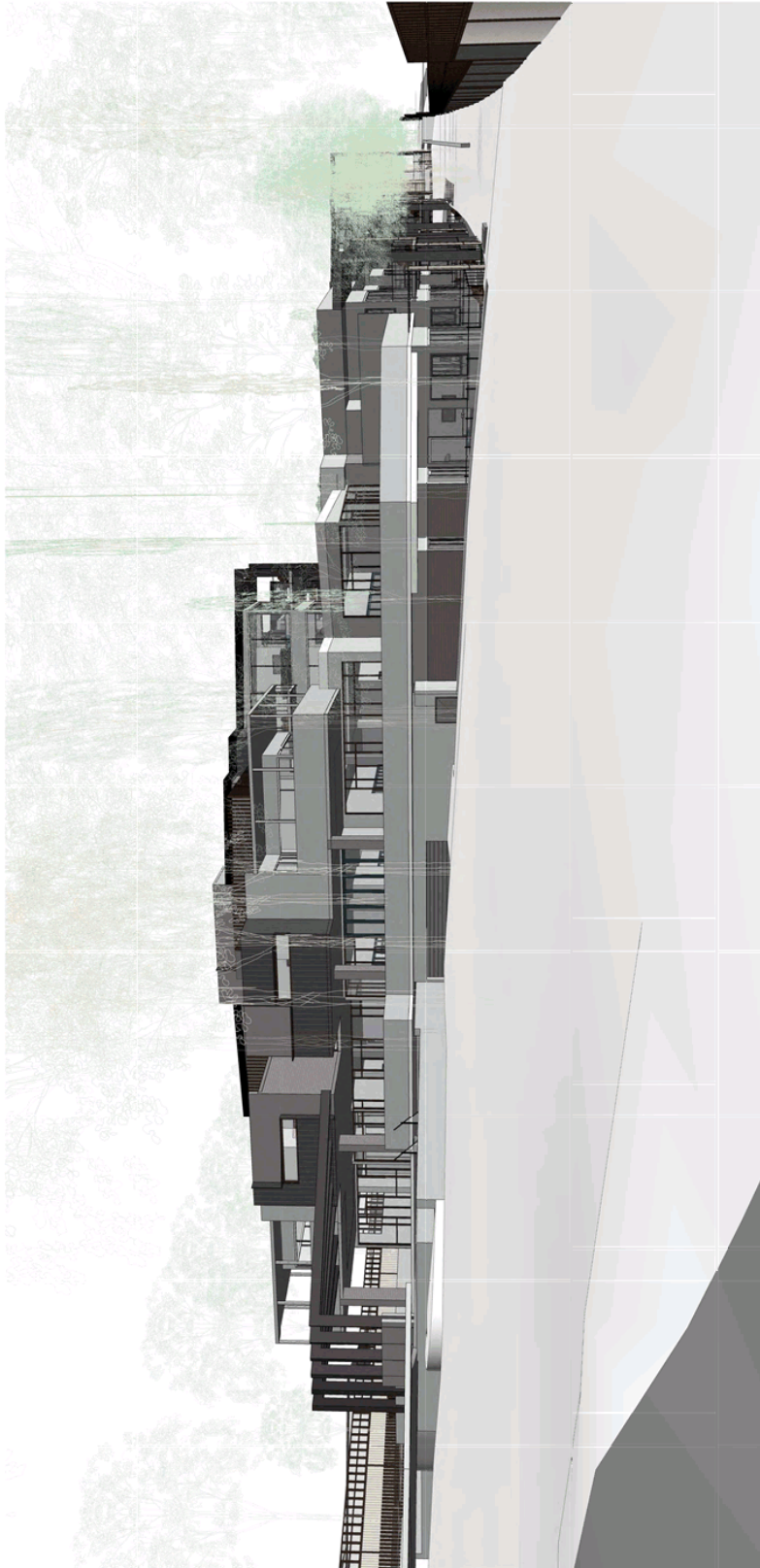


**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD  
 TA # 16,0031

© Copyright of Thomson Adsett Pty Ltd  
 Trading as ThomsonAdsett.  
 Telephone +61 3 9685 9173  
 Level 11, 303 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

**thomson adsett**  
 SHADOW DIAGRAMS  
 1:500 @ A1  
 50.0  
 8/02/2018  
 rev. 6





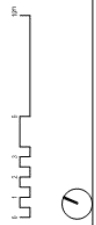
thomson  
adsett

Telephone +61 3 9685 9173  
Level 11, 333 Queen Street  
Melbourne  
VIC 3000 Australia  
thomsonadsett.com

© Copyright Thomson Adsett Pty Ltd  
Trading as ThomsonAdsett.

**DONVALE RETIREMENT LIVING**  
312 SPRINGVALE ROAD  
DONVALE VIC 3111  
ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
PTY LTD

3D VIEWS  
@ A1  
60.1  
8/12/2018  
REV. 4



**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD

© Copyright of Thomson Adsett Pty Ltd  
 Trading as ThomsonAdsett.  
 TA # 16,0031

Telephone +61 3 9685 9173  
 Level 11, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

**thomson  
adsett**

3D VIEWS  
 @ A1  
 60.2  
 8/10/2018  
 REV. 4

Development Summary Table									
Apartment Number	Number of Bedrooms	Level	GFA	Total Balcony Area	Number of Carports	Area of Allocated Storage			
U.0.1	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.0.2	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.0.3	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.0.4	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.0.5	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.0.6	2	Lower Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.0.7	1	Lower Ground	86m <sup>2</sup>	8m <sup>2</sup>	1	11.4m <sup>2</sup>			
U.0.8	2	Lower Ground	112m <sup>2</sup>	8m <sup>2</sup>	2	24.4m <sup>2</sup>			
U.0.9	2	Lower Ground	112m <sup>2</sup>	8m <sup>2</sup>	2	24.4m <sup>2</sup>			
U.1.0	2	Lower Ground	112m <sup>2</sup>	8m <sup>2</sup>	2	24.4m <sup>2</sup>			
U.1.1	3	Lower Ground	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>			
U.1.2	2	Lower Ground	112m <sup>2</sup>	8m <sup>2</sup>	2	24.4m <sup>2</sup>			
U.1.3	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.1.4	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.1.5	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.1.6	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.1.7	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.1.8	2	Ground	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.1.9	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.2.0	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.2.1	1	Ground	86m <sup>2</sup>	8m <sup>2</sup>	1	11.4m <sup>2</sup>			
U.2.2	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.2.3	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.2.4	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.2.5	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.2.6	2	Ground	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>			
U.2.7	3	Ground	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>			
U.2.8	2	Ground	112m <sup>2</sup>	8m <sup>2</sup>	2	24.4m <sup>2</sup>			
U.2.9	2	Ground	112m <sup>2</sup>	8m <sup>2</sup>	2	24.4m <sup>2</sup>			
U.3.0	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.3.1	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.3.2	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.3.3	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.3.4	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.3.5	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			
U.3.6	2	Level 1	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>			

U.3.7	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.3.8	1	Level 1	86m <sup>2</sup>	8m <sup>2</sup>	1	11.4m <sup>2</sup>
U.3.9	1	Level 1	86m <sup>2</sup>	8m <sup>2</sup>	1	11.4m <sup>2</sup>
U.4.0	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.4.1	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.4.2	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.4.3	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.4.4	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.4.5	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.4.6	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.4.7	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.4.8	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.4.9	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.5.0	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.5.1	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.5.2	2	Level 1	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.5.3	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.5.4	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.5.5	3	Level 1	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.5.6	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.5.7	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.5.8	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.5.9	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.6.0	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.6.1	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.6.2	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.6.3	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.6.4	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.6.5	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.6.6	2	Level 2	111m <sup>2</sup>	8m <sup>2</sup>	1	24.4m <sup>2</sup>
U.6.7	3	Level 2	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.6.8	3	Level 2	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.6.9	3	Level 2	126m <sup>2</sup>	17m <sup>2</sup>	2	24.4m <sup>2</sup>
U.7.0	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.7.1	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.7.2	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.7.3	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.7.4	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>
U.7.5	2	Level 2	103m <sup>2</sup>	8m <sup>2</sup>	1	17.4m <sup>2</sup>



**DONVALE RETIREMENT LIVING**  
 312 SPRINGVALE ROAD  
 DONVALE VIC 3111  
 ROYAL FREEMASONS' HOMES OF VICTORIA & PEBBLE DEVELOPMENT  
 PTY LTD

© Copyright Thomson Adsett Pty Ltd  
 Trading as ThomsonAdsett.  
 Telephone +61 3 9685 9173  
 Level 1, 333 Queen Street  
 Melbourne  
 VIC 3000 Australia  
 thomsonadsett.com

**thomson adsett**  
 DEVELOPMENT SUMMARY TABLE  
 16/10/2018  
 @ A1  
 70.3  
 REV. 5





Tree IPZ Impact Analysis  
312-316 Springvale Rd Donvale

DESIGNED BY	S. FITZ	REVISED BY	14/02/17
DRAWN BY	S. FITZ	STRUCTURAL	
CHECKED BY	S. FITZ	SWIRRY	
DATE	12/02/2019	DATE	12/02/2019
PROJECT NO.	312-316 Springvale Rd Donvale	PROJECT NAME	312-316 Springvale Rd Donvale
































**WARNING**  
REMARKS OF ARCHITECTING SERVICES  
This report is prepared for the client and is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in this report. The client is responsible for ensuring that the information provided in this report is accurate and complete.

SP	The inspection survey conducted by the client is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in this report. The client is responsible for ensuring that the information provided in this report is accurate and complete.
CP	The inspection survey conducted by the client is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in this report. The client is responsible for ensuring that the information provided in this report is accurate and complete.
CP	The inspection survey conducted by the client is not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in this report. The client is responsible for ensuring that the information provided in this report is accurate and complete.

TREE PLANTING SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT X WIDTH (M) MATURE SIZE	INSTALLATION SIZE	DENSITY PERM <sup>2</sup>	QTY
<b>TREES</b>						
<b>MID &amp; HIGH CANOPY SPECIES TO NORTH, SOUTH &amp; WEST PERIMETER</b>						
CA	<i>Cedrus atlantica</i>	Atlas Cedar	20 x 15	45L	AS SHOWN	1
CD	Deodar cedar	Deodar Cedar	20 x 10	45L	AS SHOWN	3
EG	<i>Eucalyptus gonioalax</i>	Long-leaved box	20 x 15	45L	AS SHOWN	3
EP	<i>Eucalyptus polyanthemus</i>	Red Box	15 x 5	45L	AS SHOWN	4
ER	<i>Eucalyptus rubida</i>	Candlebark	25 x 20	45L	AS SHOWN	9
PC	<i>Pinus canariensis</i>	Canary Island Pine	25 x 15	45L	AS SHOWN	6
PJ	<i>Pinus jeffreyi</i>	Jeffrey Pine	18-40 x 9	45L	AS SHOWN	3
PP	<i>Pinus palustris</i>	Longleaf Pine	35 x 12	45L	AS SHOWN	18
PI	<i>Pinus ponderosa</i>	Ponderosa Pine	30 x 9	45L	AS SHOWN	11
<b>FEATURE SPECIES</b>						
BP	<i>Betula pendula</i>	Silver Birch	15 x 8	75L	AS SHOWN	10
MG	<i>Magnolia grandiflora</i> 'Ermoudi'	Southern Magnolia	12 x 5	75L	AS SHOWN	4
PY	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Ornamental Pear	11 x 6	75L	AS SHOWN	12

**LEGEND**

-  EXISTING TREE TO BE RETAINED
-  PROPOSED EVERGREEN TREE
-  PROPOSED DECIDUOUS TREE
-  HEDGE PLANTING
-  MASS PLANTING
-  REVEGETATION PLANTING
-  FEATURE MASS PLANTING
-  MOUNDING
-  TURF
-  GRAVEL BALLAST
-  STAIR WITH HANDRAIL
-  LIGHTING BOLLARD
-  RETAINING WALL
-  PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
-  PAVING - TYPE 02  
SEGMENTAL BLUESTONE PAVING
-  PAVING - TYPE 03  
UNIT PAVING
-  PAVING - TYPE 04  
BLUESTONE PROPRIETY
-  ASPHALT
-  LOOSE FURNITURE
-  FIXED BENCH SEAT
-  SCREEN FENCE & GATE
-  SMALL FEATURE PLANTING POTTS
-  ELECTRICAL KIOSK
-  NEW BOUNDARY FENCE
-  EXISTING BOUNDARY FENCE
-  LOWER GROUND LEVEL OUTLINE
-  GROUND LEVEL OUTLINE
-  LEVEL 1 OUTLINE
-  ROOF OUTLINE
- + 115.85 PROPOSED LEVELS
- + LGF 116.00
- +EX: 116.00 EXISTING LEVELS
- + (TOW 119.20) PROPOSED TOP OF WALL LEVEL



**SITE IMAGE**  
Landscape Architects  
Melbourne | Sydney

**DONVALE RETIREMENT LIVING**  
PLAN LEGEND & TREE PLANTING SCHEDULE

CLIENT: ROYAL FREEMASONRY LODGE & FEELDE DEVELOPMENT LTD DRAWING NUMBER: LP005  
 ARCHITECT: THOMSON ADSETT ISSUE: C  
 SITE IMAGE JOB NUMBER: SM17273 DATE: 18.09.2018  
 Site Image Landscape Architects (VIC) 478 William Street (West) Melbourne VIC 3203 Australia T +61 3 9329 4833









**DONVALE RETIREMENT LIVING**  
LANDSCAPE PLAN 03



CLIENT	TOTAL PASTORAL SERVICES & PEOPLE DEVELOPMENT PTY LTD	DRAWING NUMBER	LP103
ARCHITECT	THOMSON ADSETT	ISSUE	1
SITE IMAGE JOB NUMBER	SM17171	DATE	18.09.2018
Site Image Landscape Architects (VIC) 478 Willem Street West Melbourne VIC 3003 Australia   T +61 3 9329 4633			





SECTIONAL ELEVATION 01  
1:500



SITE PLAN  
NOT TO SCALE



SECTIONAL ELEVATION 01-A  
1:100

- LEGEND
- ① EXISTING TREE TO BE RETAINED
  - ② PROPOSED DECIDUOUS TREE
  - ③ PROPOSED EVERGREEN TREE
  - ④ SCREEN PLANTING
  - ⑤ REVEGETATION PLANTING
  - ⑥ TURF
  - ⑦ MASS PLANTING
  - ⑧ PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
  - ⑨ PAVING - TYPE 02  
SEGMENTAL BLUESTONE PAVING
  - ⑩ PAVING - TYPE 03  
UNIT PAVING
  - ⑪ HEDGE PLANTING
  - ⑫ FENCE & GATE
  - ⑬ ASPHALT
  - ⑭ RETAINING WALL
  - ⑮ SCREEN FENCE
  - ⑯ MOUNDED PLANTING
  - ⑰ CLIMBERS



SECTIONAL ELEVATION 01-B  
1:100

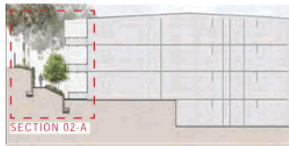


SITE IMAGE  
Landscape Architects  
Melbourne | Sydney

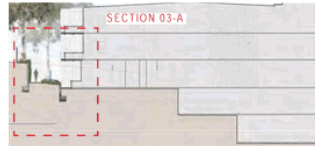
DONVALE RETIREMENT LIVING  
LANDSCAPE SECTIONS & ELEVATIONS 01

CLIENT	TOTAL PASTORAL SERVICES & HOUSING DEVELOPMENT PTY LTD	DRAWING NUMBER	LP281
ARCHITECT	THOMSON ADSETT	ISSUE	D
SITE IMAGE JOB NUMBER	SM17773	DATE	01.10.2018

Site Image Landscape Architects (PAC) 478 Willem Street West Melbourne VIC 3003 Australia | T +61 3 9329 4633



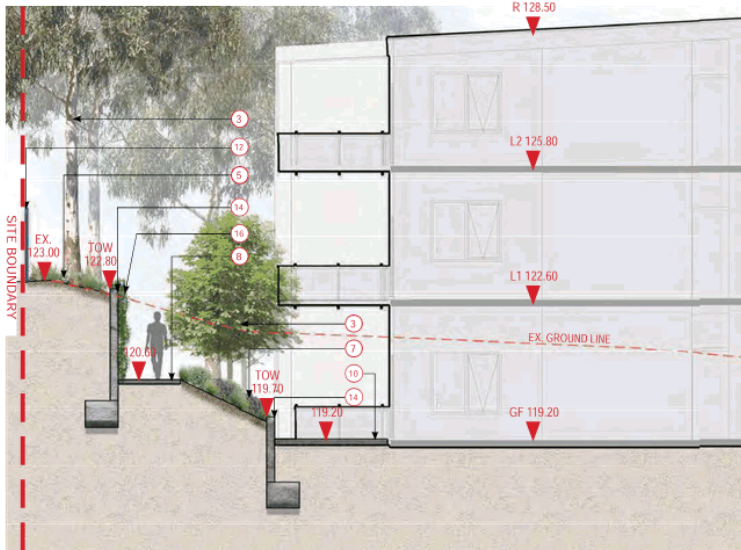
SECTIONAL ELEVATION 02  
1:500



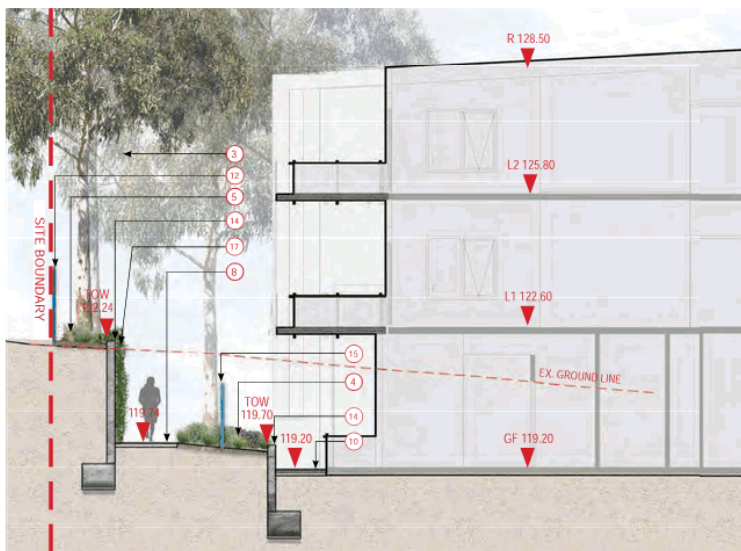
SECTIONAL ELEVATION 03  
1:500



SITE PLAN  
NOT TO SCALE



SECTIONAL ELEVATION 02-A  
1:100



SECTIONAL ELEVATION 03-A  
1:100

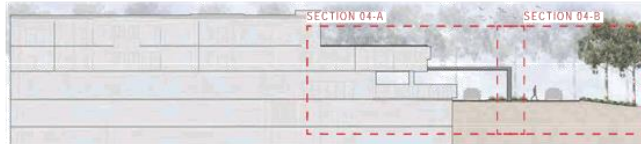
LEGEND

- ① EXISTING TREE TO BE RETAINED
- ② PROPOSED DECIDUOUS TREE
- ③ PROPOSED EVERGREEN TREE
- ④ SCREEN PLANTING
- ⑤ REVEGETATION PLANTING
- ⑥ TURF
- ⑦ MASS PLANTING
- ⑧ PAVING - TYPE 01 EXPOSED AGGREGATE CONCRETE
- ⑨ PAVING - TYPE 02 SEGMENTAL BLUESTONE PAVING
- ⑩ PAVING - TYPE 03 UNIT PAVING
- ⑪ HEDGE PLANTING
- ⑫ FENCE & GATE
- ⑬ ASPHALT
- ⑭ RETAINING WALL
- ⑮ SCREEN FENCE
- ⑯ MOUNDED PLANTING
- ⑰ CLIMBERS



DONVALE RETIREMENT LIVING  
LANDSCAPE SECTIONS & ELEVATIONS 02

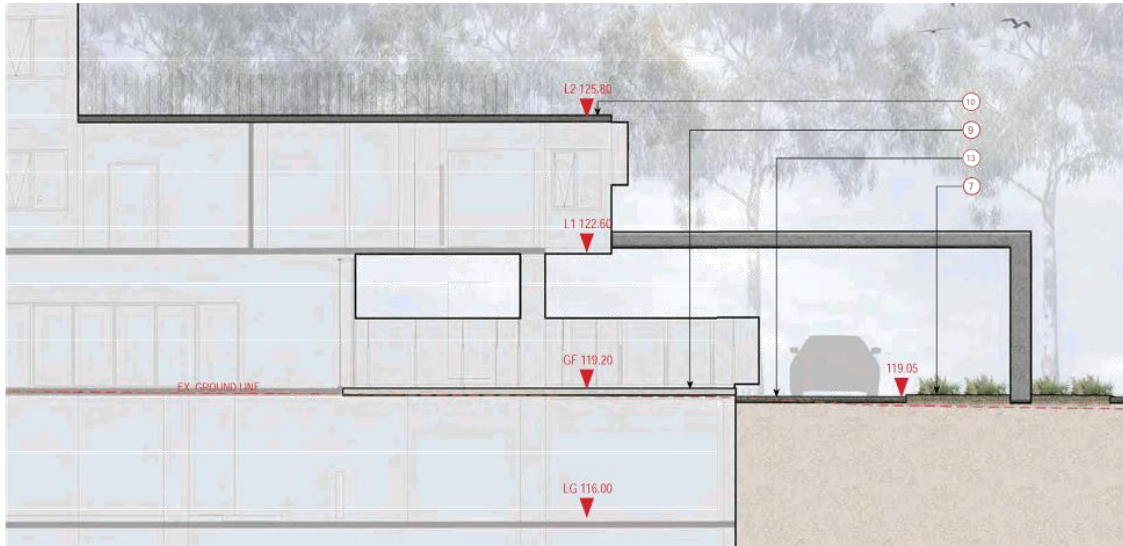
CLIENT HOTEL PATERBOROUGH HOMES & HOMES DEVELOPMENT PTY LTD DRAWING NUMBER LP282  
 ARCHITECT THOMSON ADSETT ISSUE D  
 SITE IMAGE JOB NUMBER SM17173 DATE 01.10.2018  
 Site Image Landscape Architects (VIC) 478 Wilken Street West Melbourne VIC 3003 Australia T +61 3 9329 4633



SECTIONAL ELEVATION 04  
1:500



SITE PLAN  
NOT TO SCALE



SECTIONAL ELEVATION 04-A  
1:100



SECTIONAL ELEVATION 04-B  
1:100

LEGEND

- ① EXISTING TREE TO BE RETAINED
- ② PROPOSED DECIDUOUS TREE
- ③ PROPOSED EVERGREEN TREE
- ④ SCREEN PLANTING
- ⑤ REVEGETATION PLANTING
- ⑥ TURF
- ⑦ MASS PLANTING
- ⑧ PAVING - TYPE 01  
EXPOSED AGGREGATE CONCRETE
- ⑨ PAVING - TYPE 02  
SEGMENTAL BLUESTONE PAVING
- ⑩ PAVING - TYPE 03  
UNIT PAVING
- ⑪ HEDGE PLANTING
- ⑫ FENCE & GATE
- ⑬ ASPHALT
- ⑭ RETAINING WALL
- ⑮ SCREEN FENCE
- ⑯ MOUNDED PLANTING
- ⑰ CLIMBERS



DONVALE RETIREMENT LIVING  
LANDSCAPE SECTIONS & ELEVATIONS 03

CLIENT	TOTAL PASTERNAK BROS & PUBLIC DEVELOPMENT PTY LTD	DRAWING NUMBER	LP283
ARCHITECT	THOMSON ADSETT	ISSUE	D
SITE IMAGE JOB NUMBER	SM1772	DATE	01.10.2018

Site Image Landscape Architects (PAC) 478 Willem Street West Melbourne VIC 3003 Australia | T +61 3 9329 4633

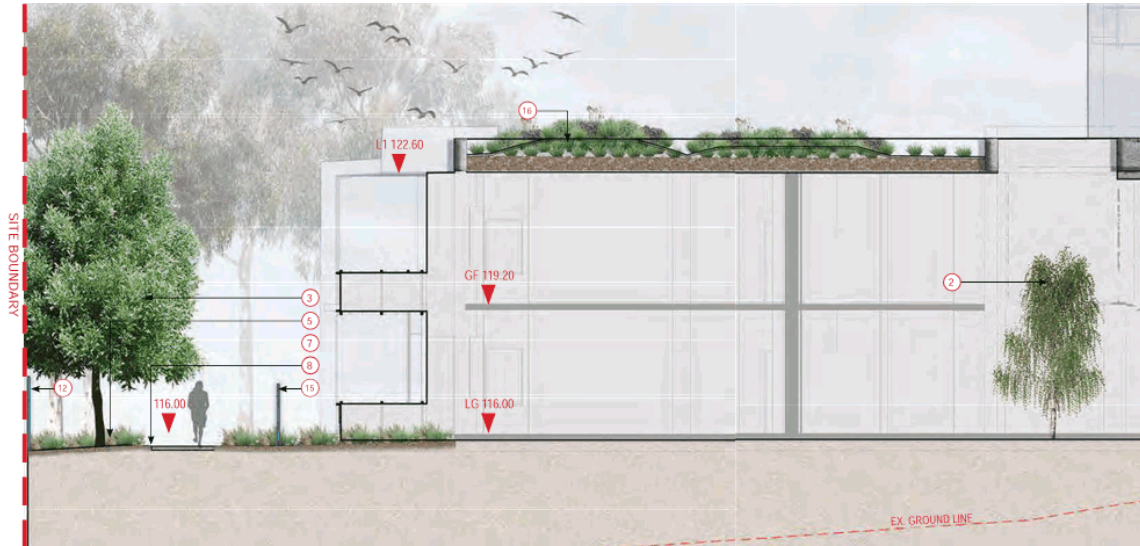




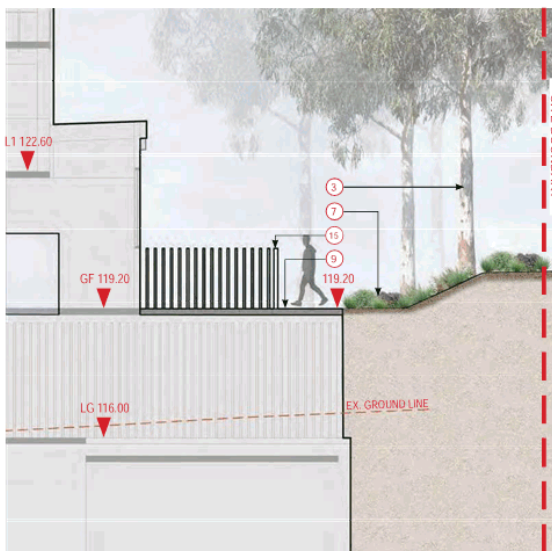
SECTIONAL ELEVATION 05  
1:500



SITE PLAN  
NOT TO SCALE



SECTIONAL ELEVATION 05-A  
1:100



SECTIONAL ELEVATION 05-B  
1:100

LEGEND

- ① EXISTING TREE TO BE RETAINED
- ② PROPOSED DECIDUOUS TREE
- ③ PROPOSED EVERGREEN TREE
- ④ SCREEN PLANTING
- ⑤ REVEGETATION PLANTING
- ⑥ TURF
- ⑦ MASS PLANTING
- ⑧ PAVING - TYPE 01 EXPOSED AGGREGATE CONCRETE
- ⑨ PAVING - TYPE 02 SEGMENTAL BI LESTONE PAVING
- ⑩ PAVING - TYPE 03 UNIT PAVING
- ⑪ HEDGE PLANTING
- ⑫ FENCE & GATE
- ⑬ ASPHALT
- ⑭ RETAINING WALL
- ⑮ SCREEN FENCE
- ⑯ MOUNDED PLANTING
- ⑰ CLIMBERS



**SITE IMAGE**  
Landscape Architects  
Melbourne | Sydney

**DONVALE RETIREMENT LIVING**  
LANDSCAPE SECTIONS & ELEVATIONS 04

CLIENT	HOTEL FASTERWORKS HOMES & PEOPLE DEVELOPMENT PTY LTD	DRAWING NUMBER	LP204
ARCHITECT	THOMSON ADSETT	ISSUE	D
SITE IMAGE JOB NUMBER	SM17173	DATE	01.10.2018

Site Image Landscape Architects (VIC) 478 Willem Street West Melbourne VIC 3003 Australia | T +61 3 9329 4633

PLANT MATERIALS

TREES | MID & HIGH CANOPY TREES TO NORTH, SOUTH & WEST PERIMETER



*Cedrus atlantica* (CA)  
ATLAS CEDAR



*Cedrus deodara* (CD)  
DEODAR CEDAR



*Eucalyptus gonicalyx* (EG)  
LONG-LEAVED BOX



*Eucalyptus polyanthemos* (EP)  
RED BOX



*Eucalyptus rubida* (ER)  
CANDLEBARK



*Pinus canariensis* (PC)  
CANARY ISLAND PINE



*Pinus jeffreyi* (PJ)  
JEFFREY PINE



*Pinus palustris* (PP)  
LONGLEAF PINE



*Pinus ponderosa* (PI)  
PONDEROSA PINE

TREES | FEATURE



*Betula pendula* (BP)  
SILVER BIRCH



*Magnolia grandiflora* 'Exmouth' (MG)  
SOUTHERN MAGNOLIA



*Pyrus calleryana* 'Chanticleer' (PY)  
CHANTICLEER ORNAMENTAL PEAR

MASS PLANTING | ROOF TERRACE



*Anigozanthos* sp  
KANGAROO PAW



*Ficinia Nodosa*  
KNOBBY CLUB RUSH



*Juniperus horizontalis*  
CREEPING CEDAR



*Liriope muscari*  
LILY TURF



*Lomandra longifolia* 'TANIKA'  
LOMANDRA TANIKA



*Tulbaghia violacea*  
SOCIETY GARLIC



*Westringia fruticosa*  
COASTAL ROSEMARY



SITE IMAGE  
Landscape Architects  
Melbourne | Sydney

DONVALE RETIREMENT LIVING  
LANDSCAPE MATERIALS PALETTE 01

CLIENT	TOTAL FREEDOMS HOMES & HOMES DEVELOPMENT PTY LTD	DRAWING NUMBER	EP/01
ARCHITECT	THOMSON ADSETT	ISSUE	D
SITE IMAGE JOB NUMBER	SM17771	DATE	18.09.2018
Site Image Landscape Architects (PAC) 478 William Street West Melbourne VIC 3003 Australia [T +61 3 9329 4633]			



SHRUBS



*Camellia sasanqua*  
SMALL LEAVED CAMELLIA



*Doryanthes excelsa*  
GYMEA LILLY

CREEPER | DECIDUOUS



*Parthenocissus tricuspidata*  
VIRGINIA CREEPER

CREEPER | EVERGREEN



*Ficus pumila*  
CREEPING FIG

MASS PLANTING



*Cycas revoluta*  
SAGO PALM



*Trachelospermum jasminoides*  
STAR JASMINE

CLIMBER



*Wisteria sinensis*  
CHINESE WISTERIA

SURFACE MATERIALS

PAVING



EXPOSED AGGREGATE CONCRETE  
TYPE 02



LOOSE GRAVEL



PORTE COCHERE ENTRY PAVEMENT  
BLUESTONE PORPHYRY SETTS

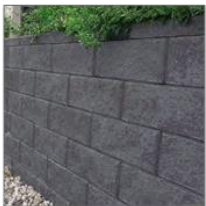


SEGMENTAL BLUESTONE PAVING



TURF

RETAINING WALL



EASTERN SERVICE ROAD  
SPLIT FACE CORE FILLED BLOCK  
COLOUR: CHARCOAL

TACTILE INDICATORS



SITE IMAGE  
Landscape Architects  
Melbourne | Sydney

DONVALE RETIREMENT LIVING  
LANDSCAPE MATERIALS PALETTE 02

CLIENT	TOTAL PASTERNAK HOMES & HOMES DEVELOPMENT PTY LTD	DRAWING NUMBER	LP302
ARCHITECT	THOMSON ADSETT	ISSUE	C
SITE IMAGE JOB NUMBER	SM17771	DATE	27.05.2018

Site Image Landscape Architects (VIC) 478 William Street, West Melbourne VIC 3003 Australia | T +61 3 9329 4633

#### 4. LEGISLATIVE REQUIREMENTS

##### 4.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

##### 4.2 MANNINGHAM PLANNING SCHEME

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.03 Low Density Residential Zone
- Clause 42.03 Significant Landscape Overlay, Schedule 6
- Clause 45.01 Public Acquisition Overlay for a Category 1 Road
- Clause 52.06 Car Parking
- Clause 52.12 Bushfire Protection: Exemptions
- Clause 52.17 Native Vegetation:
- Clause 52.29 Land Adjacent to a Road Zone Category 1 or a Public Acquisition Overlay for a Category 1 Road
- Clause 52.34 Bicycle Facilities
- Clause 65 Decision Guidelines

##### Zone

###### Clause 32.03 Low Density Residential Zone

A permit is required to:

- Use of the land for a retirement village
- Buildings and works associated with a Section 2 (permit required) use

The purpose of the Low Density Residential Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.*

##### Overlays

###### Clause 42.03 Significant Landscape Overlay

A permit is required to:

- Construct a building or construct or carry out works.
- A permit is required to remove, destroy or lop any vegetation specified in a schedule to this overlay. This does not apply:
  - If the table to Clause 42.03-3 specifically states that a permit is not required.
  - To the removal, destruction or lopping of native vegetation in accordance with a native vegetation precinct plan specified in the schedule to Clause 52.16.

Landscape character objectives to be achieved include:

- *To encourage development that is in keeping with the vegetated character of the area and is sympathetic to the existing built form.*
- *To ensure that development responds to the area's landscape and environmental characteristics, including topography, vegetation and waterways.*
- *To ensure that the visual impact of development is minimised.*
- *To minimise the visual impact of earthworks on the landscape.*
- *To minimise the impacts of site run-off and soil erosion on the landscape.*
- *To promote the retention and establishment of vegetation.*
- *To avoid, minimise and offset the removal of Victorian native vegetation.*
- *To maintain the treed character of the low density residential areas.*
- *To ensure that adequate setbacks are provided to enable the retention and planting of screen shrubs and large canopy trees as part of any development.*

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The statement of the nature and key elements of the landscape and the landscape character objective contained in a schedule to this overlay.*
- *The conservation and enhancement of the landscape values of the area.*
- *The need to remove, destroy or lop vegetation to create a defensible space to reduce the risk of bushfire to life and property.*
- *The impact of the proposed buildings and works on the landscape due to height, bulk, colour, general appearance or the need to remove vegetation.*
- *The extent to which the buildings and works are designed to enhance or promote the landscape character objectives of the area.*
- *The impact of buildings and works on significant views.*
- *Any other matters specified in a schedule to this overlay.*

#### Scheduled 6 Pine and Cypress Tree Theme Area

A permit is required to:

- Construct a building or construct or carry out works (of relevance: where site coverage exceeds 15%, a building is closer than 5 metres to a side or rear boundary, the building is more than 8 metres above the natural surface level)
- A permit is required to remove, destroy or lop any Victorian native vegetation, or a an exotic or Australian native tree that has either
  - A trunk circumference of more than 0.35 metre measured at a height of 1.3 metres above natural ground level
  - A height of more than 6 metres.
- A permit is not required to remove any species listed in the table to the schedule (shown below), or a dead tree, except for a dead Eucalypt that is both:
  - More than 20 metres from a building (excluding fences) to the base of the trunk.
  - Greater than 1 metre in circumference, measured at a height of 1.3 metres above

natural ground level.  
Exempt vegetation

Common name	Species	Status
Balm Mint Bush	<i>Prostanthera melissifolia</i>	Victorian Native Vegetation
Box Elder	<i>Acer negundo</i>	Exotic Tree
Cedar Wattle	<i>Acacia elata</i>	Australian Native Tree
Cherry Laurel	<i>Prunus laurocerasus</i>	Exotic Tree
Cherry Plum	<i>Prunus cerasifera</i>	Exotic Tree
Cootamundra Wattle	<i>Acacia baileyana</i>	Australian Native Tree
Cotoneasters	<i>Cotoneaster species</i>	Exotic Tree
Desert Ash	<i>Fraxinus angustifolia</i> subsp. <i>angustifolia</i>	Exotic Tree
Early Black-wattle	<i>Acacia decurrens</i>	Australian Native Tree
Giant Honey-myrtle	<i>Melaleuca armillaris</i>	Victorian Native Vegetation
Golden Wreath Wattle	<i>Acacia saligna</i>	Australian Native Tree
Gosford Wattle	<i>Acacia prominens</i>	Australian Native Tree
Hawthorn	<i>Crataegus monogyna</i>	Exotic Tree
Holly	<i>Ilex aquifolium</i>	Exotic Tree
Irish Strawberry Tree	<i>Arbutus unedo</i>	Exotic Tree
Large-leafed (or Tree) Privet	<i>Ligustrum lucidum</i> ( <i>Ligustrum japonicum</i> )	Exotic Tree
Laurustinus	<i>Viburnum tinus</i>	Exotic Tree
Loquat	<i>Eriobotrya japonica</i>	Exotic Tree
Morning Flag	<i>Orthrosanthus multiflorus</i>	Victorian Native Vegetation
Ovens Wattle	<i>Acacia pravissima</i>	Victorian Native Vegetation
Sallow Wattle	<i>Acacia longifolia</i>	Victorian Native Vegetation
Sticky Wattle	<i>Acacia howittii</i>	Victorian Native Vegetation
Sweet Pittosporum	<i>Pittosporum undulatum</i>	Victorian Native Vegetation
Sycamore Maple	<i>Acer pseudoplatanus</i>	Exotic Tree
Tagasaste or Tree Lucerne	<i>Chamaecytisus/(Cytisus)</i> <i>palmensis</i>	Exotic Tree
Tobacco-bush or Wild Tobacco Tree	<i>Solanum mauritianum</i>	Exotic Tree
Tree Locust	<i>Robinia pseudoacacia</i>	Exotic Tree
White Sallow-wattle	<i>Acacia floribunda</i>	Victorian Native Vegetation
Willow-leaf Hakea	<i>Hakea salicifolia</i>	Australian Native Tree
Willows and Sallows	<i>Salix species</i>	Exotic Tree
Wirilda	<i>Acacia retinodes</i>	Victorian Native Vegetation

The landscape character objectives to be achieved in the *Pine and Cypress Tree Theme Area* include:

- *To encourage development that is in keeping with the vegetated character of the area and is sympathetic to the existing built form any identified heritage values or other features.*
- *To ensure that development responds to the area's landscape and environmental characteristics, including topography, vegetation and waterways.*
- *To ensure that the visual impact of development is minimised.*
- *To minimise the visual impact of earthworks on the landscape.*
- *To minimise the impacts of site run-off and soil erosion on the landscape.*
- *To encourage the retention and establishment of vegetation, particularly large pine and cypress trees.*
- *To maintain and enhance large pine trees and cypress trees and associated windbreaks and pine plantations.*
- *To maintain the treed character of these areas.*
- *To ensure that where any removal of pine or cypress trees is proposed, replacement planting is with suitable species.*
- *To ensure that adequate setbacks are provided to enable the retention and planting of screening shrubs and planting of large canopy trees as part of any development..*

:

#### Clause 45.01 Public Acquisition Overlay, Schedule 4

A permit is required to:

- Use end for any Section 1 or 2 use in the Zone
- Construct a building or construct or carry out works.
- To damage, remove, destroy any vegetation (other than where a listed exemption)

The purpose of the overlay is to reserve land for a public purpose and to ensure that changes to the use or development of the land do not prejudice the purpose for which the land is to be acquired. Schedule 4 relates to road widening, with VicRoads as the acquiring Authority.

#### **State Planning Policy Framework**

The relevant sections of the state planning policy framework are as follows:

Clause 13.02-1S (Bushfire Planning) must be applied to all planning and decision making under the *Planning and Environment Act 1987* relating to designed land, including land that is within a Designated Bushfire Prone Area

The objective seeks:

- *To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.*

Struggles to achieve this include the undertaking bushfire hazard identification and assessment. Bushfire risk should be considered when assessing planning applications for particular uses and development, including for accommodation, and any development that will result in people congregating in large numbers.

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- *Promote good urban design to make the environment more liveable and attractive.*



- *Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.*
- *Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.*
- *Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.*
- *Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*

Clause 15.01-2 (Urban Design Principle) policy objective is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
  - *The underlying natural landscape character.*
  - *The heritage values and built form that reflect community identity.*
  - *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*
- *Support low energy forms of transport such as walking and cycling.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*

The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Encourage housing that is both water efficient and energy efficient.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of housing in Metropolitan Melbourne to be developed within the established urban area, particularly at activity centres, employment corridors and at other strategic sites, and reduce the share of new dwellings in greenfield and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to activity centres, employment corridors and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within the established urban area to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-4 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 18.02-2 Cycling

The policy objective is:

- *To integrate planning for cycling with land use and development planning and encourage as alternative modes of travel.*

The clause includes several strategies to achieve this objective including to:

Require the provision of adequate bicycle parking and related facilities to meet demand at education, recreation, shopping and community facilities and other major attractions when issuing planning approvals.

Clause 18.02-2R Principal Public Transport Network

The policy objective is:

- *Maximise the use of existing infrastructure and increase the diversity and density of development along the Principal Public Transport Network, particularly at interchanges, activity centres and where principal public transport routes intersect.*

Clause 18.02-4 Management of the road system

The policy objective is:

- *To manage the road system to achieve integration, choice and balance by developing and efficient and safe network and making the most of existing infrastructure.*

Clause 18.02-5 Car parking

The policy objective is:

- *To ensure an adequate supply of car parking that is appropriately designed and located.*

### **Local Planning Policy Framework (LPPF)**

#### **Municipal Strategic Statement**

##### Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

##### Clause 21.06 Low Density

###### *Built form and landscape character*

*New development should be designed and sited to reinforce and be respectful of the landscape and environmental characteristics of the site and its surroundings. The importance of retaining and enhancing native vegetation cover and in some circumstances pine and cypress tree cover is an intrinsic part of the preferred character of low density residential areas.*

###### *Traffic and Car parking*

*The existing local road network within some parts of the Low Density Residential Zone is characterised by narrow roads, including single lane and unsealed roads, well-vegetated road verges, unmade kerbs and channels and no footpaths. The undulating topography in these locations can create issues associated with impaired lines of vision for vehicles and limited pedestrian accessibility. This semi-rural road network contributes to the low density character of the area. The intensity of use and development should not detrimentally impact on the capacity or safety of the existing local road network, with all associated car parking to be provided on site.*

###### *Economic development issues*

*Council encourages home occupations as an important means of achieving economic development and providing opportunities that enable residents to work from home. The*

*needs of these businesses should be addressed while ensuring that residential amenity is not adversely affected.*

#### Clause 21.10 Ecologically Sustainable Development

This policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

#### Clause 21.14 Community Health and Wellbeing

The objectives of this clause are:

To provide appropriate spaces and facilities for social interaction.

- *To ensure that physical access to buildings, services and facilities meet the highest standards.*
- *To provide quality community amenities, educational institutions, diverse leisure, sporting and cultural opportunities and resident support services and programs.*
- *To encourage the provision of multi-purpose facilities in proximity to activity centres.*
- *To encourage the provision of aged accommodation in locations with appropriate infrastructure and access to services.*
- *To ensure that urban design promotes a sense of place, community identity, social interaction and a safe environment.*
- *To ensure that potentially contaminated sites do not impact on subsequent land uses or result in adverse effects on soil, water, air quality and health.*
- *To minimise adverse impacts associated with the location and operation of gaming venues and machines.*

One of the strategies to achieve these objectives is to:

*Encourage the establishment of community based facilities, including child care centres and health care facilities, in proximity to activity centres or other community facilities.*

#### **Local Planning Policy**

##### Clause 22.04 Residential Accommodation

This policy applies to the use and development of land for residential accommodation, which includes group accommodation, residential buildings, residential villages and retirement villages in the Residential Growth Zone, General Residential Zone, Neighbourhood Residential Zone and Low Density Residential Zone.

The objectives of this policy are:

- *To ensure that group accommodation, residential buildings, residential villages and retirement villages are appropriately located close to activity centres, main roads, community facilities and public transport networks, to optimise convenient access to these services and facilities.*
- *To ensure that safe and convenient vehicle and pedestrian access is provided within, to and from the site.*
- *To ensure that adequate provision is made for on-site car parking.*
- *To ensure that siting takes account of traffic generated on the street and effects on traffic flow and road safety.*
- *To ensure that the location of the use does not adversely affect the role and function of the road network and that adequate provision is made for on-site car parking.*
- *To ensure that adequate provision is made for utility services.*
- *To ensure that the design, scale, visual bulk and appearance of development minimises the impact on neighbourhood character and the streetscape.*

- *To ensure that these facilities minimise the impact on land with identified environmental and/or landscape values.*
- *To ensure that the amenity of the locality is not detrimentally affected by way of the operation of these uses, including the effects of noise, car parking and traffic.*

It is policy that

#### **Location**

- Group accommodation, residential buildings, residential villages and retirement villages uses should be located within the Residential Growth Zone and General Residential Zone areas that are:
  - Conveniently located to enable access to public transport, community and retail facilities and services.
  - Close to or adjoining existing community activities, to provide a focal point for community services and to create opportunities for interaction.
  - In areas where the slope of land is at a suitable grade which provides for easy pedestrian mobility both within the site and to externally located community facilities and services.
  - On a main or collector road so that the use does not depend on a local road for main vehicular movements, or in the case of smaller scale development, on local roads where it can be demonstrated that additional traffic movements will be well within the capacity of the local road network.
  - On a site with at least one, 15 metre minimum frontage.
  - On sites where extensive earthworks to create uniform site and floor levels are not required.
  - On sites where extensive vegetation removal is not required.
  - On sites with access to existing sealed roads and constructed pedestrian footpaths.
- Land within the Neighbourhood Residential Zone and Low Density Residential Zone is not a preferred location for residential accommodation. All of the following specific location requirements should be considered, including that the land:
  - Has convenient access to an activity centre and community facilities external to the site;
  - Is located on a main road or collector road so that the use does not depend on a local road for main vehicular movements; and
  - Is on a public transport route and within 400m walking distance to public transport.
- Within the Low Density Residential Zone, non-residential uses should also comply with all of the following criteria:
  - The site is serviced by reticulated sewerage;
  - Access to the site is via a sealed main road with existing kerb and channel, avoiding the use of narrow and single lane roads;
  - The site is not constrained by factors such as a slope of more than 20%, significant vegetation cover, drainage lines or highly visible ridgelines or hilltops; and
  - The site does not require significant earthworks to facilitate the development.

#### **Design and built form**

The following applies to all zones identified in the preamble to this Clause, unless specifically identified otherwise:

- Building and site design responds to streetscape character.

- Building and site design should avoid excessive overshadowing and visual bulk to adjoining residential properties to maintain the privacy of adjoining residential properties.
- Windows should be located to avoid unreasonable overlooking, without the need for screening.
- Building form, colours and materials, height, massing, setbacks, roof form and window and door proportions are responsive to the neighbourhood character.
- In Low Density Residential Zone areas the development (built form, setbacks, landscaping, service areas, open space, driveway and car park areas) should be designed to be subordinate and non intrusive in terms of scale, height, location, visibility and materials of construction, so as to respect the low density residential and landscape character of the area.
- The facility is designed and sited so as to minimise off site impacts from car parking, outdoor lighting, plant and equipment noise, deliveries and other facility operations.
- Plant and equipment (air conditioning/heating etc.) located at ground level is appropriately housed in an acoustic building/structure where appropriate.
- Roof mounted plant and equipment is permanently screened by appropriate materials, so that it generally cannot be seen from within the facility or from adjoining and nearby dwellings and the public realm.
- Appropriate outdoor lighting, including low-level pathway lighting, is provided for the safety and security of residents, staff and visitors.
- The design and layout of any building, car park and open space area be readily and safely accessible.
- The layout of buildings and outdoor areas meets the needs of persons with limited mobility.
- Accommodation for older persons be designed to:
  - Ensure the layout of buildings and design of outdoor areas meets the needs of persons with limited mobility;
  - Make adequate provision for both indoor and outdoor leisure and recreational facilities with sufficient weather protection; and
  - Include a sufficient area of private and/or communal open space to meet the needs of the future occupants.
- Retirement village, group accommodation, residential village and retirement village development in a residential zone should respond to the topography of the site to ensure buildings and works are appropriately sited, having regard to existing slope and viewline characteristics.
- Walls of buildings should be set back from streets:
  - At least the distance specified in the schedule to the zone; or
  - If no distance is specified in the schedule to the zone, the distance specified in the Table (reflective of ResCode front and side/rear setback requirements)

#### **Open space and landscaping**

- Developments are landscaped in a manner that softens the visual impact and assists with integration into streetscapes.
- The slope of land provides for easy pedestrian mobility within the site.
- Landscape plans incorporate designated communal open space areas and facilities which provide opportunities for residents to enjoy outdoor passive recreation.
- Public and communal open spaces are designed in a manner which protects natural features on the site, provides outlook for as many residential suites/lodging rooms as practicable, and enables ready access and usage.

- The removal of vegetation on sites of identified environmental or landscape significance is minimised.

#### **Car parking and access**

- Car parking areas and driveways contribute to the function, safety and appearance of a development by:
  - Being designed for convenient access, having well-defined vehicle entry points, clearly separating vehicular and pedestrian circulation, and enabling vehicles to exit the site in a forward direction onto abutting roads.
  - Being surfaced, drained, constructed and line-marked in accordance with good engineering practice and, where appropriate, be in accordance with an engineering construction plan submitted to and approved by the responsible authority.
  - Car park areas should be adequately screened with landscaping and positioned to ensure minimal removal of existing vegetation.
  - Paved surfaces and other hard standing areas to be constructed (where appropriate) with dark coloured concrete or bitumen, coloured patterned concrete or brick paving.
  - Landscaping carparking areas with appropriate canopy trees, where practical, and maintaining them in accordance with an approved landscape plan.
  - Incorporating a planting strip of a minimum width of 1.5 metres along the residential boundary where at-grade car parking areas and driveways abut residential properties, in order to screen the parking area.
  - Minimising the protrusion of basement car parks above ground level.
  - Incorporating undercroft parking where appropriate, visually integrating multi-deck car parks with adjoining streetscapes.
  - Designing and siting security lighting to minimise light spill to adjoining properties.
- Car parks, accessways and set down areas should provide for safe and efficient traffic movement.
- Adequate space be provided for waste removal vehicles to safely manoeuvre on site, where appropriate.
- On-site car parking be provided as required for:
  - Occupants;
  - Staff;
  - Visitors;
  - Delivery and emergency vehicles; and
  - Disabled persons.

#### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

#### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

#### Clause 22.12 Environmentally Sustainable Development



This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

### Particular Provisions

#### Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rates:

- 1 space for 1 and 2 bedroom dwellings.
- 2 spaces for 3 or more bedroom dwellings.

The land is identified as being within the Principal Public Transport Network Area. No visitor parking is therefore required.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

#### Clause 52.12 Bushfire Protection: Exemptions

##### Exemption to create defendable space around buildings used for accommodation

*Any requirement of a planning permit, including any condition, which has the effect of prohibiting the removal, destruction or lopping of vegetation, or any requirement of this planning scheme to obtain a planning permit, or any provision of this planning scheme that prohibits the removal, destruction or lopping of vegetation or requires the removal, destruction or lopping of vegetation to be carried out in a particular manner does not apply to:*

- The removal, destruction or lopping of any vegetation within 10 metres of an existing building used for accommodation that was constructed before 10 September 2009; and
- The removal, destruction or lopping of any vegetation for a combined maximum width of 4 metres either side of an existing fence on a boundary between properties in different ownership that was constructed before 10 September 2009.

#### Clause 52.17 Native Vegetation

The purpose of this clause is:

- *To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. This is achieved by applying the following three step approach in accordance with the Guidelines for the removal, destruction or lopping of native vegetation (Department of Environment, Land, Water and Planning, 2017) (the Guidelines):*
  1. *Avoid the removal, destruction or lopping of native vegetation.*
  2. *Minimise impacts from the removal, destruction or lopping of native vegetation that cannot be avoided.*
  3. *Provide an offset to compensate for the biodiversity impact if a permit is granted to remove, destroy or lop native vegetation.*

*To manage the removal, destruction or lopping of native vegetation to minimise land and water degradation.*

Pursuant to Clause 52.17-1, a permit is required:

- To remove, destroy or lop native vegetation, including dead native vegetation.
- This does not apply:
  - If the table to Clause 52.17-7 specifically states that a permit is not required.

- If a native vegetation precinct plan corresponding to the land is incorporated into this scheme and listed in the schedule to Clause 52.16.
- To the removal, destruction or lopping of native vegetation specified in the schedule to this clause (which includes "planted" vegetation).

If a permit is required to remove, destroy or lop native vegetation, the biodiversity impacts from the removal, destruction or lopping of native vegetation must be offset, in accordance with the *Guidelines*. The conditions on the permit for the removal, destruction or lopping of native vegetation must specify the offset requirement and the timing to secure the offset.

Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road

The purpose of this clause is:

- *To ensure appropriate access to identified roads.*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Road Zone, Category 1, and within a Public Acquisition Overlay, Schedule 4.

Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, the following number of bicycle spaces are required for a residential building:

- *1 space for every 10 rooms for residents*
- *1 space for every 10 rooms for visitors*
- *1 space for every 10 rooms for staff in developments of four storeys or more*

**General Provisions**

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the amenity of the area.
- Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.
- The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.

### 9.5 Planning Application PLN18/0687 at 21-23 Clay Drive, Doncaster for the use and development of a three-storey building comprising fifteen (15) dwellings and a child care centre

File Number:	IN19/326
Responsible Director:	Director City Planning and Community
Applicant:	The Ellis Group Architects C/- Apex Town Planning
Planning Controls:	General Residential Zone, Schedule 2 (GRZ-2); Development and Development Overlay, Schedule 8 (DDO8-2)
Ward:	Koonung
Attachments:	1 Decision Plans <a href="#">↓</a> 2 Legislative Requirements <a href="#">↓</a>

#### EXECUTIVE SUMMARY

##### Purpose

1. This report provides Council with an assessment of the planning permit application submitted for 21-23 Clay Drive, Doncaster and recommends refusal of the submitted proposal. The application is being reported to Council as it is a Major Application (15 or more dwellings and a development cost of more than \$5 million).

##### Proposal

2. It is proposed to construct a three-storey apartment building comprising 15, two-bedroom dwellings and a child care centre for 100 children over two lots with a combined area of 1,881m<sup>2</sup>. The building comprises one basement level of car parking, a ground floor comprising 6 apartments and part of the child care centre (for 28 children) with associated outdoor play area. The first floor comprises the remaining 9 apartments, and the second floor comprises the child care centre (for the remaining 72 children) with associated rooftop play areas. No apartments are located on the second floor.
3. The number of car spaces provided complies with the car parking requirements of the Manningham Planning scheme. 24 car parking spaces are allocated for the child care centre (including three tandem staff spaces), and 15 resident car spaces. Visitor parking is not provided as the site is within the Principal Public Transport Network. However, three unallocated surplus car spaces are provided. Two bicycle spaces are also provided within the basement car park.

##### Advertising

4. Notice of the application was given for a three week period which concluded on 1 May 2019.
5. Three objections have been received to-date. The objections express concerns relating to the proposed use, bulk, lack of privacy, overlooking, on-site amenity, lack of off-street/on-street car parking and traffic congestion.
6. The property locations of all objectors are shown on the map below.



**Key issues in considering the application**

7. The key issues for Council in considering the proposal relate to:
  - Planning Policy Frameworks;
  - Design and built form;
  - Two or more dwellings on a lot and residential buildings;
  - Child Care centre;
  - Car parking and traffic; and
  - Objector concerns.

**Assessment**

8. The development of the land for a three-storey apartment building over two lots with a total area of 1,881m<sup>2</sup> is consistent with policy objectives for urban consolidation and substantial change.
9. However, the proposal does not comply with various policies relating to the built form, amenity impacts to nearby properties and poor on-site amenity to future residents. A review of the plans shows that the development provides a site coverage of 63.7%. In addition, the required garden area for each of the lots does not comply with the requirements of the planning scheme (34.3% and 30.9%).
10. The proposed child care centre also does not comply with policy given its scale and the site’s location.
11. The proposal also does not provide adequate on-site amenity relating to daylight and solar access for the dwellings, functional layout of the living areas, adequate sense of address and has safety concerns.

**Conclusion**

12. This report concludes that the proposal does not comply with relevant planning policy in the Scheme and should not be supported.
13. It is recommended that the application be refused.

**COUNCIL RESOLUTION**

**MOVED:** CR ANNA CHEN  
**SECONDED:** CR DOT HAYNES

**That Council:**

- A. Having considered all objections, issue a NOTICE OF REFUSAL in relation to Planning Application PLN18/0687 at 21-23 Clay Drive, Doncaster for the use and development of a three-storey building comprising 15 dwellings and a child care centre, on the following grounds:-**
- 1. The proposal fails to comply with the mandatory garden area requirement under Clause 32.08 General Residential Zone of the Manningham Planning Scheme.**
  - 2. The scale and form of the development does not respect the character of the area and will result in unacceptable bulk and massing to the streetscape and adjoining properties and is contrary to Clause 21.05 Residential, Clause 22.05 Non-Residential Uses in Residential Areas, Clause 43.08 Design and Development Overlay, Schedule 8, Clause 55.02-1 Neighbourhood Character, Clause 55.02-2 Residential Policy, Clause 55.03-3 Site Coverage and Clause 55.06-1 Design Detail of the Manningham Planning Scheme.**
  - 3. The development results in unreasonable off-site amenity impacts to nearby properties. In particular, overlooking into adjoining properties, unreasonable overshadowing of existing private open space areas and solar access to existing north-facing windows which is contrary to Clause 55.04-4 North-facing Windows, Clause 55.04-5 Overshadowing Open Space and Clause 55.04-6 Overlooking of the Manningham Planning Scheme.**
  - 4. The layout of the development does not adequately accommodate both the dwelling and child care centre uses and results in poor amenity for future residents. In particular, it provides a poor sense of identity to the building entrance and dwelling entries, does not provide common property areas that are practically designed, provides limited passive surveillance opportunities, raises concerns of safety and security for its users and noise impacts from the child care centre. This does not comply with Clause 52.06 Car Parking, Clause 55.02-5 Integration with Street, Clause 55.03-7 Safety of the Manningham Planning Scheme, Clause 55.06-3 Common Property, Clause 55.07-6 Noise Impacts and Clause 55.07-8 Building Entry and Circulation of the Manningham Planning Scheme.**

5. The development fails to provide adequate on-site amenity to the future residents. In particular, it fails to provide dwellings with appropriate private open space, solar access, daylight and natural ventilation, does not provide an adequately functional layout of dwellings, fails to meet the needs of people with limited mobility and provides inconvenient storage areas. This does not comply with Clause 55.05-4 Private Open Space, Clause 55.05-5 Solar access to open space, Clause 55.07-1 Energy Efficiency, Clause 55.07-7 Accessibility, Clause 55.07-10 Storage, Clause 55.07-12 Functional Layout and Clause 55.07-15 Natural Ventilation of the Manningham Planning Scheme.
6. The development does not provide a range of housing types to provide housing diversity, which does not comply with Clause 16.01-3S - Housing Diversity and Clause 55.02-3 - Housing Diversity of the Manningham Planning Scheme.
7. The location of the child care centre is inappropriate particularly as it is not located on a main road and is isolated from other non-residential uses, resulting in unreasonable off-site amenity impacts to nearby properties from increased traffic on a local street. This does not comply with Clause 21.05-6 Economic Development Issues and Clause 22.05 Non-Residential Uses in Residential Areas of the Manningham Planning Scheme.
8. The vehicle crossover is inadequately set back from the existing street tree, which does not comply with Clause 43.02 Design and Development Overlay, Schedule 8 and Clause 55.03-8 Landscaping of the Manningham Planning Scheme.

**CARRIED**

## **2. BACKGROUND**

- 2.1 Planning Permit PL14/024702 was issued on 17 April 2016, for the construction of seven, two-storey dwellings with basement car parking at 21 Clay Drive, Doncaster. The permit has been extended, with a required development commencement date of 17 April 2020.
- 2.2 The current application was submitted to Council on 4 October 2018.
- 2.3 The proposal was presented to the Sustainable Design Taskforce meeting on 22 November 2018.
- 2.4 A request for further information was sent on 20 November 2018. The letter also raised a number of concerns with the proposal including those contained in the grounds of refusal.
- 2.5 All requested further information was received on 8 April 2019.
- 2.6 Notice of the application has been given for a three-week period which concluded on 1 May 2019.

- 2.7 The statutory time for considering a planning application is 60 days, which is due on 7 June 2019.
- 2.8 The land titles are not affected by any covenants or restrictions.

### 3. THE SITE AND SURROUNDS

#### The Site

- 3.1 The site has a combined frontage along Clay Drive of 37.18m (comprising 18.59m for each lot) and a depth of 50.58m, resulting in a total area of 1,881m<sup>2</sup>.
- 3.2 The site consists of a 4.5m cross fall from the north-west to the south-east corner and an approximately 3.5m fall from the northern to the southern boundary along the frontage.
- 3.3 A 2.44m wide drainage and sewerage easement encumbers the rear boundary.
- 3.4 Each lot is occupied by a single storey split-level brick dwelling with a hipped roof. The dwellings are setback 9m to 12m from the Clay Drive frontage. The lots are moderately vegetated within the front and rear setbacks.
- 3.5 Side and rear fencing consists of 1.6m high timber palings.
- 3.6 A 7m high *Lophostemon Confertus* 'Queensland Box' street tree is located to the north of the existing crossover for 23 Clay Drive.

#### The Surrounds

- 3.7 The site and all adjoining properties are subject to the same planning controls.
- 3.8 The site has direct abutments with the following properties:

Direction	Address	Description
North	19 Clay Drive	A single storey split-level brick dwelling setback 3.09m from the shared common boundary. The driveway is located adjacent to the common boundary. A garage is also located on the boundary further towards the rear of the site.
West	20 and 22 Frederick Street	Both lots are occupied by a single storey split-level dwelling setback approximately 19m from the common boundary incorporating secluded private open spaces areas. Planning Permit PL16/026250 was issued at 22 Frederick Street for the construction of eight, two storey dwellings over a shared basement. The approved development will be setback at least 4m from the common boundary.
South	4 and 6 Merlin Street, and 6/25 Clay Drive	4 and 6 Merlin Street are each occupied by a single-storey dwelling setback approximately 19 metres from the common boundary incorporating secluded private open spaces areas.



		25 Clay Drive has been developed with six, two-storey townhouses, of which 6/25 adjoins the subject site. The townhouse is setback approximately 1.7 metres from the common boundary. Secluded private open space of 6/25 Clay Drive is located adjacent to the common boundary.
--	--	--

- 3.9 The character of the broader area is mixed, with existing commercial buildings to the north-west along Tram Road, a number of high rise developments to the north along Doncaster Road, as well as three to five storey apartments and two-storey townhouses under construction along Frederick Street, Clay Drive and Merlin Street. The closest apartment building under construction is at 19-21 Frederick Street with an approval for a five storey building comprising of 42 apartments with associated basement car park.
- 3.10 Abutting the site to the east is Clay Drive, a 7.1m wide local road, which allows for restricted kerbside parking on both sides. Restrictions on the western side of Clay Drive are 2 hours between 8am-6pm Saturday-Sunday (closer to Doncaster Road/Clay Drive intersection) followed by Permit Zone between 8am-6pm Monday-Sunday up to Merlin Street/Clay Drive intersection. Along the eastern side of Clay Drive, 2 hour parking between 8am-5pm Monday- Friday is available closer to the Doncaster Road/Clay Drive intersection followed by a restriction of 2 hours between 8am-6pm Saturday-Sunday. A 2 hour parking restriction applies between 8am-6pm Monday-Wednesday and between 8am-9pm Thursday-Friday on both sides to the south of the Clay Drive/Merlin Street intersection. However with the recent adoption of Council's revised Parking Permit Policy, residents of this apartment building if approved, would not have access to on-street car parking permits.
- 3.11 The site is serviced by bus routes operating along Tram and Doncaster Roads, connecting activity centres and residential areas within the municipality to Melbourne's Central Activity District. A major bus interchange is situated at Westfield Doncaster approximately 1km walking distance to the north. Numerous retail, restaurant and entertainment venues are provided within the shopping centre, which itself is within 500m walking distance. The site is well serviced by other community and local facilities and parks, including Walker Reserve within 200m walking distance to the east.

#### 4. THE PROPOSAL

- 4.1 The proposal is outlined on the plans prepared by The ELLIS Group Architects, Job No. 2607, dated 29 March 2019 and a landscape plan prepared by Keystone Alliance Pty Ltd, Project No. L7014, dated 20 February 2019. Refer to Attachment 1.
- 4.2 The following reports were provided in support of the application:
- Town Planning report prepared by Apex Town Planning, dated October 2018;
  - Acoustic report prepared by Renzo Tonin, dated 7 September 2018;
  - Traffic Impact Assessment prepared by Irwin Consult, Job No. 18ME05699, Revision 02, dated 10 September 2018;
  - Waste Management Plan prepared by Frater dated 8 October 2018;

- Green Travel Plan prepared by Frater dated 08 February 2019;
- Sustainable Management Plan prepared by Frater dated 21 September 2018;
- Green Travel Plan prepared by LID dated 31 January 2019; and
- Arboricultural Impact Assessment and Tree Protection Management Plan prepared by All Trees Consulting Services Pty Ltd, dated 6 December 2018.

**Development summary**

4.3 A summary of the development is provided as follows:

Land Size:	1,881m <sup>2</sup>	Minimum wall setback to Clay Drive	Basement: 6.69m
Site Coverage:	63.7%		Ground: 7.4m
Permeability:	27%		First: 7.4m
Maximum Building Height:	11m		Second Floor wall: 11.9m
Garden Area		Minimum wall setback to northern boundary	Second Floor Balcony: 5.27m
21 Clay Drive:	34.3%		Basement: 2.7m
23 Clay Drive:	30.9%		Ground: 3.52m
Minimum garden area requirement = 35%			First: 3.52m
Number of Dwellings	15 dwellings (2 bedroom units)	Minimum wall setback to southern boundary	Second Floor wall: 8.4m
Dwelling Density:	One per 125.4m <sup>2</sup>		Second Floor Balcony: 3.02m
<u>Child Care</u>			Basement: 2.365m
No. of children:	100	Minimum wall setback to western boundary	Ground: 1.91m
Room 1 (47 m <sup>2</sup> )	12		First: 3.76m
Room 2 (58 m <sup>2</sup> )	16		Second Floor wall: 9.3m
Room 3 (58m <sup>2</sup> )	16		Second Floor Balcony: 5.86m
Room 4 (78 m <sup>2</sup> )	22		Basement: 5.79m
Room 5 (79 m <sup>2</sup> )	22		Ground: 4.29m
Room 6 (47 m <sup>2</sup> )	12		First: 4.29m
Car parking		Car Parking Required:	Second Floor wall: 11.7m
• Total:			Second Floor Balcony: 4.99m
• 15 dwellings (2 Bedroom):			Car Parking Provided:
• Child Care (0.22 per child)			• 42 spaces
• Visitor:		• 15	
		• 24	
		• 0	
		• 3 unallocated	

### Design layout

- 4.4 The ground floor comprises six, two-bedroom dwellings and part of the child care centre with two children rooms, cot area, kitchen, staff room, office, store room and play areas. The child care centre is located in the south-western corner of the site with the play area adjacent to the western and southern boundaries. Dwellings G04, G05 and G06 are proposed with secluded private open space along the northern site boundary, whereas Dwelling G02 and G03 will be provided with private open space within the front setback along Clay Drive. Dwelling G01 is provided with a 10sqm terrace facing Clay Drive and a narrow screened south facing balcony ranging in width from 800mm to 1.4 metres.
- 4.5 The first floor contains nine, two-bedroom dwellings accessible via a lift and a staircase. This level also contains a communal lounge area and a storage area providing 6m<sup>3</sup> to each dwelling. Dwellings are provided with a balcony each with sizes varying from 10m<sup>2</sup> to 16m<sup>2</sup>.
- 4.6 The second floor comprises four children rooms, an art room and surrounding play areas (partly shaded). The play area will be enclosed by a 1.8m high non-climbable balustrade with part of the balustrading (acoustically treated) clad in a patterned concrete finish along its northern, southern and western elevations.

### Pedestrian and vehicle access and layout

- 4.7 A common pedestrian entrance provides access to the dwellings and child care centre from Clay Drive via steps and ramps. A fire hydrant booster and gas meter compartments are located within the site frontage, adjacent to the pedestrian path.
- 4.8 Vehicle access to the development is provided via a modified existing crossover adjacent to the southern boundary. This crossover provides access to the basement car park. A service and waste storage room are provided within the basement along with a 10,000L underground water tank.
- 4.9 Car parking for the child care centre is limited to the front portion of the basement, whilst the remaining spaces are allocated to residents. Line marking with signage above is proposed to delineate between spaces for residents and child care centre users. The apartments and child care centre will each be provided with a dedicated lift from the basement level.
- 4.10 Two bicycle spaces are provided within the basement.

### Landscaping

- 4.11 All existing vegetation will be removed from the site. Screen planting is proposed along the side and rear boundaries. Landscaping within the front setback is proposed varying from trees capable of reaching a height of 11m to shrubs and ground cover.

### Design detail

- 4.12 The proposed development features a contemporary architectural design, incorporating a combination of white render, grey tone face brickwork, light weight vertical cladding and patterned concrete. The projections and recession of the first and second floor levels provide for variation in the setbacks towards the south, east and west elevations. Balcony balustrades consist of clear glazing or a concrete finish with integrated aluminium vertical screens. Fencing to the frontage of the site is designed to complement the vertical form of the design features of the building.

### Child care centre

- 4.13 The planning report does not provide details on the number of staff required for the Child Care Centre and its operating hours. However, the submitted Acoustic report states that the Child Care will operate from 6:30am to 6:30pm from Monday to Friday. Council's Children Services Officer also advised that the proposed child care centre with 100 children would require at least 21 staff at any one time.

## 5. LEGISLATIVE REQUIREMENTS

- 5.1 Refer to Attachment 2.
- 5.2 A permit is required under the following Clauses of the Manningham Planning Scheme:
- Clause 32.08-6 (General Residential Zone, Schedule 2 – GRZ2), to construct two or more dwellings on a lot;
  - Clause 32.08-6 (General Residential Zone, Schedule 2 – GRZ2), to use and develop the land for a child care centre (Section 2 use);
  - Clause 43.02-2 (Design and Development Overlay Schedule 8 – DDO8), to construct a building and construct or carry out works.

## 6. REFERRALS

### External

- 6.1 There are no applicable determining or recommending referral authorities.

### Internal

- 6.2 The application was referred to a number of service teams within Council. Reference to conditions would apply if a permit were to be issued. The following table summarises the responses:-

Service Unit	Comments
Infrastructure Services Unit – Drainage	<ul style="list-style-type: none"> <li>• No objection subject to conditions for the provision of on-site storm water detention.</li> </ul>

Service Unit	Comments
Infrastructure Services Unit – Vehicle Crossing	<ul style="list-style-type: none"> <li>The new crossover for the development is not supported because the widening of the crossover is within the TPZ of the street tree.</li> </ul>
Infrastructure Services Unit – Access and Driveway	<ul style="list-style-type: none"> <li>No objection.</li> </ul>
Infrastructure Services Unit – Traffic and Car Parking	<ul style="list-style-type: none"> <li>The number of car parking spaces provided is adequate.</li> <li>The number of car parking spaces is provided in accordance with Clause 52.06-5 and are satisfactory.</li> <li>Clay Drive and Merlin Street currently experience high levels of parking demands generated from the nearby activity centres and bus stops located along Tram Road.</li> <li>Any on-street car parking demand further generated by the staff members is highly undesirable as it would increase congestion along Clay Drive.</li> </ul>
Infrastructure Services Unit – Car Parking Layout	<ul style="list-style-type: none"> <li>The car park layout is satisfactory.</li> </ul>
Infrastructure Services Unit – Construction Management	<ul style="list-style-type: none"> <li>No objection subject to a requirement for the provision of a construction management plan.</li> </ul>
Infrastructure Services Unit – Waste	<ul style="list-style-type: none"> <li>No objection subject to conditions for on-site private waste collection and for the provision of an approved waste management plan.</li> </ul>
Infrastructure Services Unit – Easements	<ul style="list-style-type: none"> <li>No objection.</li> </ul>
Infrastructure Services Unit – Flooding	<ul style="list-style-type: none"> <li>The site is not subject to inundation from Council's drainage systems.</li> </ul>
City Amenity Unit – Parks	<ul style="list-style-type: none"> <li>Parks has inspected the site and is not supportive of removal of the street tree (Tree 1) for the following reasons: <ul style="list-style-type: none"> <li>- The tree is in a good healthy condition and does not currently meet removal criteria</li> <li>- Is currently matching the streetscape</li> <li>- The Useful Life Expectancy (ULE) of the tree is more than 25 years</li> </ul> </li> </ul>

Service Unit	Comments
Integrated Planning Unit – Sustainability	<ul style="list-style-type: none"> <li>The submitted BESS report includes incorrect and inadequate information for the development, such as the size of the water tank. Therefore, it does not yet meet Council's current expectations for Environmentally Sustainable Design (ESD) standards for a development of this type and scale in its current form.</li> </ul>

## 7. CONSULTATION / NOTIFICATION

- 7.1 Notice of the application was given over a three-week period which concluded on 1 May 2019, by sending letters to nearby properties and displaying a sign at the frontage of each lot (2 signs in total).
- 7.2 Three objections have been received to date from the following properties:
- 19 Clay Drive (North adjoining dwelling);
  - 4 Merlin Street (South adjoining dwelling); and
  - 41 Clay Drive.
- 7.3 The main grounds of the objection can be summarised into the following categories:
- Off-site amenity impacts (lack of privacy, overlooking, noise generated by children and mechanical equipment); and
  - Design and built form (height and bulk);
  - Traffic and car parking (lack of off-street and on-street car parking, traffic congestion); and
  - Location of the child care centre in a multi-level building.
- 7.4 A response to the grounds of objection are included in the assessment section of this report.

## 8. ASSESSMENT

- 8.1 The proposal has been assessed against the relevant state and local planning policies, the zone and overlay and the relevant particular provisions and general provisions of the Scheme.
- 8.2 The following assessment is made under the following headings:
- Planning Policy Frameworks;
  - Design and built form;
  - Two or more dwellings on a lot and residential buildings;
  - Child care centre;
  - Car parking and traffic; and
  - Objector concerns.

### Planning Policy Frameworks

- 8.3 Key objectives of the PPF and LPPF aim at directing land uses to appropriate locations, emphasising the need for provision of diverse housing stock within high density residential developments in and around activity centres, along main roads and on strategic redevelopment sites. The policies also encourage land uses with a community service role to be located in close proximity to activity centres whilst ensuring that operation of non-residential uses do not detrimentally affect the residential amenity.
- 8.4 Under Clause 21.05 Residential, the site is within Precinct 2 - Residential Areas Surrounding Activity Centres and along Main Roads where a substantial level of change is anticipated. The Design and Development Overlay, Schedule 8 (DDO8) provides design objectives, which direct the built form outcomes and drive the preferred character, with regard to building height and setbacks, form, car parking, landscaping and fencing.
- 8.5 The construction of a three storey building comprising of 15 dwellings with basement car parking over two lots comprising a total land area of 1881sqm would be consistent with policy objectives for urban consolidation and substantial change.
- 8.6 However, this does not mean any development should be approved as a range of other matters need to be considered, such as built form design, interface with adjoining properties and on-site amenity to determine if the proposal is appropriate in the specific site and policy context.
- 8.7 The scale and form of the development is not considered to make a positive contribution to the streetscape or the character of the local area and also fails to provide high level of internal amenity to the future residents as per Clause 21.05-4 Built Form and Neighbourhood Character of the Scheme. This will be further discussed in the report.
- 8.8 Additionally, the provision of only two bedroom dwellings fails to facilitate housing diversity that offers choice and meets changing household needs as per Clause 16.01-3S: Housing Diversity of the Scheme.
- 8.9 The purpose of the General Residential Zone allows for the provision of non-residential use to serve local community needs, such as the proposed child care centre. However, the location of the site and the nature of the proposal is considered inappropriate when considering the policies in Clauses 21.05-6 Economic Development Issues and 22.05 Non-Residential Uses in Residential Areas, resulting in unreasonable amenity impacts to the nearby properties. This will be further discussed later in this report.
- 8.10 The failure to provide any direct visibility to the ground floor child care centre from the street frontage, also does not assist in providing legibility for the child care centre users and visitors.

### Design and Built Form

#### Garden Area

- 8.11 Each lot that makes up the site exceeds 650 square metres and therefore needs to provide at least 35% of the lot as garden area.



- 8.12 The submitted plans (TP-A110) shows the provision of a minimum of 36.59% and 35.10% of garden area for lots 21 and 23 Clay Drive respectively. However, these calculations have included areas that are excluded from the definition of garden area under Clause 73.01 of the Scheme, such as the basement projection above ground level to the south of Children Room 2, the areas under the upper level building projections towards the south-west corner and towards the street frontage and on the northern side of the ground floor terraces for Dwellings G03, G04, G05 and G06.
- 8.13 The calculations confirm that the proposed garden areas of the 21 and 23 Clay Drive are approximately 34.3% and 30.9% respectively, which does not meet the mandatory requirement of the Clause 32.08-4 of the Scheme.

Design and Development Overlay, Schedule 8 (DDO8 – 2)

8.14 A detailed consideration of design and built form of the development is carried out against DDO8 as follows:

Design Element	Compliance
<b>Building Height and Setbacks DDO8-2 (Sub-Precinct A)</b>	
<ul style="list-style-type: none"> <li>11 metres provided the condition regarding minimum land size (1800sqm all in the same precinct) is met.</li> </ul>	<p><b>Satisfied</b></p> <p>The land has an area of 1881sqm and a maximum building height of 11 metres, therefore complies with the requirement. The lift overrun that exceeds the 11m maximum height is an allowable encroachment.</p>
<ul style="list-style-type: none"> <li>Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser.</li> </ul>	<p><b>Satisfied</b></p> <p>A 6.0m front setback is achieved to Glendale Avenue.</p> <p>The top level balcony for the play area has a street setback of 5.275 metres, which encroaches into the 6 metre street setback. Although the encroachment of a balcony within the street setback is allowed under the DDO8, it is considered that this design response presents poorly to the street. This will be further discussed in the assessment below.</p>
<b>Form</b>	
<ul style="list-style-type: none"> <li>Ensure that the site area covered by buildings does not exceed 60 percent.</li> </ul>	<p><b>Satisfied</b></p> <p>According to the submitted plans the site coverage is below 60%. However, a review of the plans show that the site coverage of the proposed development is approximately 63.7%, based on the inclusion of the the roofed terraces and the upper level projections.</p>
<ul style="list-style-type: none"> <li>Provide visual interest through articulation, glazing and variation in materials and textures.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The development is provided with a mix of materials at both levels. However, excessive site coverage combined with the northern</p>

Design Element	Compliance
	<p>sheer walls, extensive cantilevering of second floor play areas to the northern and eastern façades and first floor levels to the western and southern facedes, will present to the adjoining properties with unreasonable visual bulk.</p> <p>This is exacerbated by the use of patterned concrete to second floor balcony balustrades along the side and rear elevations, which intensifies the bulk and massing of the building and also fails to create adequate architectural interest.</p>
<ul style="list-style-type: none"> <li>Minimise buildings on boundaries to create spacing between developments.</li> </ul>	<p><b>Satisfied</b> No buildings are proposed on any of the boundaries.</p>
<ul style="list-style-type: none"> <li>Where appropriate ensure that buildings are stepped down at the rear of sites to provide a transition to the scale of the adjoining residential area.</li> </ul>	<p><b>Not Satisfied</b> The lack of graduation and the cantilevering of the first floor at the rear elevation fails to provide stepping down to the rear.</p>
<ul style="list-style-type: none"> <li>Where appropriate, ensure that buildings are designed to step with the slope of the land.</li> </ul>	<p><b>Not Satisfied</b> Although there is some stepping of the finished floor levels on the ground and first floor, the overall building is not designed to step with the slope of the land given the child care centre on the top level is on one level.</p>
<ul style="list-style-type: none"> <li>Avoid reliance on below ground light courts for any habitable rooms.</li> </ul>	<p><b>Satisfied</b> No below ground light courts are proposed.</p>
<ul style="list-style-type: none"> <li>Ensure the upper level of a two storey building provides adequate articulation to reduce the appearance of visual bulk and minimise continuous sheer wall presentation.</li> </ul>	<p><b>Not Applicable</b> The proposal is three storey.</p>
<ul style="list-style-type: none"> <li>Ensure that the upper level of a three storey building does not exceed 75% of the lower levels, unless it can be demonstrated that there is sufficient architectural interest to reduce the appearance of visual bulk and minimise continuous sheer wall presentation.</li> </ul>	<p><b>Not Satisfied</b> The child care centre walls on the second floor is setback from the side and rear site boundaries however the requirement for play areas, pushes the floor plate closer towards the boundaries of the site producing unnecessary overhangs and contributing to visual bulk.</p>
<ul style="list-style-type: none"> <li>Integrate porticos and other design features with the overall design of the building and not include imposing design features such as double storey porticos.</li> </ul>	<p><b>Not Satisfied</b> The play area on the top level associated with the child care centre is imposing given it is cantilevered over the levels below and the solid presentation of the balustrades.</p>

Design Element	Compliance
<ul style="list-style-type: none"> <li>Be designed and sited to address slope constraints, including minimising views of basement projections and/or minimising the height of finished floor levels and providing appropriate retaining wall presentation.</li> </ul>	<p><b>Satisfied</b> The basement car park is appropriately excavated into the slope of the land therefore limiting the projections above ground to a maximum of 1.19m towards the south and east elevations.</p>
<ul style="list-style-type: none"> <li>Be designed to minimise overlooking and avoid the excessive application of screen devices.</li> </ul>	<p><b>Not Satisfied</b> While the elevations demonstrate 1.7m high external screening to some habitable room windows, concerns of overlooking continue to remain for a large section of the first floor level habitable room windows and balconies. This will be discussed in detail further in the report.</p>
<ul style="list-style-type: none"> <li>Ensure design solutions respect the principle of equitable access at the main entry of any building for people of all mobilities.</li> </ul>	<p><b>Satisfied</b> The pedestrian entry to the building is provided with ramps having maximum gradients of 1:14 to meet the needs of people with limited mobility.</p>
<ul style="list-style-type: none"> <li>Ensure that projections of basement car parking above natural ground level do not result in excessive building height as viewed by neighbouring properties.</li> </ul>	<p><b>Satisfied</b> The basement projections do not result in excessive building height.</p>
<ul style="list-style-type: none"> <li>Ensure basement or undercroft car parks are not visually obtrusive when viewed from the front of the site.</li> </ul>	<p><b>Satisfied</b> The basement car park is not visually obtrusive when viewed from the street.</p>
<ul style="list-style-type: none"> <li>Integrate car parking requirements into the design of buildings and landform by encouraging the use of undercroft or basement parking and minimise the use of open car park and half basement parking.</li> </ul>	<p><b>Satisfied</b> Parking is provided at basement level.</p>
<ul style="list-style-type: none"> <li>Ensure the setback of the basement or undercroft car park is consistent with the front building setback and is setback a minimum of 4.0m from the rear boundary to enable effective landscaping to be established.</li> </ul>	<p><b>Satisfied</b> Basement car park is setback 5.7m from the rear site boundary.</p>
<ul style="list-style-type: none"> <li>Ensure that building walls, including basements, are sited a sufficient distance from site boundaries to enable the planting of effective screen planting, including canopy trees, in larger spaces.</li> </ul>	<p><b>Satisfied</b> Sufficient setbacks for screen planting are provided throughout the development.</p>

Design Element	Compliance
<ul style="list-style-type: none"> <li>Ensure that service equipment, building services, lift over-runs and roof-mounted equipment, including screening devices is integrated into the built form or otherwise screened to minimise the aesthetic impacts on the streetscape and avoids unreasonable amenity impacts on surrounding properties and open spaces.</li> </ul>	<p><b>Satisfied</b></p> <p>The plans do not show the location of service equipment. This can be addressed via condition if a permit were to be issued.</p>
<b>Car Parking and Access</b>	
<ul style="list-style-type: none"> <li>Include only one vehicular crossover, wherever possible, to maximise availability of on street parking and to minimise disruption to pedestrian movement. Where possible, retain existing crossovers to avoid the removal of street tree(s). Driveways must be setback a minimum of 1.5m from any street tree, except in cases where a larger tree requires an increased setback.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The development proposes the widening of an existing crossover. However this will be within 1.5m of the existing street tree and will considerably encroach the tree protection zone. Council's City Amenity Unit does not approve of the removal of the street tree and as it has not been demonstrated that the location of the crossover will not adversely impact on the viability of the street tree. The crossover is not supported.</p>
<ul style="list-style-type: none"> <li>Ensure that when the basement car park extends beyond the built form of the ground level of the building in the front and rear setback, any visible extension is utilised for paved open space or is appropriately screened, as is necessary.</li> </ul>	<p><b>Satisfied</b></p> <p>The basement projection above ground to the south is proposed to be used as a children play area and paved open space.</p>
<ul style="list-style-type: none"> <li>Ensure that where garages are located in the street elevation, they are set back a minimum of 1.0m from the front setback of the dwelling.</li> </ul>	<p><b>Not applicable</b></p>
<ul style="list-style-type: none"> <li>Ensure that access gradients of basement car parks are designed appropriately to provide for safe and convenient access for vehicles and servicing requirements.</li> </ul>	<p><b>Satisfied</b></p> <p>Gradients are in accordance with Clause 52.06 of the Scheme.</p>
<b>Landscaping</b>	
<ul style="list-style-type: none"> <li>On sites where a three storey development is proposed include at least 3 canopy trees within the front setback, which have a spreading crown and are capable of growing to a height of 8.0m or more at maturity.</li> </ul>	<p><b>Satisfied</b></p> <p>At least three canopy trees are proposed within the frontage of the site.</p>

Design Element	Compliance
<ul style="list-style-type: none"> <li>Provide opportunities for planting alongside boundaries in areas that assist in breaking up the length of continuous built form and/or soften the appearance of the built form.</li> </ul>	<p><b>Satisfied</b> There is opportunity for screen planting along the side and rear boundaries as shown in the landscape plan.</p>
<p><b>Fencing</b></p>	
<ul style="list-style-type: none"> <li>A front fence must be at least 50 per cent transparent.</li> <li>On sites that front Doncaster, Tram, Elgar, Manningham, Thompsons, Blackburn and Mitcham Roads, a fence must:                             <ul style="list-style-type: none"> <li>not exceed a maximum height of 1.8m</li> <li>be setback a minimum of 1.0m from the front title boundary</li> </ul> </li> </ul> <p>and a continuous landscaping treatment within the 1.0m setback must be provided.</p>	<p><b>Satisfied</b> A new retaining wall is proposed along the frontage of the site.</p> <p>The fence of G01 and G02 enclosing the private open spaces is setback to allow the area in front of the fence to be landscaped..</p>

**Two or more dwellings on a lot and residential buildings**

8.15 Pursuant to Clause 55 (Two or more dwellings on a lot and residential buildings), a development must meet all of the objectives of this clause and should meet all of the standards. Furthermore, Clauses 55.03-5, 55.03-6, 55.04-8, 55.05-1, 55.05-2 and 55.05-6 are not applicable to an application to construct an apartment development.

8.16 The following assessment under the provisions of Clause 55 is provided:-

OBJECTIVE	OBJECTIVE MET/NOT MET
<p><b>Clause 55.02 Neighbourhood Character and Infrastructure</b></p>	
<p><b>55.02-1 – Neighbourhood Character</b></p> <ul style="list-style-type: none"> <li>To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.</li> <li>To ensure that development responds to the features of the site and the surrounding area.</li> </ul>	<p><b>Not Satisfied</b></p> <p>There are examples of townhouses and apartment developments within the surrounding area. However, the scale and built form of the proposed development is not considered to provide an appropriate interface or transition to the surrounding properties.</p> <p>As outlined in the assessment of the proposal against the policy requirements of the State and Local Planning Policies, and Assessment Table of the Design and Development Overlay, Schedule 8 (DDO8),</p>

OBJECTIVE	OBJECTIVE MET/NOT MET
	it is considered that the proposed development does not appropriately respond to the preferred neighbourhood character and outcomes, or respect its surrounds.
<p><b>55.02-2 – Residential Policy</b></p> <ul style="list-style-type: none"> <li>To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</li> <li>To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The application was accompanied by a written statement that demonstrated how the applicant considers the development to be consistent with State, Local and Council policy.</p> <p>However, as discussed above an assessment confirms that the development does not comply with the state and local policy framework, thereby not meeting the objective.</p>
<p><b>55.02-3 – Dwelling Diversity</b></p> <ul style="list-style-type: none"> <li>To encourage a range of dwelling sizes and types in developments of 10+ dwellings.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The proposed development provides for 15 two-bedroom dwellings, failing to provide any diverse choice in terms of number of bedrooms.</p>
<p><b>55.02-4 – Infrastructure</b></p> <ul style="list-style-type: none"> <li>To ensure development is provided with appropriate utility services and infrastructure.</li> <li>To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</li> </ul>	<p><b>Satisfied</b></p> <p>The site has access to all services. The applicant will be required to provide an on-site stormwater detention system to alleviate pressure on the drainage system.</p> <p>There are no service supply issues in the subject neighbourhood.</p>
<p><b>55.02-5 – Integration With Street</b></p> <ul style="list-style-type: none"> <li>To integrate the layout of development with the street.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The proposed development is oriented to face Clay Drive however provides a narrow and low key entry to the building. Furthermore, the entry is enclosed and partly obscured by fencing enclosing the secluded private open space of ground floor dwellings.</p> <p>The proposed development provides adequate vehicle links via the basement.</p>

OBJECTIVE	OBJECTIVE MET/NOT MET
<b>Clause 55.03 Site Layout and Building Massing</b>	
<b>55.03-1 – Street Setback</b> <ul style="list-style-type: none"> <li>To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.</li> </ul>	<b>Not Satisfied</b> <p>Although the front setback satisfies the requirement under DDO8, the projection of the top level play area within the front setback results in poor streetscape presentation and unreasonable visual impacts when viewed from the street.</p>
<b>55.03-2 – Building Height</b> <ul style="list-style-type: none"> <li>To ensure that the height of buildings respects the existing or preferred neighbourhood character.</li> </ul>	<b>Satisfied</b> <p>The maximum building height is 11m above natural ground level complying with the DDO-8 requirement.</p>
<b>55.03-3 – Site Coverage</b> <ul style="list-style-type: none"> <li>To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.</li> </ul>	<b>Not Satisfied</b> <p>As discussed above, the calculations carried out (including the roofed terraces and the upper level projections) reveal that the proposed site coverage is approximately 63.7% exceeding the standard requirement.</p>
<b>55.03-4 – Permeability and stormwater management</b> <ul style="list-style-type: none"> <li>To reduce the impact of increased stormwater run-off on the drainage system.</li> <li>To facilitate on-site stormwater infiltration.</li> </ul>	<b>Satisfied</b> <p>At least 20% of the site is comprised of pervious surfaces.</p> <p>The plans show that nearly 34% of the site will be permeable. However, calculations on the landscape plan show that nearly 27% of the site will be permeable, given the use of proposed synthetic turf within the ground floor play areas of the child care centre.</p>
<b>55.03-5 – Energy Efficiency</b> <ul style="list-style-type: none"> <li>To achieve and protect energy efficient dwellings.</li> <li>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</li> </ul>	<b>This clause does not apply to an apartment development.</b>
<b>55.03-6 – Open Space</b> <ul style="list-style-type: none"> <li>To integrate the layout of development with any public and communal open space provided in or adjacent to the development.</li> </ul>	<b>This clause does not apply to an apartment development.</b>



OBJECTIVE	OBJECTIVE MET/NOT MET
<p><b>55.03-7 – Safety</b></p> <ul style="list-style-type: none"> <li>To ensure the layout of development provides for the safety and security of residents and property.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The pedestrian entrance to the building is obscured by the fence enclosing the private open spaces of Dwellings G02 and G03 which also hinders the natural surveillance opportunities, not meeting the standard requirements.</p> <p>The gate to the basement would be open during the day, providing unrestricted access between residential car parking and child care car parking, raising a safety issue.</p> <p>The shared pedestrian access to both uses within the development and lack of separation between the entries to both the child care centre and some of the apartments is also considered to provide poor safety and security to its users.</p>
<p><b>55.03-8 – Landscaping</b></p> <ul style="list-style-type: none"> <li>To encourage development that respects the landscape character of the neighbourhood.</li> <li>To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.</li> <li>To provide appropriate landscaping.</li> <li>To encourage the retention of mature vegetation on the site.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The submitted landscape plan demonstrates a mix of canopy trees, understory and ground covers within the front setback and screen planting capable of growing to maximum height of 3m along the side and rear site boundaries.</p> <p>The development proposes a canopy tree within the private open space of Dwellings G03, G04, G05 and G06 along the northern site boundary.</p> <p>It is proposed to extend the existing crossover into the Tree Protection Zone of an existing Council street tree. Council's City Amenity Unit objects to the proposal given the tree is in a good condition. This forms part of the ground for refusal.</p>
<p><b>55.03-9 – Access</b></p> <ul style="list-style-type: none"> <li>To ensure the number and design of vehicle crossovers respects the neighbourhood character.</li> </ul>	<p><b>Satisfied</b></p> <p>The 6.6m wide accessway would not exceed 12.2m (33% of 37.18m) as allowed by the standard.</p>
<p><b>55.03-10 – Parking Location</b></p> <ul style="list-style-type: none"> <li>To provide convenient parking for resident and visitor vehicles.</li> <li>To protect residents from vehicular noise within developments.</li> </ul>	<p><b>Satisfied</b></p> <p>The basement provides convenient access for car parking via separate lifts for each use as well as a central staircase.</p>

OBJECTIVE	OBJECTIVE MET/NOT MET
<b>Clause 55.04 Amenity Impacts</b>	
<b>55.04-1 – Side And Rear Setbacks</b> <ul style="list-style-type: none"> <li>To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</li> </ul>	<b>Satisfied</b> The proposed development complies with the setback requirements of Clause 55.04-1 for all levels.
<b>55.04-2 – Walls On Boundaries</b> <ul style="list-style-type: none"> <li>To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.</li> </ul>	<b>N/A</b> No walls on boundaries are proposed.
<b>55.04-3 – Daylight To Existing Windows</b> <ul style="list-style-type: none"> <li>To allow adequate daylight into existing habitable room windows.</li> </ul>	<b>Satisfied</b> Windows in neighbouring dwellings are provided the necessary light court and setbacks from the development.
<b>55.04-4 – North Facing Windows</b> <ul style="list-style-type: none"> <li>To allow adequate solar access to existing north-facing habitable room windows.</li> </ul>	<b>Not Satisfied</b> The habitable room windows of south adjoining dwelling at 6/25 Clay Drive are within 3m from the common site boundary. The southern setback (approx. 3.4m) of the development at first floor living room of Dwelling 102, with a wall height of approximately 8.4m does not comply with the standard requirement, impeding the northern solar access to the existing windows.
<b>55.04-5 – Overshadowing Open Space</b> <ul style="list-style-type: none"> <li>To ensure buildings do not significantly overshadow existing secluded private open space.</li> </ul>	<b>Not Satisfied</b> Given the areas of secluded private open spaces of adjoining properties (4 and 6 Merlin Street, and 20 and 22 Frederick Street) to the west and south, will continue to receive adequate sunlight during the relevant times of the day, the proposal complies with the standard requirement.  The south adjoining dwelling at 6/25 Clay Drive also has its secluded private open space adjacent to the common site boundary.  The plans do not clearly demonstrate the area of its secluded private open receiving sunlight, however it is calculated to be less than 40sqm. In this instance the

OBJECTIVE	OBJECTIVE MET/NOT MET
	<p>development should not further reduce the solar access to this private open space any further.</p> <p>An assessment of the shadow diagrams submitted with the application show that the shadow angles and their lengths during the relevant times of the day are inaccurate.</p> <p>Therefore, it is anticipated that the shadow of the proposed development will further reduce the solar access to the existing private open space of 6/25 Clay Drive, not meeting the objective.</p>
<p><b>55.04-6 – Overlooking</b></p> <ul style="list-style-type: none"> <li>To limit views into existing secluded private open space and habitable room windows.</li> </ul>	<p><b>Not Satisfied</b></p> <p>Ground floor level: The views from the ground floor level private open spaces, windows, children room and play areas are adequately screened by the proposed boundary fences.</p> <p>The views from the ground floor bedrooms and south facing balcony of G01 are screened. However this screening will be detrimental to internal amenity given the narrowness of part of the balcony. Concern is raised with views from the ground floor childcare centre windows to the south and in some instances it is difficult to determine the extent of any potential overlooking as a result of planting shown on the plans and the visibility of the clarity of the type and height of windows.</p> <p>First floor level: Development raises concerns of overlooking into the private open spaces and habitable room windows of adjoining properties from the following locations:</p> <ul style="list-style-type: none"> <li>Bedrooms/Living room and balcony of Dwelling 105, 106 and 107 towards north elevation</li> <li>Living room, bedrooms and balconies of Dwelling 107 and 108 towards west elevation</li> <li>Living room, kitchen and bedroom of Dwelling 102 and balconies of Dwellings 101 and 108 towards south elevation. The proposed</li> </ul>

OBJECTIVE	OBJECTIVE MET/NOT MET
	<p>1.39m high balustrade with angled screening to these balconies is considered inadequate to limit overlooking as per the standard requirement.</p> <p>In summary, a number of non-screened habitable room windows and balconies have direct views to habitable room windows of adjoining properties to the north and south.</p> <p>The amount of screening required at the first floor levels habitable windows and balconies is considered extensive which if treated with external screens will contribute to poor internal amenity for future residents.</p>
<p><b>55.04-7 – Internal Views</b></p> <ul style="list-style-type: none"> <li>To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.</li> </ul>	<p><b>Satisfied</b></p> <p>Screened through dividing walls and 1.7m high screens.</p> <p>The internal views between the uses at ground floor level will be limited by 1.8m high internal fencing.</p> <p>The views from the first floor south facing balconies into the play areas at the ground floor are proposed to be limited by 1m balustrades with 390mm high, 45 degree angle screening atop. Similarly west facing balcony of Dwelling 108 is proposed with a balustrade and angled screening to limit overlooking into the play area below.</p>
<p><b>55.04-8 – Noise Impacts</b></p> <ul style="list-style-type: none"> <li>To contain noise sources in developments that may affect existing dwellings.</li> <li>To protect residents from external noise.</li> </ul>	<p><b>This clause does not apply to an apartment development.</b></p>
<p><b>Clause 55.05 Onsite Amenity and Facilities</b></p>	
<p><b>55.05-1 – Accessibility</b></p> <ul style="list-style-type: none"> <li>To encourage the consideration of the needs of people with limited mobility in the design of developments.</li> </ul>	<p><b>This clause does not apply to an apartment development.</b></p>
<p><b>55.05-2 – Dwelling Entry</b></p> <ul style="list-style-type: none"> <li>To provide each dwelling or residential building with its own sense of identity.</li> </ul>	<p><b>This clause does not apply to an apartment development.</b></p>

OBJECTIVE	OBJECTIVE MET/NOT MET
<p><b>55.05-3 – Daylight To New Windows</b></p> <ul style="list-style-type: none"> <li>To allow adequate daylight into new habitable room windows.</li> </ul>	<p><b>Satisfied</b></p> <p>All habitable room windows of the proposed dwellings face onto an outdoor space with minimum area of 3m<sup>2</sup> and a minimum dimension of 1.0m, in accordance with Standard B27.</p>
<p><b>55.05-4 – Private Open Space</b></p> <ul style="list-style-type: none"> <li>To provide adequate private open space for the reasonable recreation and service needs of residents.</li> </ul>	<p><b>Not Satisfied</b></p> <p>Ground floor dwellings G02, G03, G04, G05 and G06 are provided with adequate secluded private open space.</p> <p>However dwelling G01 is provided with only 10sqm that does not comply with standard requirement.</p>
<p><b>55.05-5 – Solar Access To Open Space</b></p> <ul style="list-style-type: none"> <li>To allow solar access into the secluded private open space of new dwellings and residential buildings.</li> </ul>	<p><b>Not Satisfied</b></p> <p>Most balconies/terraces and private open spaces are either northern, eastern or western orientation and will receive a suitable amount of sunlight.</p> <p>Apartments 101 and 109 however, will have south facing balconies and will generally be overshadowed. It is noted that these balconies are likely to receive some sunlight from an easterly or westerly aspect, be that marginal.</p>
<p><b>55.05-6 – Storage</b></p> <ul style="list-style-type: none"> <li>To provide adequate storage facilities for each dwelling.</li> </ul>	<p><b>This clause does not apply to an apartment development.</b></p>
<p><b>Clause 55.06 Detailed Design</b></p>	
<p><b>55.06-1 – Design Detail</b></p> <ul style="list-style-type: none"> <li>To encourage design detail that respects the existing or preferred neighbourhood character.</li> </ul>	<p><b>Not Satisfied</b></p> <p>As discussed above, the objectives and design guidelines of Clause 43.02 (DDO8) envisage contemporary, articulated and integrated architectural expression taking into account the existing and preferred neighbourhood character. The proposal fails to deliver as follows:</p> <ul style="list-style-type: none"> <li>The extent of the built form combined with the robust architectural expression especially at second floor level is considered inappropriate.</li> </ul>

OBJECTIVE	OBJECTIVE MET/NOT MET
	<ul style="list-style-type: none"> <li>The extent of external screening (already provided and required) to limit overlooking along-side and rear elevations will also unnecessarily contribute to the perceived visual bulk of the development and poor internal amenity for future occupiers of the building.</li> </ul>
<b>55.06-2 – Front Fence</b> <ul style="list-style-type: none"> <li>To encourage front fence design that respects the existing or preferred neighbourhood character.</li> </ul>	<b>Satisfied</b> Fencing enclosing the private open spaces of G02 and G03 are setback 3.1m from the site frontage and will be adequately screened by proposed landscaping.
<b>55.06-3 – Common Property</b> <ul style="list-style-type: none"> <li>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</li> <li>To avoid future management difficulties in areas of common ownership.</li> </ul>	<b>Not Satisfied</b> Common Property is proposed within the basement, pedestrian entrances, foyers and communal areas.  The shared lobby area between the child care centre and the apartments is not practically designed and will potentially result in management difficulties.  Additionally, shared access between residents and users of the centre from Clay Drive is not considered a great design outcome.
<b>55.06-4 – Site Services</b> <ul style="list-style-type: none"> <li>To ensure that site services can be installed and easily maintained.</li> <li>To ensure that site facilities are accessible, adequate and attractive.</li> </ul>	<b>Satisfied</b> Meters are provided in cabinets by the main pedestrian entrance, perpendicular to the street.  Bin and recycling for both residential and retail uses is suitably located within the basement.  No roof top equipment is indicated on the plans however.
<b>Clause 55.07 Apartment Developments</b>	
<b>55.07-1 – Energy efficiency</b> <ul style="list-style-type: none"> <li>To achieve and protect energy efficient dwellings and buildings.</li> <li>To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.</li> </ul>	<b>Not Satisfied</b> The submitted Sustainability Management Plan states that for the purpose of BESS assessment 6.5 star average results have been assumed with cooling energy lower than 30MJ/M <sup>2</sup> .  8 of the 15 dwellings will have living areas opening out to balconies and terraces with northern orientation. The rest of the

OBJECTIVE	OBJECTIVE MET/NOT MET
<ul style="list-style-type: none"> <li>To ensure dwellings achieve adequate thermal efficiency.</li> </ul>	<p>dwellings except for Dwellings 101 and 109, will either have exposure to the eastern or western sun. However, the projection of the second floor area to the eastern building façade will limit solar access and daylight to Dwellings 102 and 103.</p> <p>Dwellings 101 and 109 are also considered to perform poorly in terms of access to daylight and solar energy given that the habitable room windows are proposed to be externally screened up to 1.7m to limit unreasonable overlooking.</p> <p>Additionally, the north facing Bedrooms of Dwellings G03, G06, 104 and 107 are proposed with highlight windows, which will also limit northern solar access into the dwellings that does not meet the objective.</p>
<p><b>55.07-2 – Communal Open Space</b></p> <ul style="list-style-type: none"> <li>To ensure that communal open space is accessible, practical, attractive, easily maintained and integrated with the layout of the development.</li> </ul>	<p><b>N/A</b> No external communal open space is proposed.</p>
<p><b>55.07-3 – Solar Access to Communal Open Space</b></p> <ul style="list-style-type: none"> <li>The communal outdoor open space should be located on the north side of a building, if appropriate.</li> </ul>	<p><b>N/A</b> No external communal open space is proposed.</p>
<p><b>55.07-4 – Deep soil areas and canopy trees</b></p> <ul style="list-style-type: none"> <li>To promote climate responsive landscape design and water management in developments to support thermal comfort and reduce the urban heat island effect.</li> </ul>	<p><b>Satisfied</b> The proposed development would provide adequate opportunities (approximately 180 m<sup>2</sup> within the front setback of the development) for deep soil planting and landscaping. The submitted landscape plan shows plantation of four canopy trees within this deep soil area meeting the requirement of the standard.</p>
<p><b>55.07-5 Integrated water and stormwater management</b></p> <ul style="list-style-type: none"> <li>To encourage the use of alternative water sources such as rainwater, stormwater and recycled water.</li> </ul>	<p><b>Satisfied</b> A 10,000L underground rainwater tank is proposed within the basement, according to the Sustainable Management Plan, and will be connected to toilets for flushing and landscape irrigation.</p>

OBJECTIVE	OBJECTIVE MET/NOT MET
<ul style="list-style-type: none"> <li>To facilitate stormwater collection, utilisation and infiltration within the development.</li> <li>To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.</li> </ul>	<p>Council’s Engineers have required an on-site stormwater detention system to alleviate pressure on the drainage system.</p>
<p><b>55.07-6 Noise Impacts</b></p> <ul style="list-style-type: none"> <li>To contain noise sources in developments that may affect existing dwellings.</li> <li>To protect residents from external and internal noise sources.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The submitted acoustic report provides measures to protect the adjoining residential properties from the noise levels generated by the proposed uses. These include the provision of acoustic fences, cavities between common walls of child care centre and Dwelling G06, construction of a minimum of 200mm concrete slab for the first floor level dwellings, installing rubber underlay in floor areas of child care centre amongst other recommendation.</p> <p>However, the balconies of Dwellings 108 and 109 are considered to be affected by the noise from the play areas below, providing poor amenity to the dwellings.</p> <p>Furthermore, a shared entrance to the building from Clay Drive will also add to potential noise issues, especially for GO1 and GO2.</p>
<p><b>55.07-7 Accessibility</b></p> <ul style="list-style-type: none"> <li>To ensure the design of dwellings meets the needs of people with limited mobility.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The dwelling entries are measured to be at least 1.0m wide and one of the bedroom doors is provided with a minimum opening of 850mm.</p> <p>However, most dwellings assessed under the Standard do not comply with the requirements and therefore do not comply with Standard B41.</p> <ul style="list-style-type: none"> <li>Bathrooms of most of the dwellings appear to have a maximum 800mm door opening and these are not opposite the shower areas (except for Dwellings G01 and 102).</li> <li>The toilets have not been located in the corner or closest to the door opening.</li> </ul>



OBJECTIVE	OBJECTIVE MET/NOT MET
<p><b>55.07-8 Building Entry And Circulation</b></p> <ul style="list-style-type: none"> <li>• To provide each dwelling and building with its own sense of identity.</li> <li>• To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.</li> <li>• To ensure internal communal areas provide adequate access to daylight and natural ventilation.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The building entry has not been designed to allow for clear identification and provide a sense of entry given its narrow width and limited size. The fences enclosing the front private open spaces will additionally obscure the views to this building entrance. The reliance on timber arches is considered an afterthought and does not adequately define the entry but will instead be detrimental to the overall streetscape presentation.</p> <p>The entry to the ground floor dwellings are provided via a lobby which also provides an entry to the users of the child care centre. This common entrance fails to clearly distinguish entrances to residential and non-residential areas as per the objective.</p> <p>Dwelling entries to G01 and G02 directly opposite the entrance of the child care centre is considered a poor transitional space around the entry. The amenity of the residents of these dwellings will also be affected by children strolling around the entrance of the child care centre during the pick-up and drop-off times.</p> <p>Similarly dwelling entries for G03 and G04 from the common lobby and at the first floor level entries to Dwellings 101, 108 and 109 down the hallway adjacent to the storage enclosure, is considered to be an undesirable design outcome providing a poor sense of identity to the dwellings.</p> <p>An unclear transition space between these dwelling entries and child care centre also raises safety concerns for children at the centre.</p> <p>The ground floor corridors providing access to G01, G02, G05 and G06 does not include source of natural light or ventilation providing a poor entrance to the dwellings.</p> <p>The communal lounge at the first floor level is also considered to offer little amenity benefit to the residents due to its poor access to natural light and direct access from Dwellings 102, 103, 104 and 105, not meeting the objectives of the standard B42.</p>

OBJECTIVE	OBJECTIVE MET/NOT MET
<p><b>55.07-9 Private Open Space Above Ground Floor</b></p> <ul style="list-style-type: none"> <li>To provide adequate private open space for the reasonable recreation and service needs of residents.</li> </ul>	<p><b>Satisfied</b></p> <p>The dwellings are provided with appropriate private open space areas, with each dwelling having a minimum of 10sqm of terrace/balcony.</p>
<p><b>55.07-10 Storage</b></p> <ul style="list-style-type: none"> <li>To provide adequate storage facilities for each dwelling.</li> </ul>	<p><b>Not Satisfied</b></p> <p>The plans do not demonstrate that compliance with the provision of 14 m<sup>3</sup> of storage space for each dwelling is provided.</p>
<p><b>55.07-11 Waste and Recycling</b></p> <ul style="list-style-type: none"> <li>To ensure dwellings are designed to encourage waste recycling.</li> <li>To ensure that waste and recycling facilities are accessible, adequate and attractive.</li> <li>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm.</li> </ul>	<p><b>Satisfied</b></p> <p>The submitted waste management plan proposes a private waste collection provided within the basement. Separate bins will be provided for residential and child care use within the development.</p>
<p><b>55.07-12 Functional Layout</b></p> <ul style="list-style-type: none"> <li>To ensure dwellings provide functional areas that meet the needs of residents.</li> </ul>	<p><b>Not Satisfied</b></p> <p>All of the bedrooms comply with the minimum dimensions required under the standard. However, the minimum living areas provided for Dwellings G02, G04, G04, 105 and 106 are inclusive of the dining areas, which do not comply with the standard.</p> <p>Further details are required in relation to floor to ceiling heights internally within some of the bedrooms adjacent to emergency staircases.</p>
<p><b>55.07-13 Room Depth</b></p> <ul style="list-style-type: none"> <li>To allow adequate daylight into single aspect habitable rooms.</li> </ul>	<p><b>Satisfied</b></p> <p>The depth of the living/dining/kitchen areas of the dwellings comply with this standard requirement as their maximum depth is 8.5m (except for Dwelling 103) with kitchens located furthest from the windows.</p>

OBJECTIVE	OBJECTIVE MET/NOT MET
	The maximum depth of living/kitchen/dining room of Dwelling 103 is 9.05m, with the kitchen furthest from the window. This minor non-compliance is not considered detrimental to the amenity of the dwelling.
<b>55.07-14 Windows</b> <ul style="list-style-type: none"> <li>To allow adequate daylight into new habitable room windows.</li> </ul>	<b>Satisfied</b> <p>The orientation of the rooms will allow for adequate daylight into the habitable room windows in accordance with the standard.</p>
<b>55.07-15 Natural Ventilation</b> <ul style="list-style-type: none"> <li>To encourage natural ventilation of dwellings.</li> <li>To allow occupants to effectively manage natural ventilation of dwellings.</li> </ul>	<b>Not Satisfied</b> <p>The breeze paths for more than 40% of the dwellings are shown between openings on the same orientation (e.g. G02, G04, G05, 101, 103, 105, 106, 108 and 109), which does not comply with the standard that requires them to be measured between ventilation openings on different orientations of the dwellings.</p> <p>The breeze paths for Dwellings G03, G06, 104 and 107 are between a full sized window and a highlight window on the north elevation, which does not comply with the standard for them to be between ventilation openings with approximately the same area.</p> <p>Only Dwellings G01 and 102 comply with the requirements of the standard, which fails to achieve an overall 40 per cent of dwellings providing effective cross ventilation under the standard.</p>

### Child Care Centre

- 8.17 Clause 22.05 supports a range of non-residential uses within residential areas and encourages uses with a community role to be located in close proximity to activity centres.
- 8.18 Clause 22.05 further states that..... '*Non-residential uses should abut a Road Zone, and where possible, with vehicular access from a service road to avoid the generation of additional through traffic on residential streets, particularly where such uses are likely to serve catchments beyond the local level.*' The proposed child care centre with a 100 children capacity is considered to serve a catchment beyond the local level and in the absence of a main road abuttal or a service road access, the traffic generated on the residential streets will adversely affect the amenity of the neighbourhood.

- 8.19 The site is also isolated from any other non-residential uses not meeting the objective of the policy under Clause 22.05 which encourages clustering of non-residential uses benefiting the local community by allowing multi-purpose trips reducing car dependency.
- 8.20 Clause 22.05 also emphasises that in '*locations not identified for residential growth, non-residential uses are encouraged to utilise existing residential buildings (where appropriate converted to suit the use), in preference to a purpose-built premise.*' For sites not meeting the location criteria, the policy recommends use of existing built form to be re-purposed for non-residential uses. The subject site is not identified under areas for residential growth, and therefore a purpose built premise for a 100 space child care does not comply with the location objective of the policy.
- 8.21 The provision of six dwellings at the ground floor level with an approximate area of 130sqm of central area for circulation, results in pushing the child care centre and associated play areas to the southern and western edges of the site. Child care centres of this scale have high amounts of on-site activity levels and therefore its placement to the sensitive interface of the site is not appropriate and does not comply with the objectives of Clause 22.05 of the Scheme.
- 8.22 The proposed child care centre is also considered to affect the amenity of the future residents of the development. For instance, although Dwellings 108 and 109 are proposed with acoustic glazing to reduce the noise levels, the balconies of these dwellings will not be protected from the noise levels generated by the outdoor play areas thereby affecting the amenity of the future residents. Additionally, as discussed above the overhangs and projections of the first and second floor towards the south and west facades not only contribute to the visual bulk but will also result in poor solar access to child rooms at the ground floor level resulting in poor on-site amenity, not complying with the objectives of Clause 22.05 of the Scheme.

### **Car Parking and traffic**

#### Car Parking

- 8.23 Pursuant to Clause 52.06 of the Manningham Planning Scheme each two-bedroom dwelling is required to provide one vehicle space per dwelling and a 0.22 car spaces per child.
- 8.24 Given that the development is for more than five dwellings and that the site is located within the Principal Public Transport Network buffer area, the development does not necessitate provision of any visitor car parking space.
- 8.25 The development therefore generates a car parking requirement of 37 car parking spaces (15 for dwellings and 22 for the child care centre). The proposal provides for a total of 42 car parking spaces which exceeds the planning scheme requirement by 5 spaces. The submitted plans show the provision of 2 additional car spaces for the child care centre and 3 additional spaces within the designated residential car parking area.

8.26 An assessment against the car parking design standards at Clause 52.06-9 is provided in the table below:

Design Standard	Assessment
1 – Accessways	<ul style="list-style-type: none"> <li>The accessway to the basement car park meets the minimum width and height clearance requirements.</li> <li>A minimum 2.1m headroom has been provided beneath the overhead obstruction.</li> <li>A passing area is not required as the accessway is less than 50m long. A convex mirror at the bottom of the ramp will assist visibility on the blind corner.</li> <li>Submitted swept path diagrams show that all vehicles are able to exit the site in a forwards direction.</li> <li>An adequate visibility splay area is provided along the exit lane.</li> <li>A 4 metre internal radius is provided at changes of direction.</li> </ul>
2 – Car Parking Spaces	<ul style="list-style-type: none"> <li>Car parking spaces are provided in accordance with the dimensions and clearance areas required.</li> </ul>
3 – Gradients	<ul style="list-style-type: none"> <li>Driveway gradients have been assessed as compliant with the standard.</li> </ul>
4 – Mechanical Parking	<ul style="list-style-type: none"> <li>No mechanical parking is proposed.</li> </ul>
5 – Urban Design	<ul style="list-style-type: none"> <li>The double width crossover and driveway does not dominate public space however the crossover impacts on an existing street tree.</li> <li>The basement projection will be approximately 1.1m above natural ground level towards the site frontage. This is considered to be obscured by the proposed landscaping and ground floor projection.</li> </ul>
6 – Safety	<ul style="list-style-type: none"> <li>Access to the residential car parking area is secured by a security gate which will remain open during childcare operating hours. This does not provide security for residential tenants.</li> <li>Pedestrian access from the site frontage is clearly separated from the roadway.</li> </ul>
7 – Landscaping	<ul style="list-style-type: none"> <li>The proposed landscaping is considered to soften the appearance of the driveway and the basement car park. Appropriate landscaping has been proposed along the site boundaries.</li> </ul>

### Traffic

8.27 Council Engineers have raised concerns regarding high levels of parking demands already on Clay Drive and Merlin Street due to the nearby activity centre and bus stop along Tram road. Any additional on-street parking demand by the Child care centre is undesirable as it will increase traffic congestion along Clay Drive and will present a potential traffic hazard.

8.28 It is also considered that the increase in traffic as a result of the child care centre being located on a local residential street will result in additional amenity impacts to the nearby properties.

- 8.29 The traffic movements associated with the child care centre during peak hours will also result in on-site amenity impacts to the residents, given the car park layout will result in a conflict of traffic movements between vehicles for the child care centre and the residents.

### **Objector Concerns**

- 8.30 A response to the grounds of objection is provided in the paragraphs below:

#### Off-site amenity impacts (lack of privacy, overlooking, noise generated by children and mechanical equipment);

- 8.31 As discussed in the report, the development results in unreasonable off-site amenity impacts to the adjoining properties including overlooking.

#### Design and built form (height and bulk);

- 8.32 As discussed in the report, the development does not adequately respond to the character of the area and results in unreasonable visual bulk.

#### Traffic and car parking (lack of off-street and on-street car parking, traffic congestion)

- 8.33 The number of on-site car parking spaces provided meets the requirement for the proposed uses.

- 8.34 As discussed above, the increase in traffic and potential demand for on-street car parking as a result of the child care centre being located on a local residential street will result in additional amenity impacts to the nearby properties.

#### Location of the child care centre in a multi-level building

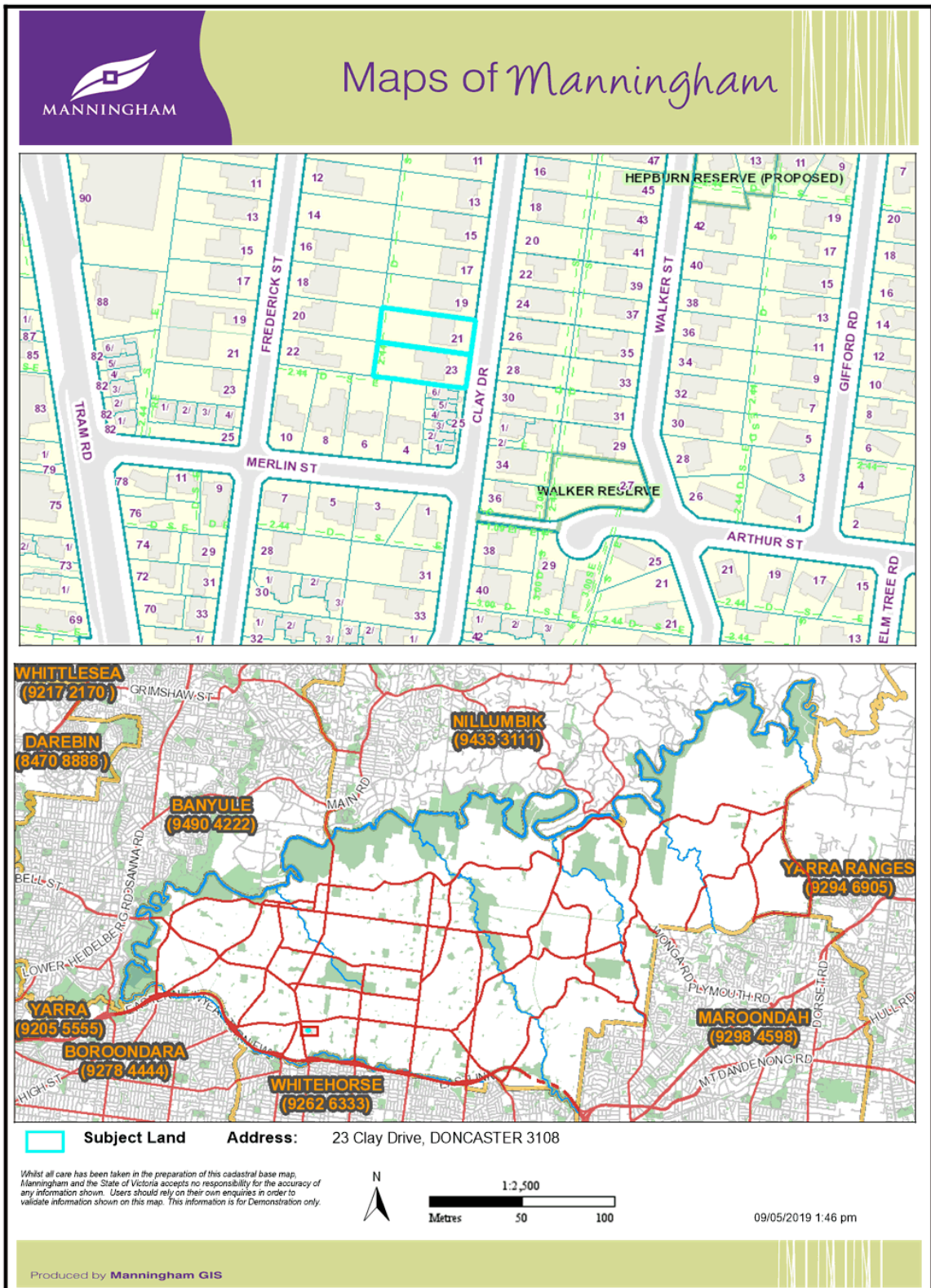
- 8.35 As discussed in the report, the location of the child care centre is considered inappropriate when assessed against Clause 22.05 of the Scheme.

## **9. CONCLUSION**

- 9.1 It is recommended that the application be refused.

## **10. DECLARATION OF CONFLICT OF INTEREST**

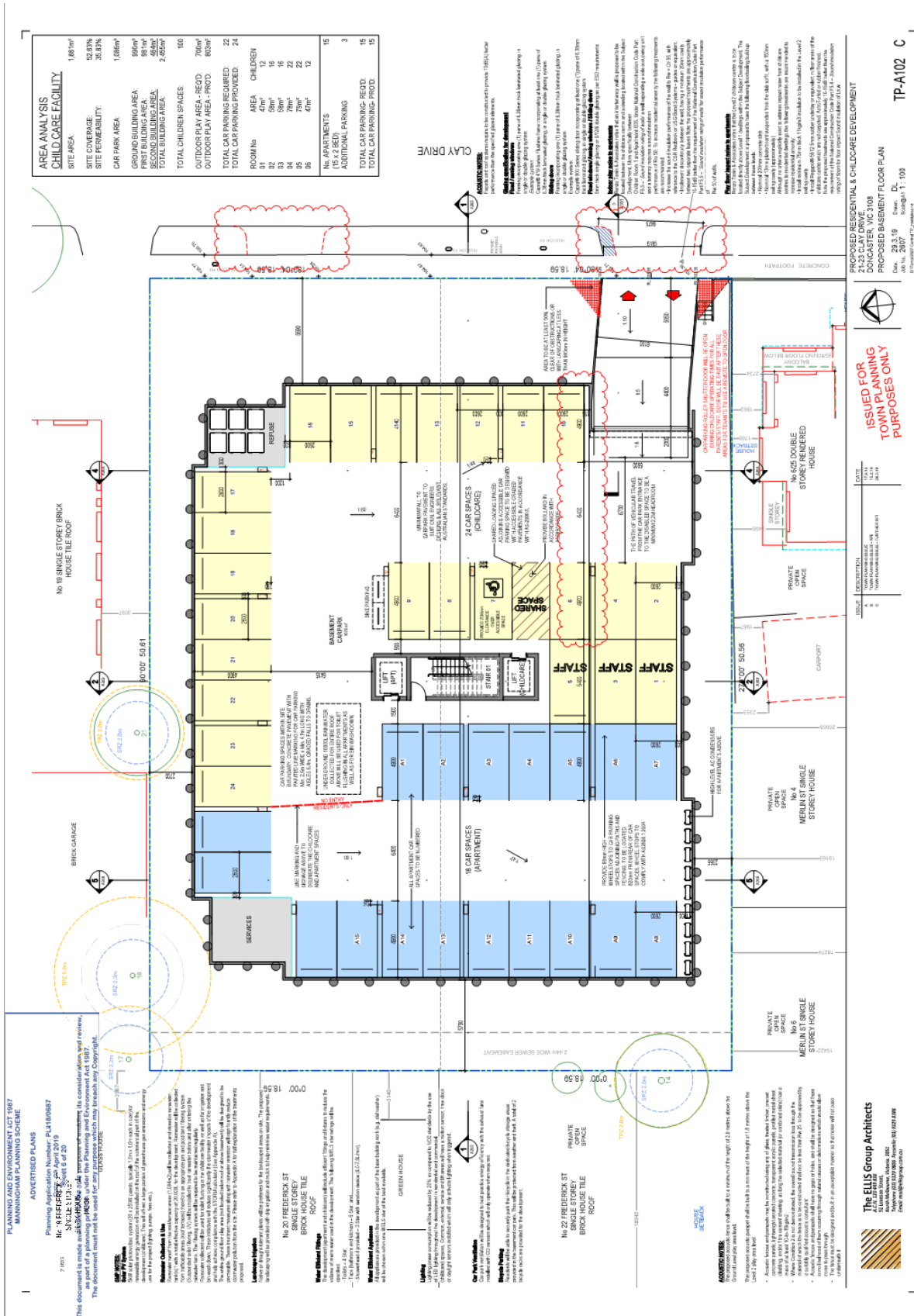
- 10.1 No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.









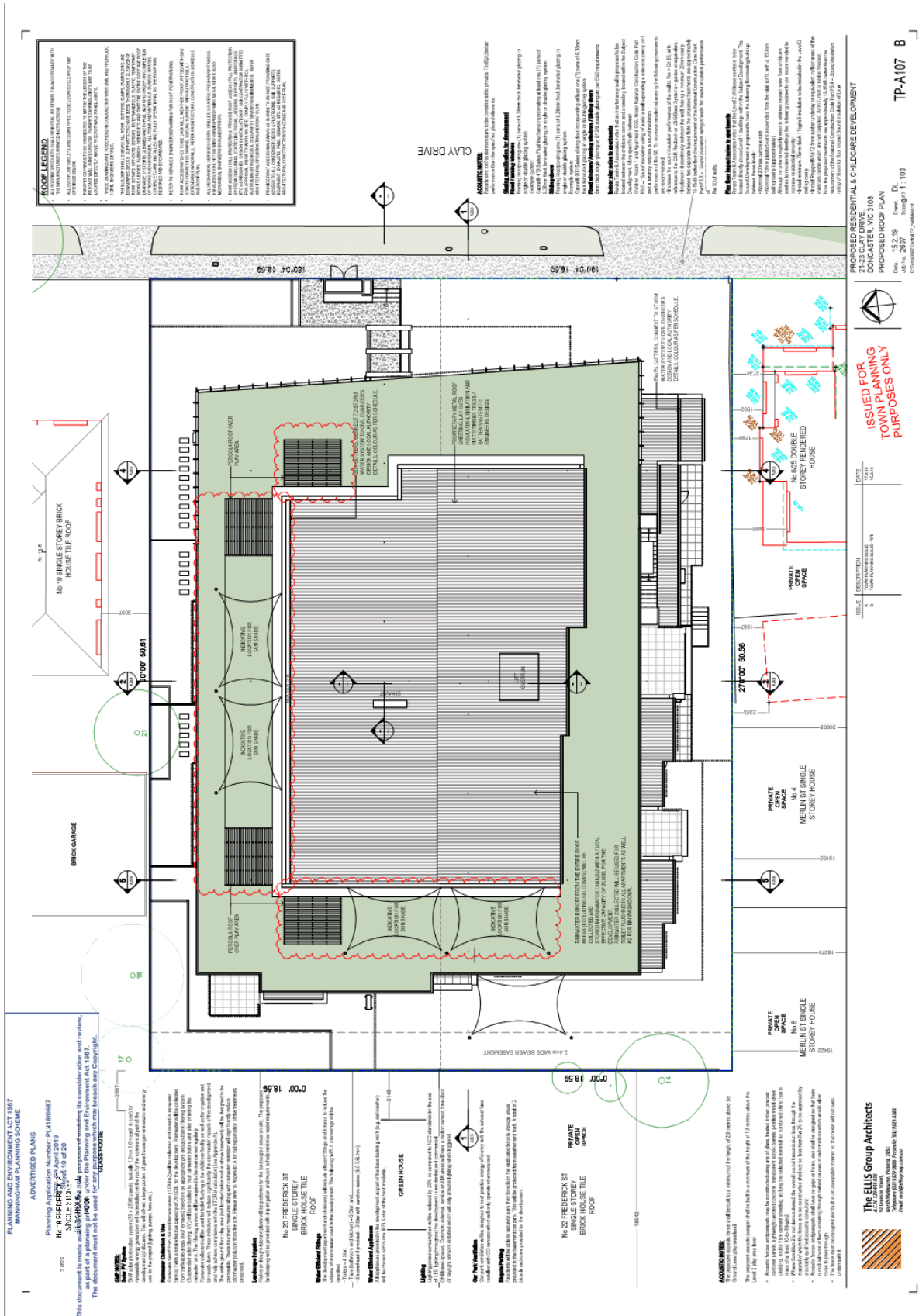






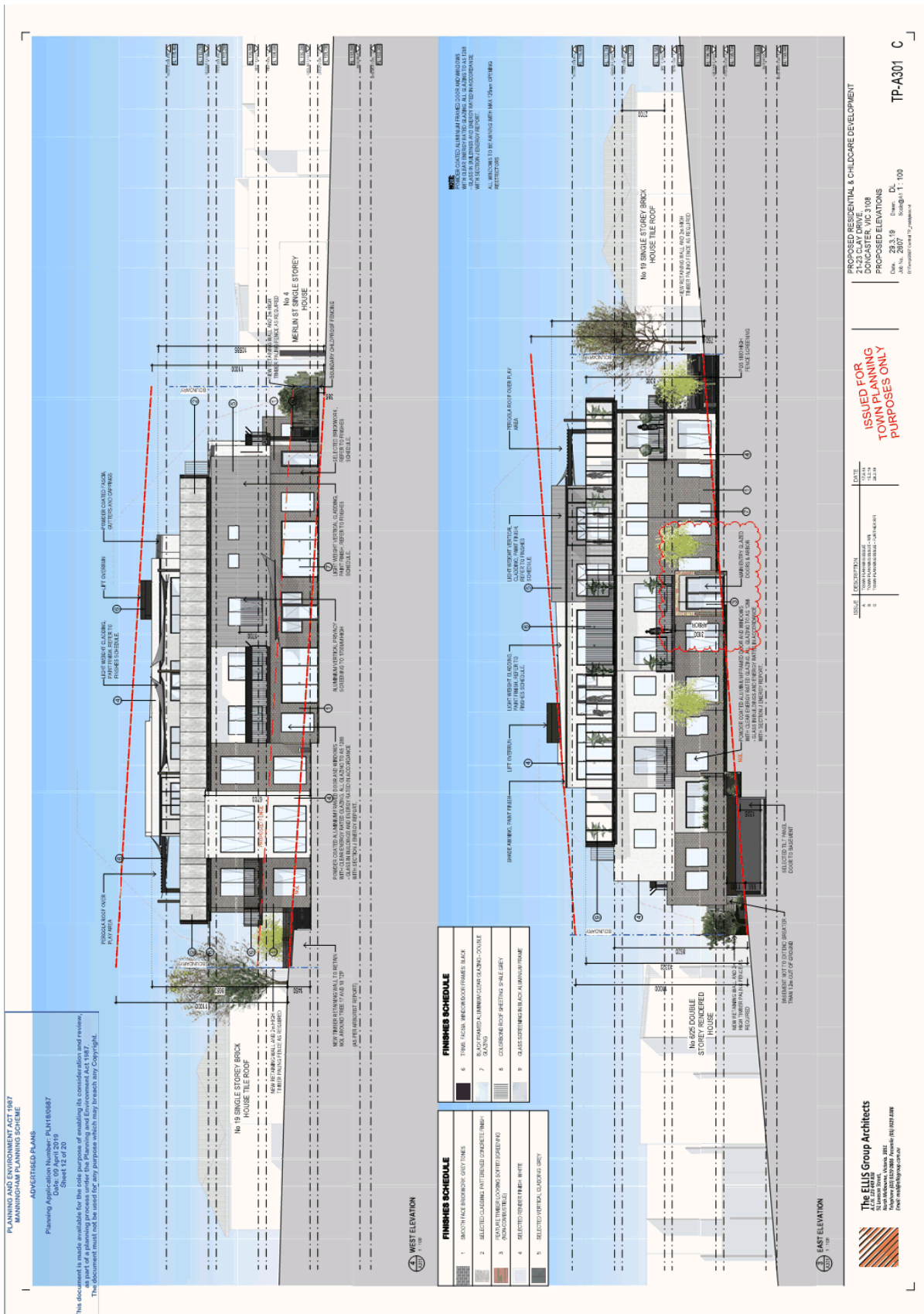










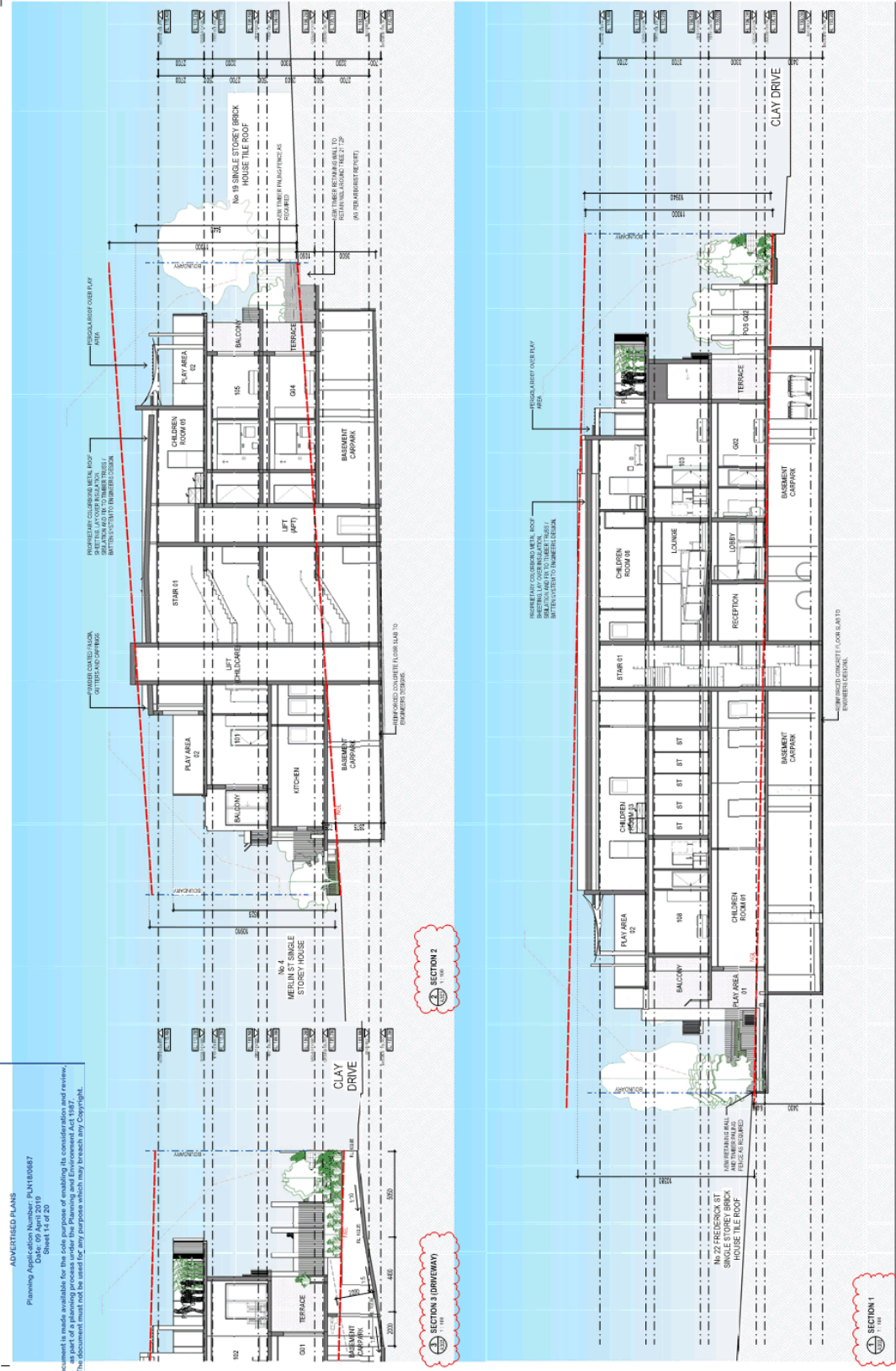






PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application No: M19/00887  
 Date: 09 April 2019  
 Sheet 14 of 20

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



PROPOSED RESIDENTIAL & CHILDCARE DEVELOPMENT  
 200-204 CLAY DRIVE  
 PROPOSED SECTIONS  
 Date: 28.3.19  
 Scale: 1:100  
 TP-A303 C

ISSUED FOR TOWN PLANNING PURPOSES ONLY

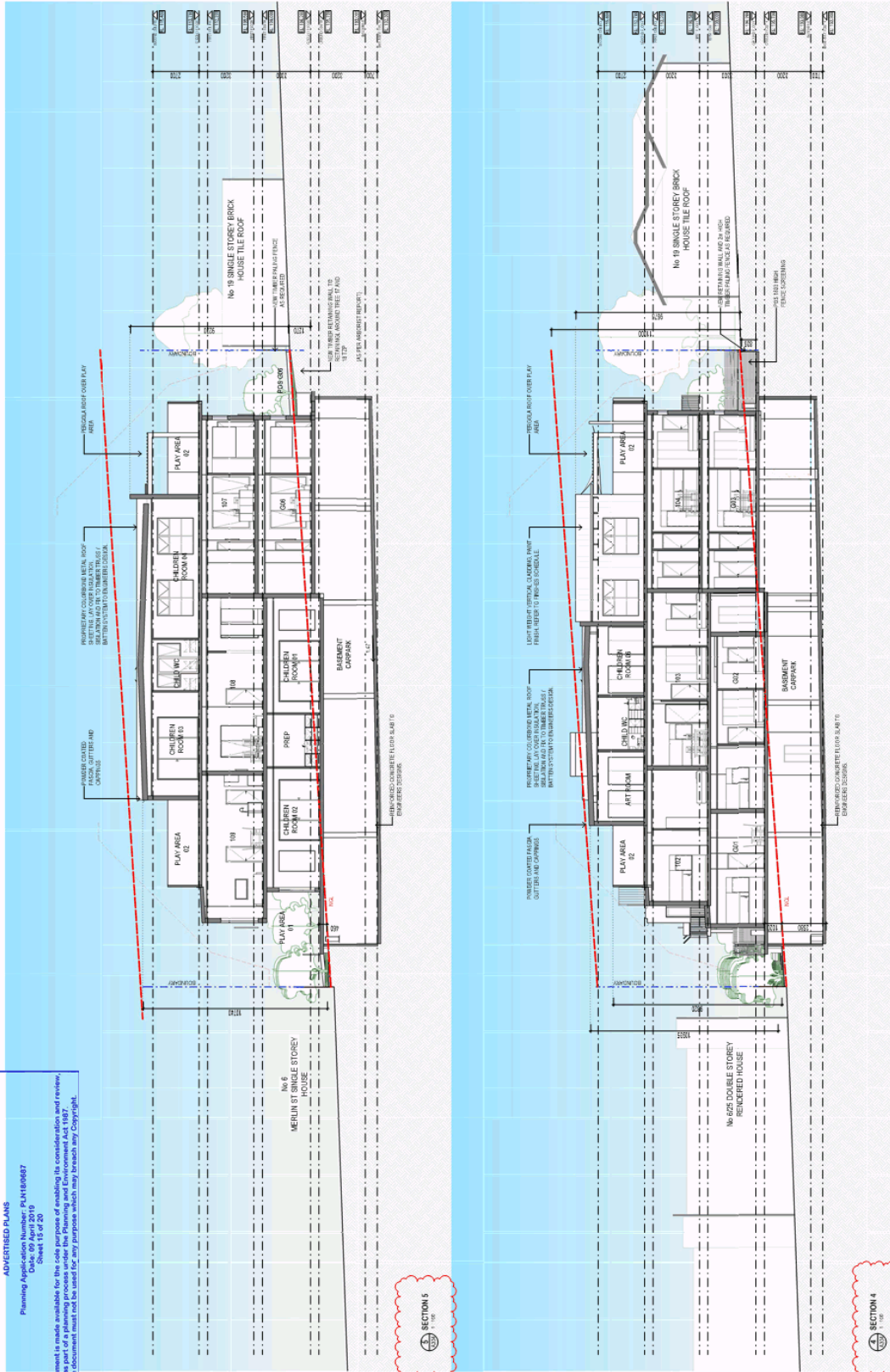
REVISION	DESCRIPTION	DATE
1	ISSUED FOR TOWN PLANNING PURPOSES ONLY	28.3.19
2		
3		

The Ellis Group Architects  
 100-102 MANNINGHAM AVENUE  
 MANNINGHAM VIC 3088  
 PH: 03 9457 1000  
 WWW.ELLISGROUPARCHITECTS.COM



PLANNING AND ENVIRONMENT ACT 1987  
 ADVERTISED PLANS  
 MANNINGHAM PLANNING SCHEME  
 Planning Application No. M1100687  
 Date: 09 April 2019  
 Sheet 15 of 20

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987.  
 The document must not be used for any purpose which may infringe any Copyright.



SECTION 1  
 1:100

SECTION 4  
 1:100

The Ellis Group Architects  
 111/113 High Street  
 South Melbourne, Victoria 3205  
 Phone: 03 9594 1111  
 Email: info@ellisgroup.com.au

ISSUE	DESCRIPTION	DATE
1	ISSUED FOR TOWN PLANNING PURPOSES ONLY	28.5.19
2		28.5.19
3		28.5.19
4		28.5.19

PROPOSED RESIDENTIAL & CHILDCARE DEVELOPMENT  
 200-202 BUNNICK LANE  
 PROPOSED SECTIONS  
 Date: 28.5.19  
 Drawn: D  
 Scale: 1:100  
 © Ellis Group Ltd 2019

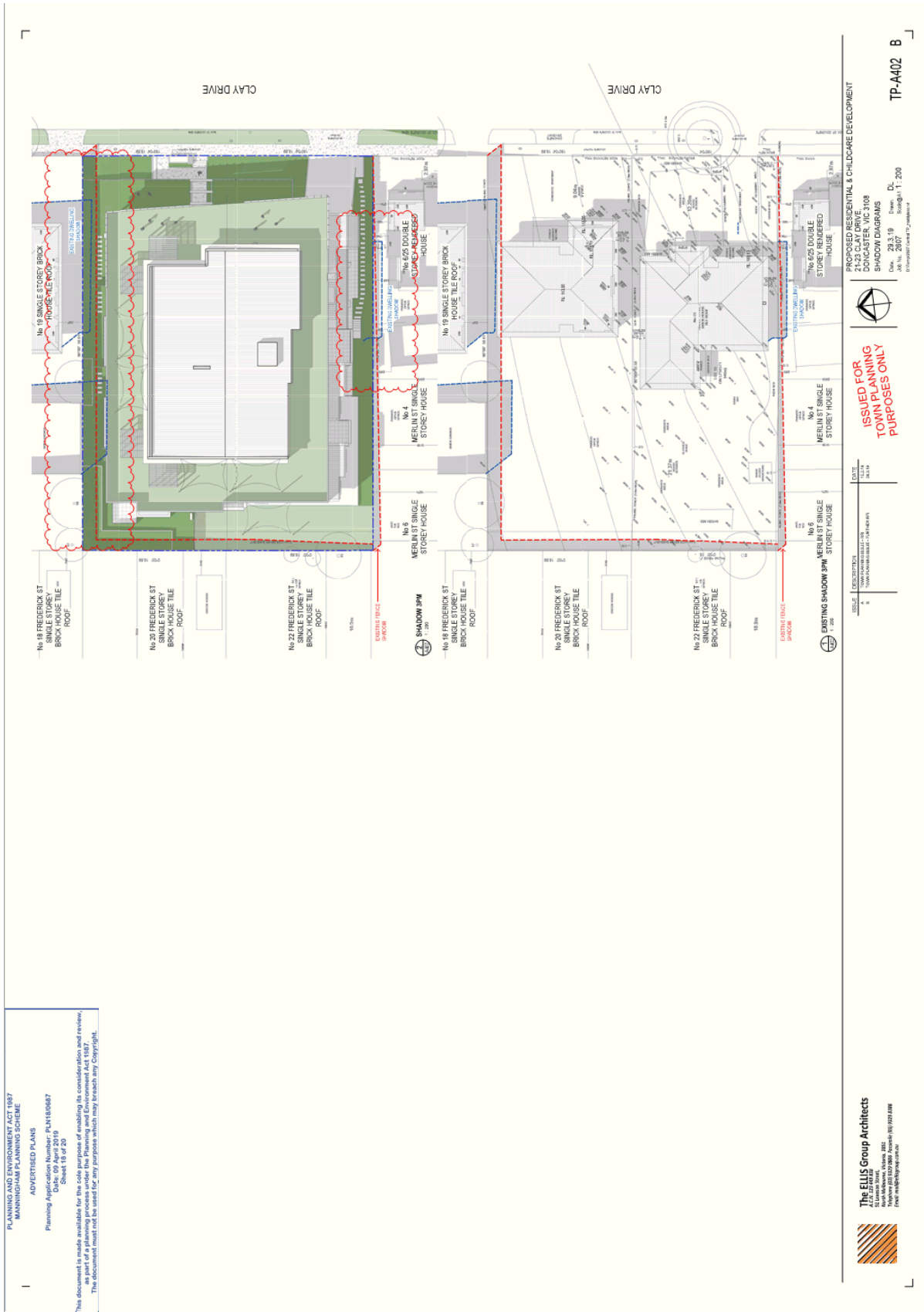
TP-A304 C





PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application Number: MNT180687  
 Date: 09 April 2019  
 Sheet 18 of 20

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.



ISSUED FOR TOWN PLANNING PURPOSES ONLY



PROPOSED RESIDENTIAL & CHILDCARE DEVELOPMENT  
 200-210 FREDERICK ST  
 MANNINGHAM VIC 3088  
 SHADOW DIAGRAMS  
 Date: 20.3.19  
 Scale: 1:200

The Ellis Group Architects  
 61/200 FREDERICK ST  
 MANNINGHAM VIC 3088  
 Phone: 03 9459 1222  
 Email: info@ellisgroup.com.au

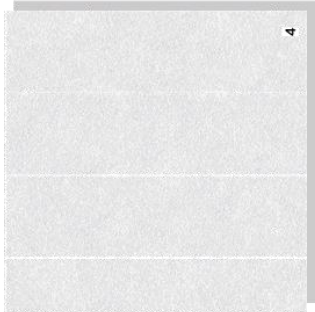
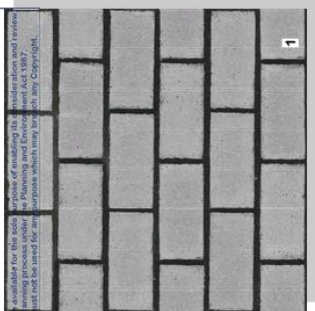


TP-A402 B



PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application No. MNT180687  
 Date: 09 April 2019  
 Sheet 19 of 20

This document is made available for the sole purpose of enabling the consideration and review as part of the planning process under the Planning and Environment Act 1987. The document is not to be used for any other purpose without the written consent of the Council.



- FINISHES SCHEDULE**
- 01 SMOOTH FACE BRICKWORK GREY TONES
  - 02 SELECTED VERTICAL CLADDING GREY
  - 03 FEATURE TUBES/LOOKING SECURITY SCREENING (NON-COMBUSTIBLE)
  - 04 SELECTED RENDER FINISH WHITE
  - 05 SELECTED VERTICAL CLADDING GREY
  - 06 DARK GRAY WOOD GRAIN WINDOW/DOOR FRAMES BLACK
  - 07 CLEAR GLAZING
  - 08 WINDOW/DOOR FRAMES BLACK
  - 09 COLORBOND ROOF SHEETING SHALE GREY

ISSUE	DESCRIPTION	DATE
1	ISSUED FOR TOWN PLANNING PURPOSES ONLY	12.12.18
2	ISSUED FOR TOWN PLANNING PURPOSES ONLY	12.12.18

PROPOSED RESIDENTIAL & CHILD-CARE DEVELOPMENT  
 200 CALVERT DRIVE  
 200 CALVERT VIC 3108  
**MATERIALS**  
 Date: 13.2.19  
 Drawn: DL  
 Scale: 1:1  
 Job No: 2007  
 © Ellipsis Group Architects



TP-A601 B



PLANNING AND ENVIRONMENT ACT 1987  
 MANNINGHAM PLANNING SCHEME  
 ADVERTISED PLANS  
 Planning Application Number: M1100687  
 Date: 09 April 2019  
 Sheet 23 of 29

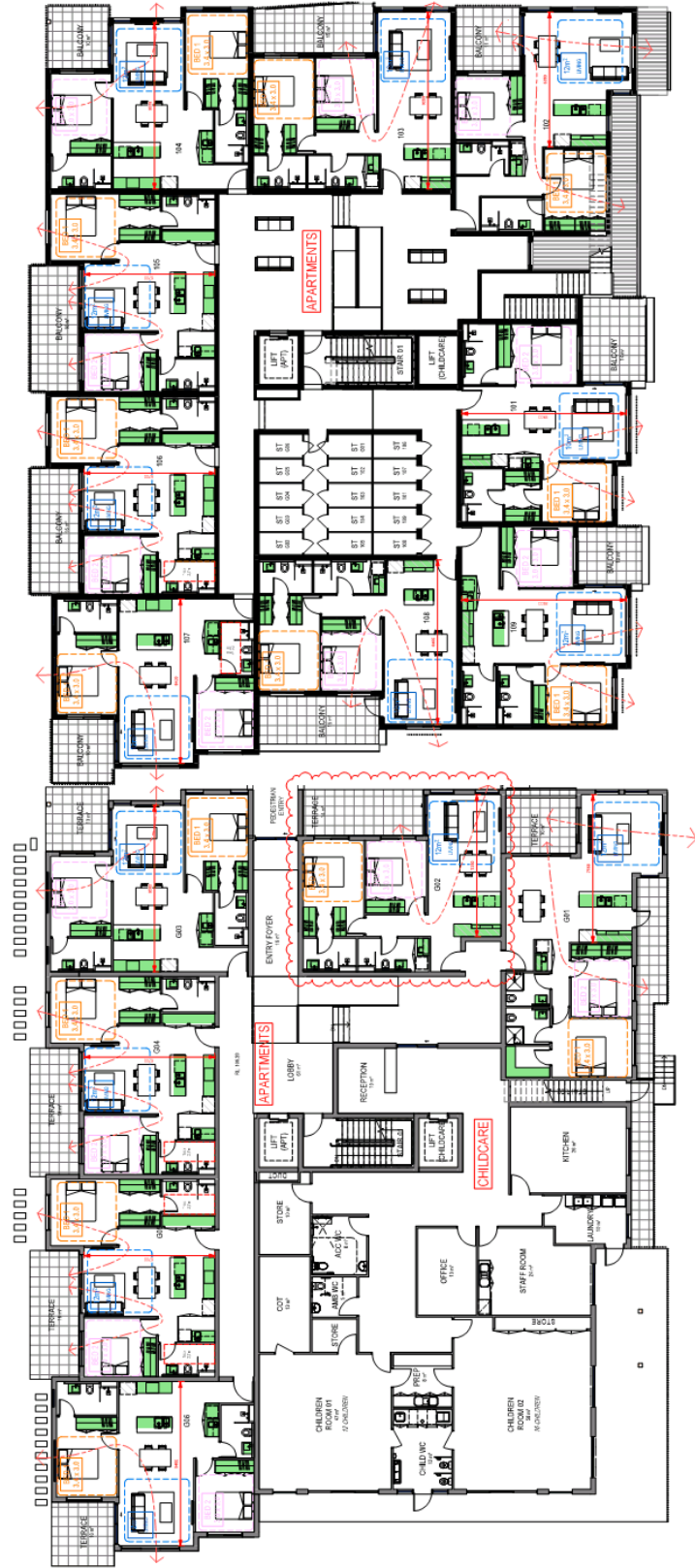
This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. This document must not be used for any purpose which may infringe any Copyright.

**INTERNAL STORAGE**  
 1 BED - 6m<sup>2</sup> (10m<sup>2</sup> TOTAL)  
 2 BED - 8m<sup>2</sup> (14m<sup>2</sup> TOTAL)  
 3 BED - 12m<sup>2</sup> (18m<sup>2</sup> TOTAL)

**LIVING AREA**  
 1 BED - 6m<sup>2</sup>  
 2 BED - 8m<sup>2</sup>  
 3 BED - 12m<sup>2</sup>

**INTERNAL STORAGE**  
 1 BED - 6m<sup>2</sup> (10m<sup>2</sup> TOTAL)  
 2 BED - 8m<sup>2</sup> (14m<sup>2</sup> TOTAL)  
 3 BED - 12m<sup>2</sup> (18m<sup>2</sup> TOTAL)

**LIVING AREA**  
 1 BED - 6m<sup>2</sup>  
 2 BED - 8m<sup>2</sup>  
 3 BED - 12m<sup>2</sup>



AREA GROUND FLOOR  
 1:100

AREA FIRST FLOOR  
 1:100



**The Ellis Group Architects**  
 65-67, ST. JOHN'S STREET  
 MANNINGHAM, LEEDS LS11 8JH  
 Tel: 0113 275 1100  
 Fax: 0113 275 1101  
 Email: info@ellisgroup.co.uk  
 Web: www.ellisgroup.co.uk

ISSUE | DESCRIPTION | DATE

1	ISSUE FOR CONSULTATION	13.03.19
2	ISSUE FOR CONSULTATION	13.03.19
3	ISSUE FOR CONSULTATION	28.03.19

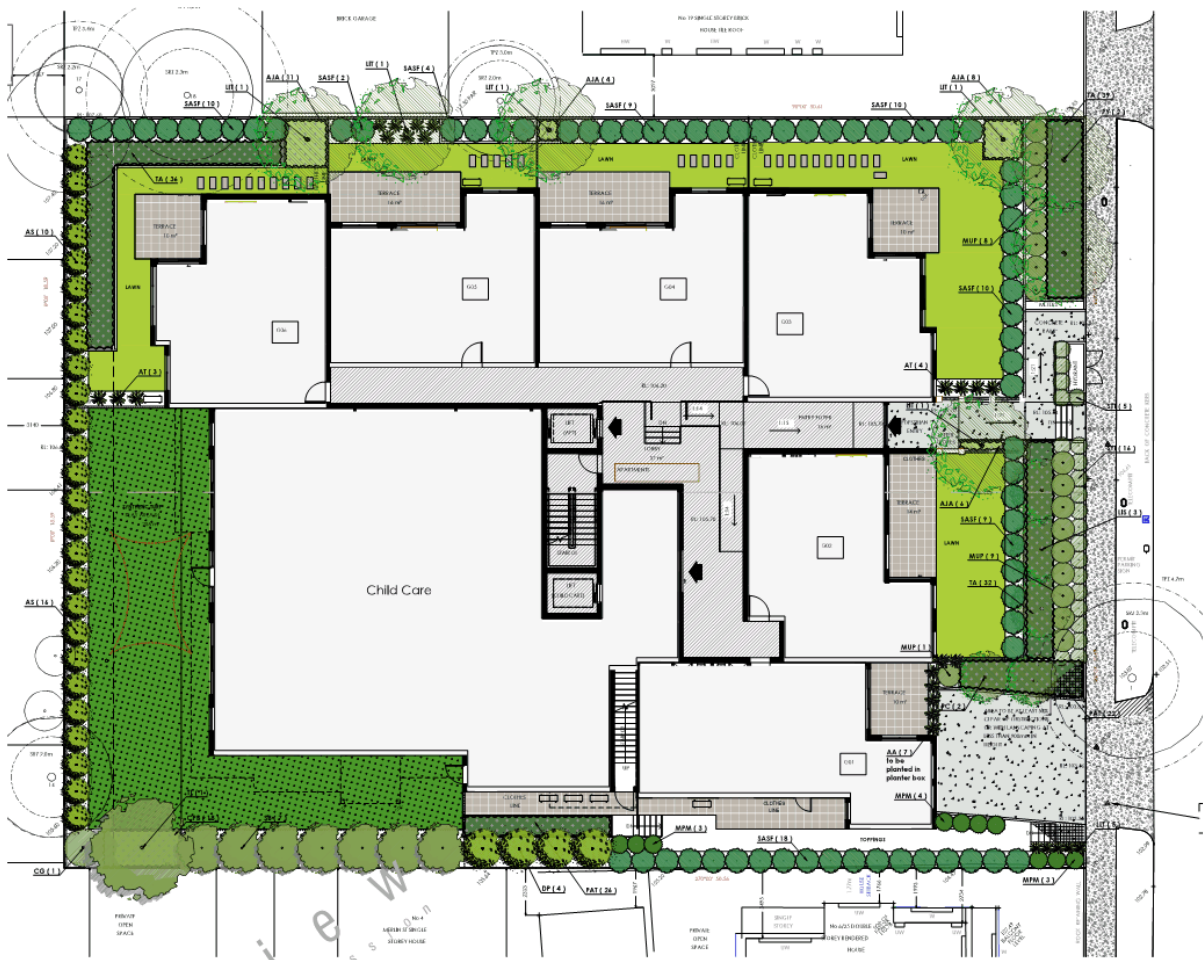
**ISSUED FOR TOWN PLANNING PURPOSES ONLY**



PROPOSED RESIDENTIAL & CHILDCARE DEVELOPMENT  
 220-222 BRIDGE STREET  
 MANNINGHAM, LEEDS LS11 8JH  
 APARTMENT AREAS

Client: 28.3.19  
 Date: 28.03.19  
 Drawing: TP-A701\_C

© Ellis Group Ltd 2019



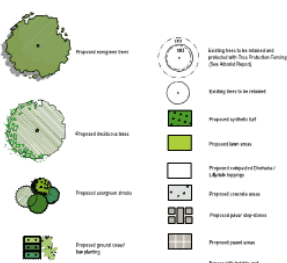
Specifications

**Subgrade preparation**  
 The subgrade shall be prepared to receive the finished ground level and shall be compacted to 95% of maximum dry density. The subgrade shall be free of any loose material, rocks, or debris. The subgrade shall be prepared to receive the finished ground level and shall be compacted to 95% of maximum dry density. The subgrade shall be free of any loose material, rocks, or debris.

**Soil Preparation**  
 The soil shall be prepared to receive the finished ground level and shall be compacted to 95% of maximum dry density. The soil shall be free of any loose material, rocks, or debris. The soil shall be prepared to receive the finished ground level and shall be compacted to 95% of maximum dry density. The soil shall be free of any loose material, rocks, or debris.

**Planting**  
 All plants shall be planted in accordance with the specifications and shall be watered and mulched. The plants shall be planted in accordance with the specifications and shall be watered and mulched. The plants shall be planted in accordance with the specifications and shall be watered and mulched.

Legend



PLANNING AND ENVIRONMENT ACT 1987 - MANNINGHAM PLANNING SCHEME  
 ADVERTISED MATERIAL - Planning Application: PL19/00121, Date: 04 April 2019, Page 4 of 4  
 This document is made available for the sole purpose of enabling its consultation and review, as part of a planning process under the Planning and Environment Act 1987.  
 The document must not be used for any purposes, which may breach any Copyright.

Plant Schedule

CODE	SUPPLIER NAME	COMMON NAME	QTY	SUPPLY SIZE	NATIVE or N
TS1	Lignobonum Indica 'Sant' 'Tasmanian'	Chop Nettle	4	100 x 100 high	4.5m x 3m
US	Lignobonum Indica 'Sant'	Chop Nettle	3	100 x 100 high	4.5m x 3m
PC	Pycnanthemum 'Candell'	Chop Nettle	2	100 x 100 high	1.5m x 1.5m
PT	Pycnanthemum 'Chandell'	Chop Nettle	2	100 x 100 high	1.5m x 1.5m
SL	Siphon Big Bud	Big Bud Big Bud	7	100 x 100 high	1.5m x 1.5m
TL	Thymus serpyllifolius	Thyme	1	100 x 100 high	1.5m x 1.5m
AG	Agave attenuata	Agave	1	100 x 100 high	1.5m x 1.5m
AG	Agave attenuata 'Mini'	Compact Agave	20	100 x 100 high	1.5m x 1.5m
CO	Cornus glabra	Red Dogwood	1	100 x 100 high	1.5m x 1.5m
CP	Chamaecrista nuttalliana	Prickly Heat Grass	4	100 x 100 high	1.5m x 1.5m
MP	Marrubium caudatum 'Mini'	Deer Tongue	10	100 x 100 high	1.5m x 1.5m
MP	Marrubium caudatum	Deer Tongue	10	100 x 100 high	1.5m x 1.5m
ST	Siphon caerulea 'Toy Tree'	Deer Tongue Tree	20	100 x 100 high	1.5m x 1.5m
AG	Agave attenuata	Agave	20	100 x 100 high	1.5m x 1.5m
CP	Chamaecrista nuttalliana	Prickly Heat Grass	10	100 x 100 high	1.5m x 1.5m
MP	Marrubium caudatum	Deer Tongue	10	100 x 100 high	1.5m x 1.5m
ST	Siphon caerulea 'Toy Tree'	Deer Tongue Tree	10	100 x 100 high	1.5m x 1.5m
AG	Agave attenuata	Agave	10	100 x 100 high	1.5m x 1.5m
CP	Chamaecrista nuttalliana	Prickly Heat Grass	10	100 x 100 high	1.5m x 1.5m
MP	Marrubium caudatum	Deer Tongue	10	100 x 100 high	1.5m x 1.5m
ST	Siphon caerulea 'Toy Tree'	Deer Tongue Tree	10	100 x 100 high	1.5m x 1.5m

Advanced Tree Planting



Surface Finishes Detail



Shrub Planting



Landscape Plan



PROJECT: PROPOSED RESIDENTIAL AND COMMERCIAL DEVELOPMENT  
 ADDRESS: 22-24 GLENVIEW DRIVE  
 DIVERSITY: PROJECT NO. 1/184  
 DIVERSITY: 1/184  
 DIVERSITY: 1/184  
 DIVERSITY: 1/184

Keystone Alliance Pty Ltd  
 175 Moor Road, Moorabool VIC 3325  
 T: 03 9745 4911 M: 0411 991 036 E: keystone@keystone.com.au

## 5. LEGISLATIVE REQUIREMENTS

### 5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### 5.2 MANNINGHAM PLANNING SCHEME

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.08 General Residential Zone, Schedule 2
- Clause 43.02 Development and Development Overlay, Schedule 8
- Clause 52.06 Car Parking
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

#### Zones

##### Clause 32.08 General Residential Zone, Schedule 2

The purpose of the Activity Centre Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A permit is required to for the use and development of the land for a child care center and for construction two or more dwellings on a lot.

A residential development of five or less storeys must meet the requirements of Clause 55

An application to construct or extend a dwelling or residential building on a lot greater than 650sqm must provide minimum 35% of the lot as garden area.

A building must not be constructed for use as a dwelling or a residential building that:

- *exceeds the maximum building height specified in a schedule to this zone; or*
- *contains more than the maximum number of storeys specified in a schedule to this zone.*

If no maximum building height or maximum number of storeys is specified in a schedule to this zone:

- *the building height must not exceed 11 metres; and*
- *the building must contain no more than 3 storeys at any point.*

Schedule 2 to the General Residential Zone does not specify a maximum building height requirement for a dwelling or residential building.

A basement is not a storey for the purpose of calculating the number of storeys contained in a building.

### Overlays

#### Clause 43.02 Schedule 8 to Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the building.*
- *To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To encourage landscaping around buildings to enhance separation between buildings and soften built form.*

#### Permit Requirement

- *A permit is required to construct or carry out works.*
- *A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.*

#### Building Height & Setbacks

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.

- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

Table 1

Sub-Precinct	Maximum Building Height	Condition regarding minimum land size	Street setback
DDO8-2 (Sub-Precinct A)	11 metres provided the condition regarding minimum land size is met. If the condition is not met, the maximum height is 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.	1,800 square metres must be all in the same sub-precinct. Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage.	For two or more dwellings on a lot or a residential building: <ul style="list-style-type: none"> <li>• Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser</li> <li>• Minimum side street setback is the distance specified in Clause 55.03-1</li> </ul>

### Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

Strategies towards achieving this are identified as follows:

- *Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.*
- *Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.*
- *Ensure the interface between the private and public realm protects and enhances personal safety.*
- *Ensure development supports public realm amenity and safe access to walking and cycling environments and public transport.*
- *Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.*
- *Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.*
- *Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.*
- *Promote good urban design along and abutting transport corridors.*

Clause 15.01-2 (Building Design) policy objective is:

- *To achieve building design outcomes that contribute positively to the local context and enhance the public realm.*

The strategies to achieve this requires a comprehensive site analysis prior to the design process, requires developments to respond to strategic and cultural context of its locations, minimise detrimental impact on neighbouring properties and encourages landscaping that enhances the built form and create safe attractive spaces.

Clause 15.01-4 (Healthy Neighbourhoods) policy objective is:

- *To achieve neighbourhoods that foster healthy and active living and community wellbeing.*

Strategies to achieve the objective include designing neighbourhoods that foster community interaction and making it easy for people of all ages to live healthy lifestyles by providing connected, safe and attractive walking and cycling networks, conveniently locating public spaces for active recreation, providing accessibly located public transport stops and streets with direct, safe and convenient access to destinations.

Clause 15.01-5 (Neighbourhood Character) policy objective is:

- *To recognise, support and protect neighbourhood character, cultural identity and sense place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.*
- *Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by emphasising the:*
  - *Pattern of local urban structure and subdivision*
  - *Underlying natural landscape character and significant vegetation.*
  - *Heritage values and built form that reflect community identity.*

Clause 15.02-1 Sustainable Development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is energy and resources efficient, supports a cooler environment and minimises greenhouse gas emissions.*

The clause has the following strategies:

- *Improve the energy, water and waste performance of buildings and subdivisions through environmentally sustainable development.*
- *Promote consolidation of urban development and integration of land use and transport. Improve efficiency in energy use through greater use of renewable energy technologies and other energy efficiency upgrades.*
- *Support low energy forms of transport such as walking and cycling.*
- *Reduce the urban heat island effect by greening urban areas, buildings, transport corridors and open spaces with vegetation.*
- *Encourage retention of existing vegetation and planting of new vegetation as part of development and subdivision proposals.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*



The clause has the following strategies:

- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Facilitate the delivery of high quality social housing.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in designated locations that offer good access to jobs, services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-3 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet diverse needs.*

The several strategies to achieve this objective include the following:

- *Ensure housing stock matches changing demand by widening housing choice.*
- *Facilitate diverse housing that offers choice and meets changing household needs through:*
  - *A mix of housing types.*
  - *Adaptable internal dwelling design.*
  - *Universal design.*
- *Encourage the development of well-designed medium-density housing that:*
  - *Respects the neighbourhood character.*
  - *Improves housing choice.*
  - *Makes better use of existing infrastructure.*
  - *Improves energy efficiency of housing.*
- *Support opportunities for a range of income groups to choose housing in well-serviced locations.*
- *Ensure planning for growth areas provides for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.*

Clause 16.01-4 Housing affordability

The policy objective is:

- *To deliver more affordable housing closer to jobs, transport and services.*

Clause 18.01-1 Integrated Transport: Land use and transport planning



The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

Clause 18.02-1 Movement networks: Sustainable personal transport

The policy objective is:

- *To promote the use of sustainable personal transport.*

Clause 19.02-2 Community Infrastructure: Education Facilities

The policy objective is:

- *To assist the integration of education and early childhood facilities with local and regional communities.*

The clause includes several strategies to achieve this objective, they include:

- *Consider demographic trends, existing and future demand requirements and the integration of facilities into communities in planning for the location of education and early childhood facilities.*
- *Locate childcare, kindergarten and primary school facilities to maximise access by public transport and safe walking and cycling routes.*
- *Ensure childcare, kindergarten and primary school facilities provide safe vehicular drop-off zones.*
- *Locate secondary school and tertiary education facilities in designated education precincts and areas that are highly accessible to public transport.*
- *Locate tertiary education facilities within or adjacent to activity centres.*
- *Ensure streets and accessways adjoining education and early childhood facilities are designed to encourage safe bicycle and pedestrian access.*
- *Develop libraries as community based learning centres.*

## **Local Planning Policy Framework (LPPF)**

### **Municipal Strategic Statement**

#### Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

#### Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

**The site is within Precinct 2 – Residential Areas Surrounding Activity Centres and Along Main Roads.**

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The site is located within **Sub-Precinct A**.

Sub-Precinct A is an area where three storey (11m), contemporary 'apartment style' developments are supported on land with a minimum area of 1,800sqm. All development in sub-precinct should have a maximum site coverage of 60 percent. Higher developments on the perimeter of sub-precinct A should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B, or other adjoining zone.

Development in Precinct 2 should:

- *Provide for contemporary architecture*
- *Achieve high design standards*
- *Provide visual interest and make a positive contribution to the streetscape*
- *Provide a graduated building line from side and rear boundaries*
- *Minimise adverse amenity impacts on adjoining properties*
- *Use varied and durable building materials*
- *Incorporate a landscape treatment that enhances the overall appearance of the development.*
- *Integrate car parking requirements into the design of buildings and landform.*

#### Clause 21.10 Ecologically Sustainable Development

This policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

#### **Local Planning Policy**

##### Clause 22.05 Non-Residential Uses in Residential Areas

This policy applies to non-residential uses in a Residential Growth Zone, General Residential Zone, Neighbourhood Residential Zone and Low Density Residential Zone. It aims to balance the need for residents to access services in residential locations while ensuring that residential amenity is not adversely affected by way of high levels of on-site activity, traffic generation, noise emission, odour, light and visual disorder. It requires discretionary non-residential uses in General Residential Zone to be responsive to the existing or preferred character.

##### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

##### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Clause 22.12 Environmentally Sustainable Development

This policy applies throughout the City of Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

**Particular Provisions**Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rates:

- *1 space for 1 and 2 bedroom dwellings.*
- *0.22 space to each child.*

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

Clause 55 Two or more dwellings on a lot and Residential Buildings

A development:

- Must meet all of the objectives of this clause
- Should meet all of the standards of this clause.

A zone or a schedule to a zone, or a schedule to an overlay may specify a requirement different from a requirement of a standard set out in Clause 55.

**General Provisions**Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

## 10 CITY PLANNING & COMMUNITY

### 10.1 Waldau Precinct Masterplan

File Number:	IN19/337
Responsible Director:	Director City Planning and Community
Attachments:	1 Attachment 1 - Waldau Precinct Masterplan Final <a href="#">↓</a>
	2 Attachment 2 - Waldau Precinct Masterplan Actions <a href="#">↓</a>
	3 Attachment 3 - Waldau Consultation Analysis <a href="#">↓</a>

#### EXECUTIVE SUMMARY

*The purpose of this report is to present the feedback received during the public exhibition of the Draft Waldau Precinct Masterplan, recommend several changes to reflect this feedback and to seek Council's endorsement of the final Waldau Precinct Masterplan.*

*The Draft Waldau Precinct Masterplan was placed on public exhibition from 4 February to 4 March 2019. A total of 178 responses were received. The key themes emerging from community feedback comprised:*

- Support for the new visitor centre building (64%) noting that some adjacent residents had concerns with its location;*
- Support for the café (64%) noting that there was some concerns associated with potential litter and waste; and*
- Road safety concerns including the need for safe pedestrian and cycle access (32%).*

*The Doncaster and Templestowe Heritage Society prepared a written submission which sought additional elements at Schramms Cottage in addition to those proposed in the draft masterplan. The society opposes the removal of the fence around the museum complex.*

*Council officers have considered all feedback. A number of changes have now been incorporated to present a final masterplan (Attachment 1) for Council's consideration.*

#### COUNCIL RESOLUTION

**MOVED: CR DOT HAYNES**  
**SECONDED: CR GEOFF GOUGH**

**That Council:**

- note the findings of the community consultation undertaken during the public exhibition of the Draft Waldau Precinct Masterplan.**
- endorse the revised Waldau Precinct Masterplan and commit to consultation with stakeholders on the scope and design of the facilities.**

- C. **note that a separate report will be prepared detailing an Expression of Interest process for the development and operation of a café facility at the Victoria Street playground and to commit to further public consultation on the final design of the café as per the 11 December 2018 resolution of Council.**

**CARRIED**

With the permission of the mover and seconder, the motion was amended as shown by the underlined text in C. above at the request of Councillor Chen.

## **2. BACKGROUND**

- 2.1 A draft masterplan was prepared to establish the Waldau Precinct area as a regional recreation and tourism precinct focussing on the heritage of the former Waldau Village in Doncaster. The masterplan is a guiding document to better link Ruffey Lake Park and Rieschiecks Reserve but does not replace the Management Plans for these reserves. The draft masterplan allowed for:

- the opportunity for a café in the Precinct;
- the future operation of the Schramms Museum complex, including scoping for a new contemporary multipurpose building, toilet replacement and better integration of the museum into the Precinct;
- heritage and historical interpretation across the precinct;
- relocation of Kevin Heinze Grow from its current Wetherby Road site to the northern part of Rieschiecks Reserve;
- redevelopment of the Rieschiecks Pavilion (including the relocation of Doncaster Athletics Club) as identified in the Rieschiecks Reserve Management Plan,
- pedestrian and traffic safety improvements; and
- the upgrade of the Victoria Street playspace.

- 2.2 On 11 December 2018 Council endorsed the draft masterplan for release for public consultation. Consultation included information in the Leader newspaper, Council's website, Council's social media, on site signage, Manningham Matters, flyers to residents within the walkable catchment and liaison with local groups and clubs and two on site drop in sessions. The draft masterplan was on public exhibition from 4 February to 4 March 2019. A total of 167 survey responses were received and 15 other submissions, from 178 respondents.

The consultation findings are summarised in the following section and a comprehensive report is provided as Attachment 3.

### 3. DISCUSSION / ISSUE

#### 3.1 Consultation and engagement included:

Engagement method	Quantity
letter/flyer posted to dwellings within 400m radius	1,376
On site signage	14
Manningham Matters article	1
Council ads in the Leader newspaper	2
Onsite consultation (Thursday 14/02/19 and Saturday 23/02/19)	2
Phone calls and emails to Manningham Clubs and organisations with an interest in the precinct	7
Registered Your Say Manningham participants emailed	1166
Parks Alive database members emailed	89
Media releases	1

#### 3.2 Residents and other stakeholders responded in various ways including social media, face-to-face discussions, phone calls, emails, written submissions and survey responses:

Engagement Response	Quantity
Surveys completed	167
Direct responses via email, letter, phone (of which 4 also completed the online survey)	15 (11)
People attending on site consultations	90

#### 3.3 The Doncaster Templestowe Historical Society (DTHS) has been regularly consulted since the commencement of the project. Officers have held two meetings with the DTHS during the consultation period. The Society also had a strong representation at the two on-site consultation sessions.

#### 3.4 All clubs within the precinct were notified of the consultation including an offer of a meeting with the club if desired. No clubs sought follow up meetings but written feedback was received from the Scouts and a combined response from the sporting clubs, collated and submitted by the Acting President of the Doncaster Little Athletics Club. No changes to the Rieschiecks Reserve Management Plan are proposed through the Waldau masterplan. Council officers are looking into their requests which fall outside the scope of the masterplan and how they might be accommodated.

- 3.5 A submission was also received from Women’s Health East, who work in the Heimat Building at Rieschiecks Reserve.
- 3.6 The respondents to the on-line survey were asked about their level of support for four of the major new features of the masterplan, with responses as follows:

Total responses (%)	Small Cafe	Visitor Centre	Improved heritage links and paths	Upgrade to playgrounds
<b>Supportive</b>	64%	64%	83%	79%
<b>Don’t know/maybe</b>	7%	16%	8%	9%
<b>Not supportive</b>	26%	13%	3%	6%
<b>Not indicated</b>	3%	7%	6%	6%

- 3.7 The following themes emerged from the open response sections of the online survey:

Key themes (in open responses)
Victoria Street traffic safety issues for vulnerable road users (crossings and paths getting to and from precinct or bus stops etc).
No café due to negative flow on effects, broken down as: <ul style="list-style-type: none"> <li>- No commercialisation / café ruins feel</li> <li>- Impacts to parking</li> <li>- Impacts to environment (concerns around rubbish, waste management and impact to native flora &amp; fauna)</li> </ul>
Schramms Cottage safety and security - lighting (for pedestrians),
More or upgraded car parks and roads inside the precincts
Investigate Scouts area and how to cater for multiple ‘formal’ and ‘informal’ groups. Also noting Kevin Heinze GROW requirements and needs to ensure it caters to it users, especially people with disabilities. Various additional facility requests from other groups in Rieschicks Reserve.
Make all upgrades accessible for all abilities



### Victoria Street Traffic Safety Issues

- 3.8 Safety concerns around safe movement along and across Victoria Street emerged as a significant issue for the local community. From the online survey, 80 of the 178 respondents or 45%, provided written comments regarding traffic safety on Victoria Street or its immediate vicinity.
- 3.9 Some common themes included:
- No park upgrades unless a safe crossing is provided;
  - Safe and accessible footpaths adjacent to roads and between destinations in the area; specifically, paths are required on both sides of Victoria Street;
  - Safe crossing points on Victoria Street are essential, some requested consideration of footbridge overpass or underpass options;
  - Support for Muriel Green Drive realignment;
  - Reconsider bus stop locations. Victoria Street west side bus stop is unsuitable;
  - Open drains are a big problem; and
  - Lighting improvements required.
- 3.10 There were a number of requests for additional footpaths, a signalised crossing, drainage improvements and slower traffic speeds.
- 3.11 These issues were experienced by pedestrians moving to destinations such as school and work, exercising and visiting the parks, by drivers on local and arterial roads, cyclists; and public transport (bus) users.
- Considerations:
- 3.12 The Masterplan proposes a new signalised pedestrian crossing to create a better connection between Ruffey Lake Park and Schramms Museum Complex. (Subject to VicRoads approval).
- 3.13 A fatality occurred recently on Victoria Street adjoining Ruffey Lake Park. Police do not believe the road design was a contributing factor but noted the provision of a footpath could improve safety in this location. A joint inspection with Council and VicRoads officers identified opportunities to provide a path to connect the missing link from the reserve to George Street.
- 3.14 Between George Street and Cricklewood Drive, Victoria Street has a single lane in each direction. The speed limit is 60km/hour but the 85<sup>th</sup> percentile speed (the speed percentile at which 85% of vehicles are travelling at or above) on this stretch of road is 67km/hour. This demonstrates that the operating speed along this section of Victoria Street is well above the speed limit.
- 3.15 Victoria Street is a secondary arterial road under the control of VicRoads. VicRoads has advised that Victoria Street is identified as a northern route connection between the Eastern Freeway and Fitzsimons Road.

- 3.16 Underpass and overpass options have been considered but were found to be not viable for the following reasons:
- Impractical due to site levels leading to poor connectivity, extensive ramping requirements and difficulty achieving accessibility standards.
  - Negative visual impact on the parkland setting (overpass)
  - Possible poor usage due to personal safety fears (underpass)
  - Prohibitive cost. Quantity surveyors were engaged to provide a cost estimate for the overpass and underpass options. This assessment indicates a cost of \$2.1M for the overpass and \$1.2M for the underpass. This is compared to a signalised pedestrian crossing at \$300,000-\$400,000.
- 3.17 Manningham's Principal Bicycle Network (PBN) proposes an on-road bicycle route along Victoria Street. Both VicRoads and Council officers agree that an off-road shared path would be a safer option in this location.
- 3.18 As a result of the consultation findings, Council officers have met twice with VicRoads to discuss community concerns and what safety improvements could be employed. VicRoads have advised:
- There are no current plans for the upgrade of Victoria Street.
  - Due to the arterial status of the road a speed limit reduction to 50 or 40 km/hour is unlikely to be supported.
  - Traffic calming treatments may be supported, subject to detailed design, review and funding.
  - An off road shared path on the western side of Victoria Street is recommended. A width of 3.0 metres would be best practice for this scenario.
  - Footpaths and drainage remain the responsibility of Council.
- 3.19 Provision of a path on the western side of Victoria Street is recommended as a high priority to address safety and improved access.
- 3.20 Multiple pedestrian refuges could collectively contribute to traffic calming and improved pedestrian safety, and should be implemented in the absence of a signalised crossing. Should VicRoads undertake road improvements in the future, a signalised pedestrian crossing should be sought at VicRoads cost.
- 3.21 Officers are also pursuing traffic calming trials and improved open space connectivity through the Department of Transport. This could include a temporary signalised crossing or painted road surface following overseas examples. Proposed trial sites are currently being considered by the Minister's Office. If Victoria Street is accepted as a trial site, this could occur December to February 2019/20.

- 3.22 Improved traffic safety is critical to the success of the Waldau Precinct. Officers will continue to collaborate with VicRoads in order to improve safety and accessibility in this area. Ongoing advocacy to VicRoads, State or Federal Departments to prioritise and fund road and pedestrian improvements at Victoria Street will be a priority.
- 3.23 There are other examples of VicRoads arterial roads that have 40 or 50km/hr speed limits imposed and Council could consider advocating for this along this section of Victoria Street

Masterplan response:

- 3.24 As a result of the community feedback and subsequent further investigations, it is considered that significant road and footpath path upgrades are required to improve the safety in this area and slow traffic speeds. The final masterplan makes the following recommendations in relation to the above:
- A 3.0 metre shared path on the west side of Victoria Street, between George Street and the Ruffey Lake Park carpark.
  - A 1.5 metre footpath connecting the shared path north of the carpark to the bus stop and connecting through to the existing footpaths within the park.
  - Completion of kerb and channel construction between the carpark at Ruffey Lake Park to George Street where median works are proposed.
  - Two additional pedestrian refuges: one north of Waldau Court, and another south of Owens Street as part of the new median treatments being proposed for Victoria Street, (by VicRoads).
  - Planted medians/islands (where the road reserve width permits) to visually link the open spaces, to signal a changed road environment and encourage slower traffic speeds, (subject to approval by VicRoads).
  - A signalised pedestrian crossing to replace the existing pedestrian refuge, (by VicRoads).

**Schramms Cottage Museum complex – visitor centre**

- 3.25 From the on line survey 64% of respondents supported the visitor centre. There was some opposition (13%) for reasons which included;
- Loss of green open space used by playgroups, scouts and other groups using the Scout hall
  - Loss of views to the south from adjacent residences
  - Concern it would attract vandalism
  - Questioning the need for certain functions to be provided in open space, i.e. research and archive spaces.

The Doncaster Templestowe Historical Society (DTHS) submission suggested the building was not big enough to serve their needs.

Masterplan response:

- 3.26 The masterplan has been amended to indicate:
- The location and scale of the visitor building shall minimise impact on open space.

**Schramm Cottage Museum complex – safety and security**

- 3.27 Respondents from Owens Street and DTHS expressed concerns with removing the fence around the museum area. They referenced poor behaviour in the adjacent carpark and the risk of vandalism.

Considerations:

- 3.28 The Rieschiecks Reserve Conservation Management Plan, 2008 (which informed the Rieschiecks Reserve Management Plan) recommended that the chain mesh fence be removed and possibly replaced with a low timber picket fence while still permitting open access.
- 3.29 Some Councillors have inspected Schwerkolt Cottage and Museum Complex in the City of Whitehorse and have expressed interest in exploring an unfenced facility at Schramms cottage museum.
- 3.30 Best practice in open space planning aims for open space activation and multiple uses of public open space. The fenced area isolates public open space which is only publicly accessible for 3 hours per week or by appointment. Central to the Waldau Precinct Masterplan is the intention to increase visitation and appreciation of the heritage area and to broaden recreational opportunities in Manningham.
- 3.31 Crime Prevention Through Environmental Design (CPTED) principles are clear that inappropriate behaviour is more likely to occur in isolated locations with poor surveillance. The intention of this project is to improve visitation and activate the area, which should in turn make the area less attractive for misuse.
- 3.32 Loss of archival material, suggested to be a risk through fire in the wooden buildings, would be a genuine loss, but these materials could be stored off site.
- 3.33 A boom gate is proposed to be installed to restrict use of the carpark outside daylight/event hours. Surveillance cameras and lighting will also be installed around the cottage. Local Member, Kevin Andrews MP has pledged funds for the installation of timed boom gates at Rieschiecks Reserve.
- 3.34 The fence style is proposed to be resolved once the visitor centre has been constructed. Sections of the existing fence may be able to be retained where it is not in full view. A low fence with regular openings, rather than a security fence, could be provided at the interface with the carpark, in accordance with the Rieschiecks Reserve CMP.

Masterplan response:

- 3.35 It is recommended that a boundary delineation be included as a recommendation in the final masterplan and final style and alignment be resolved during the development of the visitor centre, in consultation with DTHS.

**Schramms Cottage museum complex – expansion to machinery shed**

- 3.36 This matter was not recorded as a key theme from the community, but was put forward by the DTHS during the consultation period.
- 3.37 Following inspection of the Schwerkolt Cottage museum complex, the Historical Society has requested a similar shed to that constructed for their machinery, including.
- Extension of the machinery shed (double the size) to enable additional machinery to be collected in future.
  - The provision of sealed floor and glass windows to prevent dust and deterioration of the machinery collection.

Considerations:

- 3.38 To date it has been proposed to make minor improvements to the machinery shed, comprising safer gated access for maintenance and installation of large gauge black weld mesh to prevent entry but still permit easy viewing of the display. This treatment is proposed to several of the sheds containing displays, and is the main treatment used throughout the Schwerkolt Cottage complex.
- 3.39 The steeply sloping site would make building expansion and access difficult and potentially costly.
- 3.40 The Rieschiecks Reserve CMP considers the machinery as “moveable heritage” as it has no specific connection to this site.

Masterplan response:

- 3.41 No expansion of the building is recommended. The floor of the existing machinery shed is proposed to be concreted to address the dust issue and weld mesh installed to open sidings.

**Café at Ruffey Lake Park**

- 3.42 The majority of the survey respondents (64%) were supportive or very supportive of a café at Ruffey Lake Park, compared to 26% who were not supportive or not at all supportive. The various sporting clubs at Rieschiecks Reserve are very enthusiastic about the proposal.
- 3.43 This proposal has been raised over the years, but has not received support in the past.
- 3.44 Of those who objected, a number of specific concerns were raised:
- waste and litter in the park,
  - impact to habitat values,
  - commercialisation of public open space
  - impact on the quiet character of Ruffey Lake Park (‘an oasis’)

- financial viability of the proposal and the use of rates to fund this part of the project.
- 3.45 Some respondents proposed alternative locations in the same vicinity, however several locations have already been considered and the proposed location was considered by Council the most viable in terms of safety, accessibility and ease of construction.
- 3.46 Councillors have previously expressed an interest in an EOI process that would see the private sector construct and operate the café.

Masterplan response:

- 3.47 It is considered that the café has significant support and therefore remains in the final masterplan.
- 3.48 It is proposed that an EOI process be undertaken to seek commercial proposals for the café at Ruffey Lake Park given the support from the community. A separate report will be prepared for Council consideration.
- 3.49 The EOI could seek responses to the two following options:
- A. Operator to fund, construct and operate at commercial rates (returns to be invested in the park)
  - B. Same as A above with a reduced rent in exchange for running events and place making activities for the community.

It would be expected that Council would need to fund the path network and landscaping to support the new café area.

- 3.50 Council is committed to further public consultation on the final design of the café as per the 11 December 2018 resolution of Council.

**Other feedback**

- 3.51 A number of requests for additional park infrastructure and other improvements were received during the consultation period via written submission and in the free text sections of the online survey (refer Attachment 3).
- 3.52 Improvements requested that can be investigated during the delivery of the masterplan include additional bins, seats, lighting of pathways and facilities, drinking fountains, all abilities access to playground, nature play and water play opportunities, revegetation and tree planting opportunities.
- 3.53 The DTHS written submission included other requests beyond the retention of the boundary fence and the expansion of the machinery shed, and included:
- Retention of Atkins and Sloyd rooms in current location
  - Expanded footprint of the new visitor centre and its location closer to Schramms Cottage museum complex
  - Support for boom gate on Muriel Green Drive
  - Querying operation of new toilet facilities.

- 3.54 Women's Health East provided a written submission supporting the proposals to improve access and walking paths and the café. They also expressed an interest in using meeting space in the re-developed Rieschiecks Reserve Pavilion, however this is outside the scope of the masterplan and has been referred internally for consideration.
- 3.55 A submission received from the Scout Group at Rieschiecks Reserve was supportive of the changes to access and parking arrangements and pedestrian access across Victoria Street. The submission also requested expansion to its meeting space due to increased member numbers. The Scouts hire their building out to the Doncaster Little Athletics Club who will be relocated to the upgraded sports pavilion once complete. This is expected to free up space and accordingly, the request to extend the building at this time cannot be supported. Facility provision for Scouts and Guides will be reviewed across the municipality rather than on a site by site basis.
- 3.56 Doncaster Little Athletics Club (DLAC) prepared a response on behalf of the sporting clubs at Rieschiecks Reserve. This submission was supportive of the masterplan proposals for the new visitor centre, car park upgrade (corner of George and Victoria St), playground upgrade and café. Comments in relation to the upgrade of the pavilion will be further considered during the detailed design process which will be undertaken in 2019/20 and will include consultation with all tenant clubs. The public toilet upgrade and sealing of the track car park are recommendations of the Rieschiecks Reserve Management Plan 2012 and will be subject to future funding allocations in the capital works program. Other requests outside the scope of the masterplan and management plans have been referred internally for consideration.

Masterplan response:

- 3.57 The final masterplan makes the following recommendations in relation to the above:
- Retention of Atkins and Sloyd Rooms in current location
  - It is not proposed to enlarge the visitor centre, however the plan recommends reviewing the location and scale of the building to minimise impact on open space and improve relationship to the Schramms Cottage museum complex
  - Timed boom gates be installed to restrict use of the visitor centre car park after hours.
  - Accessible public toilets be incorporated into the new visitor centre.

#### **4. COUNCIL PLAN / STRATEGY**

- 4.1 The draft Waldau Masterplan reflects actions in the Ruffey Lake Park Management Plan (2005), Rieschiecks Reserve Management Plan (2012), and Rieschiecks Reserve Conservation Management Plan (2008).

This Masterplan reflects the following Council Plan Goals:

- 1.2: A connected and inclusive community
- 2.1: Inviting places and spaces



- 2.2: Enhanced parks, open spaces and streetscapes
- 2.3: Well connected, safe and accessible travel
- 2.4: Well maintained and utilised community infrastructure
- 4.1: Grow local business and economy

## 5. IMPACTS AND IMPLICATIONS

- 5.1 The objectives of this project are to increase the recreational offer in Manningham, create a high quality tourism destination, and to ensure the accessibility and viability of the historical elements in the precinct.
- 5.2 Given the lack of shops or food outlets in the area, the café is not expected to have any competition with other local businesses. A café would provide additional local employment and activation of the park.
- 5.3 Improvements to Victoria Street including the removal of the open drains, new footpaths, pedestrian refuges and traffic calming measures will improve community safety and address community concerns in this area, however this will require strong advocacy from Council and negotiation with other authorities to be achieved.
- 5.4 The visitor centre would require annual funding of \$80,000 to support the appointment of a part time facility officer and general maintenance of the Schramms Cottage museum complex area.

## 6. IMPLEMENTATION

### 6.1 Finance / Resource Implications

The estimated capital costs for implementation of the masterplan over 7 years is \$4,432,000. Refer to Attachment 2 for masterplan actions and priorities.

The café construction and management is not expected to require Council funding (pending outcome of EOI). Council would be expected to provide service connections, paths and adjacent landscaping.

### 6.2 Communication and Engagement

Following the recent consultation and engagement phase, an 'Inform' phase will follow Council's endorsement of a final Masterplan. This phase would promote the final Masterplan, advise of the changes to the draft masterplan and provide information on the next steps towards implementation of the Masterplan.

Implementation phasing is detailed in the Masterplan Actions Table, and is proposed to be completed pending budget availability. Refer to Attachment 2.

## 7. DECLARATIONS OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.

# Waldau Precinct Masterplan

Final April 2019



1. **Schramm's Cottage Museum Complex**  
Upgrades are proposed for the paths, signage and security around the cottage. The boundary delineation of this site to be resolved during the development of the visitor centre.
2. **New visitor centre**  
A new multipurpose visitor centre building is proposed, including meeting and research spaces as well as accessible public toilets. (final location and scale to be confirmed)
3. **New café**  
A small café (100m<sup>2</sup>) is proposed at Ruffey Lake Park with outdoor seating areas.
4. **Waldau Cemetery paths**  
Path improvements are proposed to better define the cemetery area. Investigate the proposed relocation of the Atkins Cottage and Sloyd Room within the precinct.
5. **Pine tree wind break**  
The remnant pine tree wind break is to be retained and protected.
6. **Improving the Muriel Drive entry**  
The entrance at Muriel Drive will be realigned to improve safety and access and may include an automated gate.
7. **Car park improvements**  
All car parks will have adequate and accessible parking spaces in line with Australian Standards. The car park on the corner of George and Victoria streets will be sealed and line marked.
8. **Improving pedestrian connectivity**  
New paths to improve connectivity for pedestrians throughout the precinct.
9. **Relocating Kevin Heinze GROW** Relocate Kevin Heinze GROW from its existing Wetherby Road location to the Victoria Street Pavilion. This space is to be shared with the Doncaster East Scouts. The Doncaster Athletics Club is to relocate from Victoria Street to the Rieschiecks Reserve Pavilion.
10. **Rieschiecks Reserve Pavilion upgrade**  
Upgrade pavilion as identified in Rieschiecks Reserve Management Plan.
11. **Pedestrian safety improvements**  
Advocate to relevant authorities and government for significant pedestrian safety improvements along Victoria Street including a signalised pedestrian crossing, two pedestrian refuges (between Owens S and Waldau Crt), planted median and other traffic calming measures between the reserves. Completion of kerb and channel construction between the carpark at Ruffey Lake Park to George Street subject to VicRoads approval.
12. **Upgrade play equipment at Victoria Street Playground**  
A major upgrade of the play equipment within this popular playground.
13. **Upgrade playground at Rieschiecks Reserve**  
Upgrade Owens Playspace with new equipment and a heritage theme to tie in with the nearby Schramm's Cottage Museum Complex.
14. **Ruffey Lake Park Quarry**  
Upgrade signage around the existing quarry site.
15. **New 1.5m path connection**  
Create a new path from the Ruffey Lake Park bus stop to the Victoria Street Playground and connect to the north, into the park trails.
16. **New signage**  
New heritage information signage is proposed throughout the precinct. This includes an upgrade of the existing Ruffey Lake Park Heritage Trail.
17. **New 3m shared path**  
West side of Victoria Street between George Street and the Ruffey Lake Park carpark.
18. **Machinery Shed improvements**  
Provide concrete paving to the floor of the machinery shed.

Attachment 2

Waldau Precinct Masterplan - Action Plan									
Action	Priority	Implementation Year							
		19/20	20/21	21/22	22/23	23/24	24/25	25/26	26/27
<b>Rieschieks Reserve</b>									
Complete security upgrades to existing historic and display buildings	High								
Construct new multipurpose building including DDA compliant toilets	High								
Remove existing toilets - decommission, demolish and make good	Medium								
Improve paths throughout cemetery area	High								
Landscaping and picnic facilities	Low								
Upgrade the Rieschieks Reserve Playspace in a heritage theme	Low								
Assist Kevin Heinz GROW in relocating to the Victoria Street pavilion.	Medium								
Concrete floor and maintenance access improvements to machinery shed	High								
Review boundary delineation and landscape to integrate museum complex into the wider reserve	Low								
<b>Ruffey Lake Park</b>									
Consultants - play and café (park passive areas)	High								
Design and construct a major upgrade to the Victoria Street Playspace.	High								
Ruffey Lake Park Quarry sites risk management	High								
Complete landscaping works around café site	Medium								
<b>Carparking, Transport and Pedestrian Access</b>									
Upgrade Muriel Green Drive to improve access and safety	Medium								
Provide a timed boom gate to Muriel Green Drive if required	Low								
Provide additional pedestrian paths to improve connectivity through the precinct	High								
Victoria Street traffic, drainage and pedestrian access improvements	High								
Advocate VicRoads implement signalised pedestrian crossing	High								
Upgrade carpark near corner of George and Victoria Streets	Low								
Provide a pedestrian path to the bus stop near the Victoria Street carpark	High								
Provide lighting to the Schramms Cottage carpark	Medium								
Upgrade the Schramms Cottage carpark for safety and accessibility	Medium								
Replace vehicle barriers and bollards as required	Low								
<b>Signage, Interpretation and Staffing</b>									
Design and implement a signage and heritage interpretation strategy for the whole precinct, including signage, trails, displays, interactive and web-based elements.	Medium								
Upgrade directional signage in the Schramms museum precinct	Low								
Consultant: archiving support to the DTHS during relocation to new building.	Medium								
<b>TOTAL</b>	<b>\$4,432,000.00</b>								



# Consultation Summary

Waldau Precinct Masterplan  
*Community Engagement Outcomes*

 Interpreter service **9840 9355**  
普通话 | 廣東話 | Ελληνικά | Italiano | عربي | فارسی



# TABLE OF CONTENTS

<b>1. Introduction .....</b>	<b>3</b>
<b>CONSULTATION</b>	
<b>2. Community Engagement &amp; Consultation Response.....</b>	<b>5</b>
2.1. What we asked.....	5
2.2. How we asked and how they responded .....	5
2.3. Who responded.....	7
2.3.1. Household composition and age category.....	7
2.3.2. Languages spoken other than English at home.....	8
2.4. How they get here .....	9
2.4.1. Distance from precinct and mode of travel .....	9
2.5. Current use .....	10
<b>3. What they told us.....</b>	<b>11</b>
3.1. Cumulative responses.....	11
3.1.1. What they value/feel special about the area .....	11
3.1.2. Support of the major proposed features .....	11
3.1.3. Key emerging themes .....	12
3.1.4. Specific issues from most popular theme .....	13
3.2. Themes from on site consultation responses .....	15
3.3. Survey responses .....	17
3.3.1. Support of the major proposed features .....	17
3.3.2. Important features for a small café .....	18

1 WALDAU CONSULTATION SUMMARY



3.3.3. Important features for a visitor centre ..... 19

3.3.4. Factors that would make it easier or more likely to travel to the precinct ..... 20

---

**APPENDICES**

4. Verbatim responses - On site consultation ..... 22

5. Verbatim responses - Survey ..... 30

6. Verbatim responses - Direct feedback..... 57

7. Verbatim responses - Facebook..... 91

8. Survey design..... 93

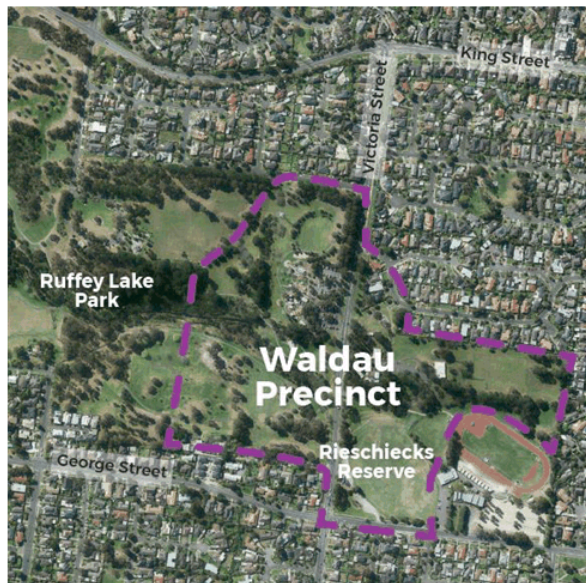
9. Marketing, Media & Advertising ..... 95



## 1. Introduction

The development of the draft masterplan for the Waldau Precinct provides an opportunity for Council to review the layout and facilities provided and seek community feedback on how it can be best developed to meet community needs over time.

Outcomes of officer investigations and liaison with the Doncaster Templestowe Historical Society informed the design of the Waldau Precinct draft Masterplan. These plans were then endorsed by Council for public release, and presented to the community between 4 February and 4 March 2019. This report presents the outcomes of this consultation and analysis of feedback received. The feedback has been used to develop final plans for the area.







# CONSULTATION

4 WALDAU CONSULTATION SUMMARY



## 2. Community Engagement & Consultation Response

### 2.1. What we asked

- Feedback on the proposed masterplan and what they'd like to see
- Levels of support for a small café, new visitor centre, improved heritage links and paths and playground upgrades at Ruffey Lake Park and Rieschiecks Reserve
- How they currently use this area, how often and their demographics

### 2.2. How we asked and how they responded

**Level of engagement:** Consult

**Consultation date:** 4 February 2019 to 4 March 2019

**On site consultation dates:** 14 February 2019, 3.30pm to 5.30pm and 23 February 2019, 10.30pm to 12noon

**Total consultation responses:** 178 (from direct and survey feedback)

HOW WE ASKED		HOW THEY RESPONDED	
# of letter/flyer drop within 400m radius	1,376	# survey responses completed	167
# on site notification signs	14	# direct responses via email, letter or phone (of which 4 also completed the online survey)	15
# Manningham Matters distributed / # articles	54,168 / 1	# visits on YSM Waldau landing page	704
		# informed / aware visitors on YSM	85 / 568
# Council placed ads in local paper	2	# media articles published online or print (pos/neg)	2
# on site consultations to gather feedback	2	# people at on site consultations	90
# stakeholder meetings	2	# YSM eDM emails unique opens / unique clicks	477 / 106
# YSM emails sent subscribers / # of times sent	1,166 / 1	#Youtube video views	191

# MCC Facebook posts (includes event posts) / boosted paid posts	4 / 2	#Facebook video views	3,260
		# likes/shares/comments to MCC Facebook posts (inc events and boosted posts)	38 / 6 / 24
		# reach / impressions from boosted and paid Facebook posts	4,843 / 13,893
		# likes / shares / comments from paid MCC Facebook post	63 / 5 / 30
		# people went / interested in MCC Facebook event posts	3 / 18
# MAK Facebook posts	1	# likes/shares/comments to MAK Facebook post	0 / 0 / 0
# Councillor Bulletin	1	# Councillors attending on site consultation	2
# Organisations emailed*	7		
# Emails sent to Parks Alive contacts / # of times sent	89 / 1		

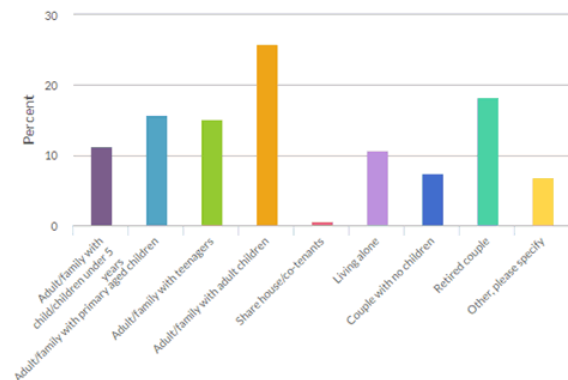
\* In addition to personal contacts and follow up emails, a 'Please promote to your networks' email was sent to organisations such as local scout groups and sporting clubs

Refer to Appendix for media clippings and verbatim responses on social media

## 2.3. Who responded (demographics from survey)

### 2.3.1. Household composition

Q: Which of the following best describes your household?  
(Please tick as many as apply to you.)

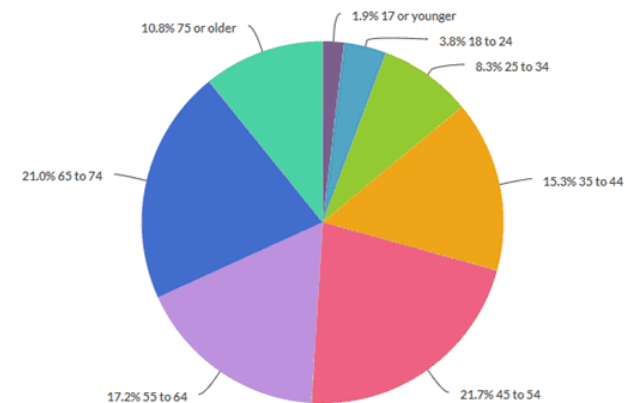


Value	Percent	Responses	'Other' household responses	Count
Adult/family with child/children under 5 years	11.3%	18	Grandchildren (and children) who visit and use the park and playground	3
Adult/family with primary aged children	15.7%	25	Adults with adult children no longer living at home	2
Adult/family with teenagers	15.1%	24	Scout Leaders	2
Adult/family with adult children	25.8%	41	Single (mum or other) living with parents or family members	2
Share house/co-tenants	0.6%	1	Retired couple looking after handicapped son	1
Living alone	10.7%	17	Dogs	1
Couple with no children	7.5%	12		
Retired couple	18.2%	29		
Other, please specify (click to view)	6.9%	11		

7 WALDAU CONSULTATION SUMMARY

### Age category

Q: Please tell us your age category

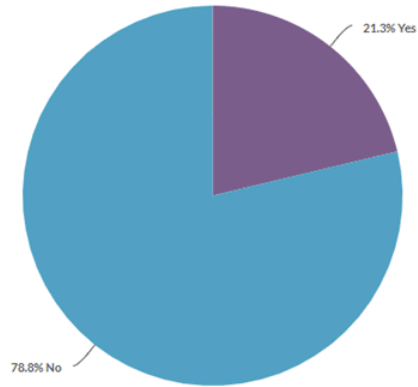


Value	Percent	Responses
17 or younger	1.9%	3
18 to 24	3.8%	6
25 to 34	8.3%	13
35 to 44	15.3%	24
45 to 54	21.7%	34
55 to 64	17.2%	27
65 to 74	21.0%	33
75 or older	10.8%	17

Totals: 157  
MANNINGHAM

**2.3.2. Languages spoken other than English at home**

Q: *Do you speak a language other than English at home?*

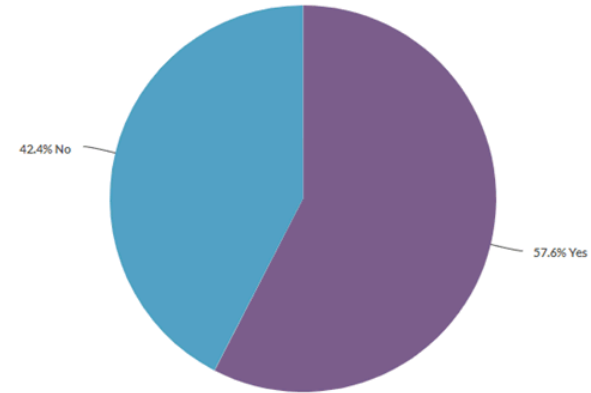


Value	Percent	Responses
Yes	21.3%	34
No	78.8%	126

Totals: 160

**Born overseas**

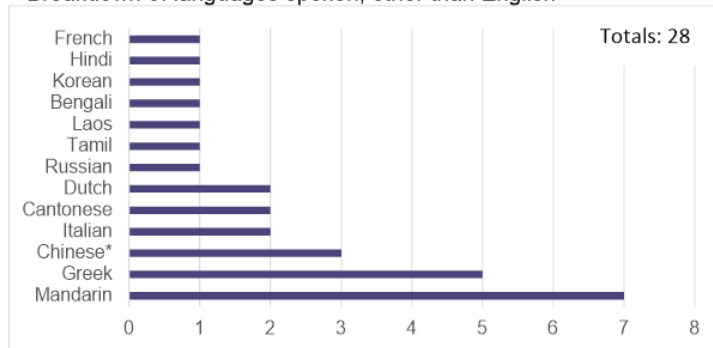
Q: *Were you born overseas?*



Value	Percent	Responses
Yes	57.6%	19
No	42.4%	14

Totals: 33

**Breakdown of languages spoken, other than English**



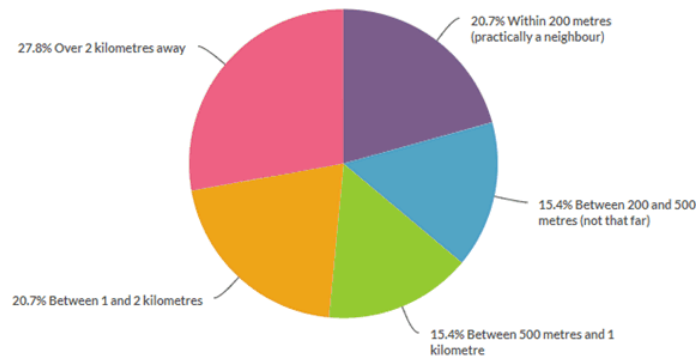
Totals: 28



## 2.4. How they get here (from survey)

### 2.4.1. Distance from precinct

Q: How far do you live from your nearest entry point to this precinct?

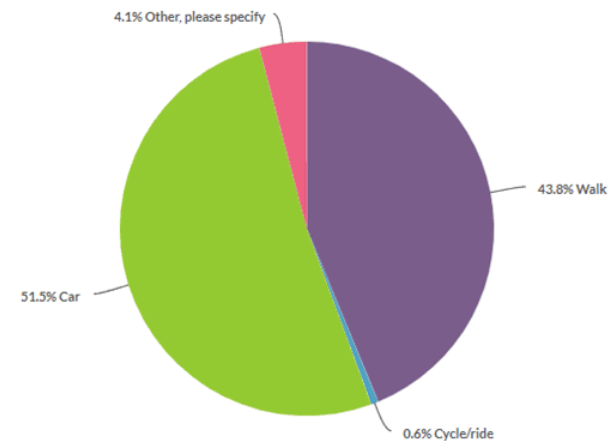


Value	Percent	Responses
Within 200 metres (practically a neighbour)	20.7%	35
Between 200 and 500 metres (not that far)	15.4%	26
Between 500 metres and 1 kilometre	15.4%	26
Between 1 and 2 kilometres	20.7%	35
Over 2 kilometres away	27.8%	47

Totals: 169

### Mode of travel

Q: When visiting the precinct, how would you normally travel there?



Value	Percent	Responses
Walk	43.8%	74
Cycle/ride	0.6%	1
Car	51.5%	87
<a href="#">Other, please specify (click to view)</a>	4.1%	7

'Other' themed responses	Count
Walk and drive part way	2
Run	1
Varied	2
Christmas Carols	1

Totals: 169

## 2.5. Current use (from survey)

Q: How often do you visit the following areas within the Waldau Precinct?

	Every day	A couple of days per week	Weekly	Monthly	Every few months	Rarely	Never	Responses		Count
Schramm's Cottage										
Count	7	6	7	13	14	43	44	134		
Row %	5.2%	4.5%	5.2%	9.7%	10.4%	32.1%	32.8%			
Rieschiecks Reserve										
Count	9	16	22	16	24	40	17	144		
Row %	6.3%	11.1%	15.3%	11.1%	16.7%	27.8%	11.8%			
Ruffey Lake Park Victoria Street Playground										
Count	11	15	29	25	30	23	9	142		
Row %	7.7%	10.6%	20.4%	17.6%	21.1%	16.2%	6.3%			
Ruffey Lake Park Heritage Trail										
Count	23	20	22	20	25	19	12	141		
Row %	16.3%	14.2%	15.6%	14.2%	17.7%	13.5%	8.5%			
Ruffey Lake Park open space, paths etc.										
Count	30	25	39	28	20	12	4	158		
Row %	19.0%	15.8%	24.7%	17.7%	12.7%	7.6%	2.5%			

'Other' themed responses	Count
Scouts	5
Boulevard Play area	2
Church Road Play area	2
Christmas Carols	1



### 3. What they told us

#### 3.1. Cumulative responses

Cumulative totals include direct and open survey feedback from 178 responses.

##### 3.1.1. What they value/feel special about the area (gathered from ALL responses > 5%)

- 13% (23) value conservation management of flora/fauna, protecting the environment and retaining natural feel
- 13% (23) value the outdoors and open space, often citing at no cost

##### 3.1.2. Support of the major proposed features (from ALL responses)

% TOTALS OF 178 RESPONSES	SMALL CAFE	VISITOR CENTRE	IMPROVED HERITAGE LINKS AND PATHS	UPGRADE TO PLAYGROUNDS
<b>SUPPORTIVE</b>	<b>64% (113)</b>	<b>64% (113)</b>	<b>83% (147)</b>	<b>79% (141)</b>
<b>DON'T KNOW (MAYBE)</b>	<b>7% (13)</b>	<b>16% (29)</b>	<b>8% (15)</b>	<b>9% (17)</b>
<b>NOT SUPPORTIVE</b>	<b>26% (47)</b>	<b>13% (23)</b>	<b>3% (5)</b>	<b>6% (10)</b>
<b>NOT INDICATED</b>	<b>3% (5)</b>	<b>7% (13)</b>	<b>6% (11)</b>	<b>6% (10)</b>

### 3.1.3. Key emerging themes (gathered from ALL open responses > 5%)

THEME	%
Road safety for vulnerable road users (crossings and paths getting to and from precinct or bus stops etc.)	<b>32% (57)</b>
No café due to negative flow on effects, broken down as	<b>21% (37)</b>
<ul style="list-style-type: none"> <li>• No commercialisation / café ruins feel</li> <li>• Impacts to parking</li> <li>• Impacts to environment (concerns around rubbish, waste management and impact to native flora &amp; fauna)</li> </ul>	11% (20) 6% (11) 12% (22)
Safety and security - lighting (for pedestrians), anti-theft, fireproof and security through design at Schramms Cottage	<b>11% (19)</b>
Additional or upgraded car parks and roads <u>inside</u> the precincts	<b>9% (16)</b>
Investigate further into upgrade at scouts area and how cater to many users and multiple other 'formal' and 'informal' groups. Also noting Kevin Heinze requirements and the need to ensure it caters to it users, especially people with disabilities.	<b>7% (13)</b>
Make upgrade accessible and for all abilities	<b>5% (9)</b>

### 3.1.4. Specific issues from most popular theme

#### Breakdown of specific road safety issues that would make it easier or more likely to travel to the precinct

Council received 80 open comments in regards to travel issues, out of 178 consultation responses. This was one of the most popular subjects people commented further on, when combining 'other' and 'any other comments' from the open text responses, or via direct feedback.

PEDESTRIAN ROAD SAFETY DESIGN ISSUE 31% (56)		SAFETY ISSUE FOR DRIVERS 4% (7)	
<b>GENERAL CROSSING ISSUE</b> - Create easier, safer way to facilitate CROSSING the roads (inc signals, pedestrian islands, kerb outstands). Currently uninviting, dangerous or unsafe to cross road	22% (40)	Make safer to turn onto Victoria Street from carpark or from Muriel Green, traffic lights may help	5% (9)
<b>GENERAL ACCESS ISSUE</b> - Easier, safer access PATHS (to also get between different areas such as bus stop, destination area or road crossing). Currently uninviting or unsafe to walk on paths	17% (30)	Conflicts – safer for cars, the bus stop near Owens St needs to be set back and off road bay made wider for pick up and better turning area into Owens St. That way safe for cars to overtake. Safer for bus, cars and people	1% (2)
CROSSING - Unsafe to cross Victoria Street. Make it safe to facilitate crossing and kerb channelling.	14% (25)	<b>CAR DRIVER INCONVENIENCE ISSUES 12% (21)</b>	
FIX WEST PATHS, KERB & CHANNEL - new/better footpath delineation/protection by the park on the entire west side of Victoria St. Need to walk next to road to be on ground level than drainage. Victoria street to carpark is dangerous for peds.	12% (22)	More car parking to accommodate scouts	4% (8)
References close calls, fatalities and/or make child friendly for child road safety	11% (19)	Moderate traffic volume and flows from Victoria St, in between George and King St, or along George Stsd.	4% (7)
CROSSING: Strengthened and <u>inviting</u> CONNECTION between Ruffey Lake and Schramm's Cottage/ Rieschiecks Reserve area (uninviting at the moment)	11% (19)	Insufficient car parking at Victoria St	3% (6)
FIX EAST PATHS, KERB & CHANNEL- new footpath on entire east side of Victoria St up to King Street lights	10% (17)	Seal / upgrade scouts car park and other roads	3% (6)
PATHS & ACCESS, CROSSING - easier paths, islands, crossing and access from Victoria St to George St corner (to get to different areas)	8% (15)	More parking on cnr George & Victoria Street car park (#7 on legend)	2% (3)

REDUCE SPEEDS: Concerns on speed of cars in general on Victoria or King Street - may mention with 'dip in road'	6% (11)	Expand roads outside of park	2% (3)
Pedestrian footbridge or underpass	3% (5)	Better road to Schramms Cottage or scouts (Muriel Drive)	2% (3)
Uses mobility device/ road safety design to suit all abilities	2% (3)	No parking in open gutter on Victoria Street or nature strips on side streets	2% (3)
'Pedestrian' proof fencing along paths	2% (4)	No parking on George Street as hinders traffic	1% (2)
LIGHTING - street lights needed for visibility and to see edges – risk of going over (along Victoria Street and also King St Bridge entrance and area for Carols carpark from Fernbrook Way).	2% (3)	<b>BUS USER CONVENIENCE, SERVICE, ACCESS OR SAFETY 3% (6)</b>	
PATHS & ACCESS - Footpath to Athletics	1% (2)	PATHS & ACCESS - easier accessibility to bus stops	2% (4)
CROSSING: Unsafe to cross from King St (Nth side) to Victoria Street (North East side) intersection. Make it easier to cross with 3 crossings and include Ashcroft and Kings St	1% (2)	BUS FREQUENCY - Frequent bus loop service (Pines to Westfield)	1% (1)
CROSSING - Unsafe. Facilitate better crossing at intersection of King St and Church St – Ruffey entry way	1% (1)	BUS AMENITY: better shelter	1% (1)
<b>SAFETY &amp; ACCESS FOR BIKE RIDERS 1% (1)</b>		BUS SERVICE - Shuttle service to hubs or local on call personal transport	1% (1)
Bike path on Victoria Street (King to George) to continue the existing bike lane on the southern section of Victoria.	1% (1)	<b>OTHER</b>	
		Clear signage prior to reserve	1% (2)
		Uses mobility device/ road safety design to suit all abilities	2% (3)

### 3.2. Themes from on site consultation responses

HERITAGE PRECINCT	ROAD SAFETY, STREETS & GETTING HERE	CAFÉ
<ul style="list-style-type: none"> <li>• Appears to be driven by small interest group of historical society's needs</li> <li>• Mixed diverse and informal use of open space, than single formal use of Doncaster Templestowe Heritage Society</li> <li>• Indigenous recognition - Rieschiecks garden, trail artworks</li> <li>• Supports investing in German (and all) heritage, including trails</li> <li>• Support for historical society upgrades</li> <li>• Archive and research area not needed in park</li> <li>• New Building would obstruct views, move it</li> <li>• Support new building at Schramms</li> <li>• Keep new building within current museum site</li> <li>• Building move closer to edge of the carpark</li> <li>• Bigger meeting room – current school room is packed. Size of building – 80 seats – school kids, overhead screens projector for Serpells Primary</li> <li>• Bigger facilities for Doncaster Templestowe Heritage Society</li> <li>• Historical Society records could be located near library</li> <li>• Currently arrive to back door of Schramms and visitors centre on S side (downhill) of existing carpark.</li> <li>• Covered walk way to college and cemetery</li> </ul>	<ul style="list-style-type: none"> <li>• Victoria Street is dangerous. Save lives - footpaths on both sides of Victoria Street needed</li> <li>• No upgrades unless, safe crossing. Victoria Street's traffic and pedestrian safety improvements are urgent. Council needs to lobby for signalised pedestrian crossing on Victoria Street</li> <li>• Plan for pedestrians going from north of Rieschiecks to Ruffey Lake Park. Footbridge overpass/underpass should be considered for crossing Victoria Street</li> <li>• Victoria St road safety concerns – support sign pedestrian crossing and the Muriel Drive realignment</li> <li>• Consider bus stop locations and integrate with proposed Victoria Street crossing point upgrade. Victoria Street west side bus stop is a nightmare and east side crashes.</li> <li>• Pedestrian fencing to stop people crossing one side</li> <li>• Owen Street Road is unsafe – open channels a big problem</li> <li>• Provide a new signalised crossing at King St</li> <li>• Crossing guards requests at George Street at school times due to safety</li> <li>• Lighting safety upgrade on Victoria Street</li> </ul>	<ul style="list-style-type: none"> <li>• Concerns around commercialisation and growth of the café</li> <li>• No café – plenty of cafés in the area.</li> <li>• No café - at odds with environmental setting</li> <li>• No litter, zero waste – all reusable only (crockery and cutlery etc) and no single use</li> <li>• Objection to rates spent on café.</li> <li>• Food truck rental space is more appropriate</li> <li>• Not if café attracts increased traffic on Victoria St</li> <li>• Ambivalent about café</li> <li>• Supports café</li> <li>• Yes café - use this area a lot especially for birthday</li> <li>• Café to have a little ice cream shop and slushies</li> <li>• Name café 'Retticks' after past owners</li> <li>• Interest in running café</li> </ul> <div data-bbox="1413 986 1910 1023" style="background-color: #cccccc; padding: 2px;"> <p><b>FIX OR CLEAN UP AREA</b></p> </div> <ul style="list-style-type: none"> <li>• Dumping issues on Margot Avenue entry to Ruffey Lake</li> <li>• Fix plumbing works damage at Owens St entry</li> <li>• (?) Wish to save St Johns Church. Built hall in a day but St Johns church priority</li> <li>• (?) North burn. Like to have levelled low retaining walls. Functions have tables or bank</li> </ul>

HERITAGE PRECINCT (CONTINUED)	ROAD SAFETY, STREETS & GETTING HERE	KEVIN HEINZE GROW & SCOUTS AREA
<ul style="list-style-type: none"> <li>• Visitor centre to have commercial kitchen to host community events.</li> <li>• New and upgraded facilities shed in addition to new visitor centre</li> <li>• Extension of machinery shed 6m x 20m, to another 6m, existing machines but need more room with planting behind</li> <li>• More trees at Schramms Cottage</li> <li>• Make historic area similar to Doncaster RSL room (Kitchen facilities and historic info)</li> <li>• Charging admissions costs for Schramms, fence for removal</li> <li>• Waldau settlement not village – surviving Lutheran Ch. Friedersruche. House on George x 2. Denhart home house owned by Hope. Support Heritage markers to these four sites</li> <li>• Use gate on Muriel Green Drive</li> <li>• Keep fencing at Schramms for security and due to steep drops</li> <li>• Pool like fencing around Schramms – or not at all – better than current ugly fence</li> <li>• Risk of fire to barn if grounds are kept open</li> <li>• Graffiti and security concerns in Heritage area</li> <li>• Vandalism risk to cemetery</li> <li>• Stabilisation and safety for cemetery area and its visitors</li> <li>• Cemeteries usually closed at night</li> </ul>	<ul style="list-style-type: none"> <li>• No parking in Owen St. Visit current Owens Street parking - people already park there. More parking for Rieschiecks playground</li> <li>• Issues at 9am when going northbound to turn into Muriel Drive</li> <li>• More parking</li> <li>• Sealed car park near athletics track</li> <li>• Signage to carpark</li> <li>• Merging safety issue on Victoria Street</li> <li>• Parking area incredible</li> </ul>	<ul style="list-style-type: none"> <li>• Area for New Building is used by Scout group in evenings. Kinder Groups Assoc.</li> <li>• Supports KHG relocation to increase use</li> <li>• Keep Kevin Heinz Grow in currently place</li> <li>• Tricks (trucks?) that could be better displayed. More rotary shed to near scouts area. More sloyd (?) room here</li> <li>• Behind scout hall under utilised</li> <li>• Rieschiecks Reserve is under utilised but new building is not complementary</li> </ul>
<p><b>SAFETY CONCERNS</b></p> <ul style="list-style-type: none"> <li>• Concerns on night time use</li> <li>• Drug use – change the way the space is used</li> </ul>	<p><b>PLAYSPACE</b></p> <ul style="list-style-type: none"> <li>• Lighting near Rieschiecks Playspace</li> <li>• Lighting at the playground at Owens Reserve</li> <li>• Do not destroy a wonderful park. Upgrade equip to make the area safe to use</li> <li>• Support for play space upgrade</li> <li>• Amaze to explore in</li> <li>• More slides and more flying foxes</li> <li>• In-ground built spinners that fit lots of people like Merry-go-rounds</li> <li>• Video arcade games in park</li> <li>• Lots of flying foxes. Swing hammock.</li> <li>• More monkey bars</li> </ul>	<p><b>GENERAL OPEN SPACE</b></p> <ul style="list-style-type: none"> <li>• Amphitheatre with Australian Natives</li> <li>• Planting along the creek beds</li> <li>• Replace remnant Pines with lower growing alternative trees. Pines planted 1942. Time for new planting – Canary Island</li> <li>• Owens Rd – 2 big gum trees in park. Checked by our arborist. Improve the entrance to the park.</li> </ul>
	<p><b>GENERAL AMENITIES</b></p> <ul style="list-style-type: none"> <li>• 2 lots of toilets – one for external/public, one for inside building accessible. Need accessible toilets</li> <li>• More picnic benches and shelters for parties in lower BBQ area - too busy on weekends</li> </ul>	<p><b>GENERAL PROPOSAL COMMENTS</b></p> <ul style="list-style-type: none"> <li>• Proposal will result in negative change</li> <li>• Commercially driven rather than whole of community and wellbeing focused</li> <li>• Do not need anything further</li> <li>• Ruffey Lake Park oasis worth fighting for</li> <li>• Use this park a lot. 40 years. Love the plan. Everything you're doing is great.</li> <li>• Interest in job opportunities</li> </ul>

### 3.3. Survey responses

#### 3.3.1. Support of the major proposed features

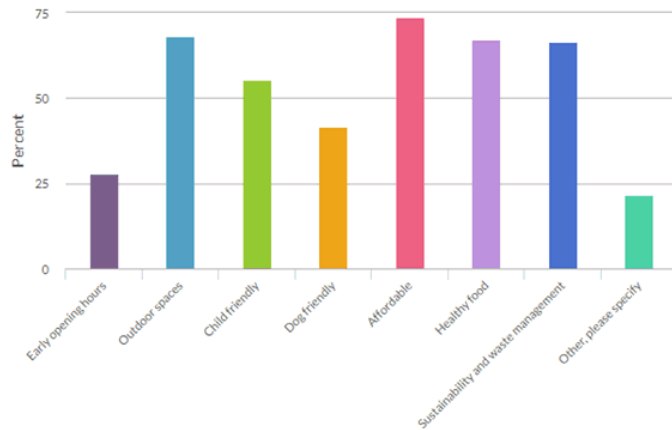
*Q: How supportive are you of the following major proposed features for the Waldau Precinct?*

	Very supportive	Supportive	Don't know	Not supportive	Not at all supportive	Responses
Small cafe at Ruffey Lake Park Victoria Street Playground Count Row %	77 45.0%	37 21.6%	13 7.6%	14 8.2%	30 17.5%	171
New visitor centre next to Schramm's Cottage Count Row %	57 34.8%	55 33.5%	29 17.7%	11 6.7%	12 7.3%	164
Improved heritage links and paths Count Row %	84 50.3%	63 37.7%	15 9.0%	4 2.4%	1 0.6%	167
Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds Count Row %	97 57.4%	45 26.6%	17 10.1%	9 5.3%	1 0.6%	169
Totals Total Responses						171



**3.3.2. Important features for a small café, if constructed at Ruffey Lake Park**

Q: If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you? (Please tick all that apply)



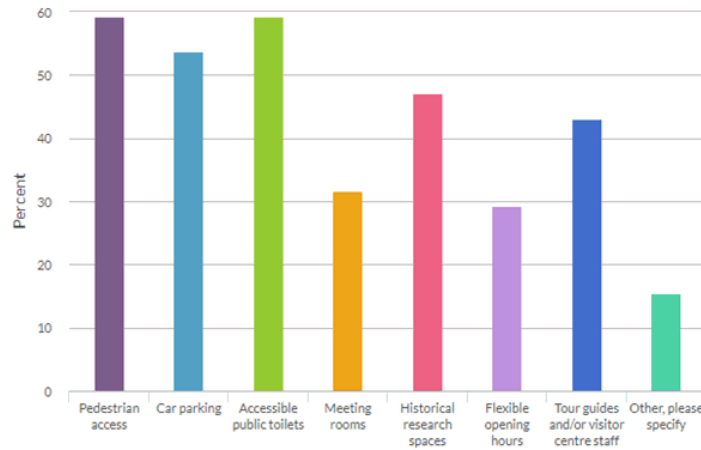
Value	Percent	Responses
Early opening hours	28.0%	35
Outdoor spaces	68.0%	85
Child friendly	55.2%	69
Dog friendly	41.6%	52
Affordable	73.6%	92
Healthy food	67.2%	84
Sustainability and waste management	66.4%	83
<a href="#">Other, please specify (click to view)</a>	21.6%	27

**‘Other’ themed responses**

	Count
Reusable cups, crockery, cutlery food containers. No single use takeaway items that impact natural surrounds	5
Disabile friendly & accessibility	3
Undercover seating/ protection from weather	3
Organic farm café (like Ceres)	2
Gluten and Lactose Free Option	1
Pet snacks and water bowls	1
Sell items for barbecue and small kid snacks	1
Hire or sell of BBQ or birthday party items	1
Cool drinks and icecream in summer	1
Café cart	1
Have a look at the mistakes made at Possum Hollow in Banyule. Cafe lasted only a few months	1
No pets too close to cafe due to children's playground	1
Sufficient clean toilet facilities and drinking taps available	1
family friendly and a pretty aesthetic, with table and chairs outdoors	1

**3.3.3. Important features for a visitor centre, if constructed next to Schramm’s Cottage**

Q: *If a visitor centre was to be constructed next to Schramm’s Cottage, what features are important to you? (Please tick all that apply.)*



Value	Percent	Responses
Pedestrian access	59.3%	73
Car parking	53.7%	66
Accessible public toilets	59.3%	73
Meeting rooms	31.7%	39
Historical research spaces	47.2%	58
Flexible opening hours	29.3%	36
Tour guides and/or visitor centre staff	43.1%	53
<a href="#">Other, please specify (click to view)</a>	15.4%	19

**‘Other’ themed responses**

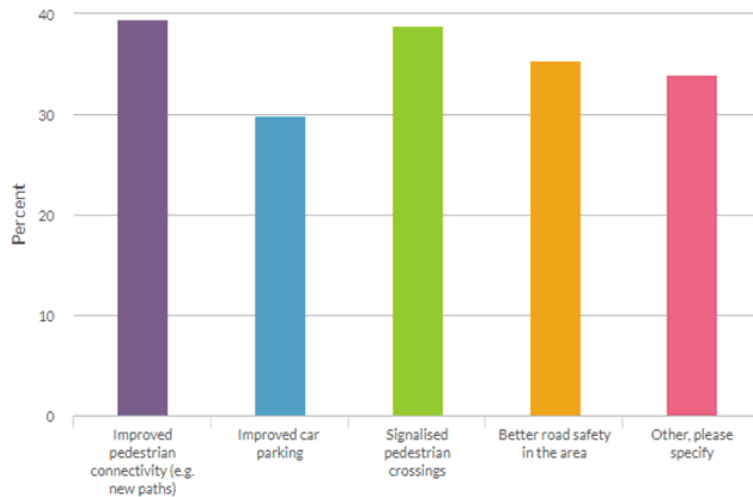
	Count
Sufficient security or closed gates for after hours	3
Indigenous references and history	2
Library/study space/ reading area	2
Open access like Schwerkolt Cottage	1
Sympathetic design and materials	1
Wifi	1
Disability friendly access	1
Traffic management	1
Security, opening hours, taking of open space increased activity	1
Lights	1
Food/cafe	1

*In addition, there were many specific requests from various members of the Heritage Society*



**3.3.4. Factors that would make it easier or more likely to travel to the precinct**

*Are there any factors that would make it easier or more likely for you to travel to this precinct? (Please tick all that apply)*



Value	Percent	Responses
Improved pedestrian connectivity (e.g. new paths)	39.5%	58
Improved car parking	29.9%	44
Signalised pedestrian crossings	38.8%	57
Better road safety in the area	35.4%	52
<a href="#">Other, please specify (click to view)</a>	34.0%	50

'Other' themed responses – top issues > 5%	Count
<b>Pedestrian road safety design issue</b>	31% (56)
<ul style="list-style-type: none"> <li>Create easier, safer way to facilitate CROSSING the roads (inc. signals, pedestrian islands, kerb outstands). Currently dangerous, uninviting or unsafe.</li> </ul>	22% (40)
<ul style="list-style-type: none"> <li>Easier, safer access PATHS (to also get between different areas such as bus stop, destination area or road crossing). Currently uninviting or unsafe to walk on paths</li> </ul>	17% (30)
<ul style="list-style-type: none"> <li>Car speeds</li> </ul>	6% (11)
<ul style="list-style-type: none"> <li>References to near misses, fatalities, child friendly</li> </ul>	11% (19)
<b>Car driver inconvenience issues</b>	12% (21)
<b>Safety issue for drivers</b>	4% (7)
<ul style="list-style-type: none"> <li>Safe turning out for cars onto Victoria Street</li> </ul>	5% (9)

# APPENDICES

Verbatim responses, media and advertising

#### 4. Verbatim responses – On site consultation

THURSDAY 14 FEBRUARY – POST IT NOTES COMMENTS	
1.	Margot Avenue entry to Ruffey Lake park looks terrible – dumping issue here
2.	Archive and research does not need to be collocated – no need in park
3.	Prefer diverse open space used informally use rather than single formal use of DTHS i.e. as currently used
4.	CFS – Plumbing works damage needs to be corrected – park looks a mess at Owens Street Entry
5.	Concern at proposal will result in negative change
6.	Concerns at night time use – may increase
7.	New building would be acceptable if within existing museum complex footprint
8.	Worth investing in our German heritage (& all) and heritage trails
9.	Café – not fussed either way
10.	Lighting needed in park near Rieschiecks Playspace
11.	Appears to be driven by small interest group of historical society's needs
12.	Stabilisation and safety for cemetery area and its visitors
13.	Feels more commercially drive rather than whole of community wellbeing focused
14.	Vic Street safety upgrades urgent – lights
15.	Currently arrival to back door of Schramms – visitors centre on S side (downhill) of existing carpark. Bigger meeting room – current school room packed. Covered walk way to college and cemetery
16.	Owen Street road unsafe – open channels a big problem
17.	DTHS – to work long term – needs bigger facilities and on site
18.	Indigenous recognition. Maybe Garden for Rieschiecks, trail artworks
19.	New building in R.Reserve would obstruct views across park to oval
20.	No parking in Owen St. – Is needed. – People want to park near Rieschiecks playground
21.	Support for Kevin Heinz Gro relocating appropriate increase in use
22.	Lots of pedestrian movement from N of Rieschiecks to Ruffey Lake Park
23.	Vandalism risk to cemetery
24.	Area for new building is used by Scout group in evenings. Kinder Groups Assoc.
25.	2 lots of toilets – one for external/public, one for inside building accessible
26.	Use gate on Muriel Green Drive

THURSDAY 14 FEBRUARY – POST IT NOTES COMMENTS	
27.	Historical Society records could be located near library
28.	Drug use – change the way the space is used
29.	Pool type fencing around Schramms – or not at all – better than current ugly fence
30.	Rieschiecks Reserve is underutilised but now building is not complementary
31.	Visitor centre – commercial kitchen – Devonshire teas 100 people – dinners – longest morning tea etc. Extension of machinery shed 6m x 20m, another 6m, existing machines but more room
32.	Tricks that could be better displayed. More rotary shed to near scouts area. More sloyd room here
33.	Lighting at the playground at Owens Reserve
34.	A maze to explore in
35.	Check Owens St carparking. People park here anyhow
36.	Council needs to lobby for Vic St Safety Signalised ped xing
37.	More trees at Schramms Cottage
38.	Amphitheatre with Australian Natives
39.	Café named Retticks after passed past owners
40.	Café okay but not if more traffic on Vic St
41.	Lower BBQ need another BBQ shelter because it is too busy at weekends
42.	Concerns around commercialisation and growth of the café
43.	Owens Rd – 2 big gum trees in park. Checked by our arborist. Improve the entrance to the park.
44.	Size of building – 80 seats – school kids, overhead screens projector, Serpells Primary come
45.	Schramms – charging admissions costs for Schramms, fence for removal, building moved closer to edge of the carpark
46.	Replace remnant Pines with lower growing alternative trees
47.	Car park sealed near the aths track
48.	Issues turning around 9am when going northbound to turn into Muriel Drive
49.	Banner to stop people crossing one side to stop
50.	Parking area incredible
51.	Vic St traffic and ped. Safety improvements are urgent. No upgrades unless, safe crossing
52.	Signage to carpark
53.	Planting along the creek beds
54.	No café – plenty of café's in the area. Worried that the next move would be housing. <u>Do Not</u> destroy a wonderful park. Upgrade equip to make the area safe to use
55.	But we do not need any further infrastructure

Thursday 14 February on site consultation - photo of post it note comments taken from site







SATURDAY 23 FEBRUARY – POST IT NOTES COMMENTS	
1.	Make historic area similar to Doncaster RSL room (Kitchen facilities and historic info)
2.	Use this park a lot. 40 years. Love the plan. Everything you're doing is great.
3.	Opposed to café. At odds with environment setting.
4.	More slides x 3. More flying foxes x 3. Would like café for a little ice cream shop and slushies x 3
5.	Yes to café if Zero waste all reusable no single use x 2
6.	Spinners built in ground that fit lots of people like Merry-go-rounds
7.	2 main DTHS concerns – fence down – new and upgraded facilities shed in addition to new visitor centre
8.	Consider bus stop locations and integrate with proposed Victoria Street crossing point
9.	Footbridge overpass should be considered
10.	Using bus west side of road nightmare – East side crashes. Link bus stop and crossing.
11.	Behind scout hall under utilised
12.	Supports the café and use this area a lot especially for birthday
13.	Support for historical society upgrades
14.	Consider over/underpass for crossing Victoria Street
15.	Support new building at Schramms
16.	Need accessible toilets
17.	Vic St dangerous
18.	Risk of fire to finger barn if grounds open
19.	Graffiti concerns – security for heritage
20.	More parking
21.	Wish to save St Johns Church. Built hall in a day but St Johns church priority
22.	Want 6m extension to machinery shed planting behind

SATURDAY 23 FEBRUARY – POST IT NOTES COMMENTS	
23.	Pines planted 1942. Time for new planting – Canary Island
24.	North burn. Like to have levelled low retaining walls. Functions have tables or bank
25.	I'd like to see arcade – video games in park. Male 9 years old
26.	Lots of flying foxes. Swing hammock. Female 9 years old
27.	Provide a new signalised crossing at King Street
28.	Objection to rates spent on café. Litter and rates
29.	Food truck rental space would be more appropriate to Ruffey Lake Park – no litter, reusable only
30.	Support for play space upgrade
31.	Ruffey Lake Park oasis worth fighting for
32.	More picnic benches/shelters for parties
33.	Café – only reusable crockery and cutlery
34.	Waldau settlement not village – surviving Lutheran Ch. Friedersruhe. – House on George x 2. Denhart home house owned by Hope. Support Heritage markers to these four sites
35.	Vic St safety – merge issue
36.	More monkey bars from Leanna
37.	Support for café x 4
38.	Vic St footpaths both side needed – save lives
39.	Local teen – interested in job opportunity
40.	Victoria St road safety concerns – support sign ped xing –support Muriel Drive realignment
41.	Crossing guards requests at George Street –safety –school times
42.	Cemeteries usually closed at night
43.	Don't take fence down at Schramms –security –steep drops –w&s –bricks difficult
44.	Kevin Heinz GRO better where they are







## 5. Verbatim responses - Survey

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschieks Reserve playgrounds
27		We use the Ruffey lake adventure playground on Victoria street a lot. We also walk our dog around the lake and the kids ride their bikes. We also enjoy having a BBQ dinner at Ruffey lake in daylight savings months.			Consideration and inclusion of local indigenous story and heritage including in the Playground update.	Supportive	Very supportive	Very supportive	Very supportive
28						Not supportive	Supportive	Supportive	Not supportive
29	Its good at the moment		Have a look at the mistakes made at Possum Hollow in Banyule. Cafe lasted only a few months			Supportive	Supportive	Supportive	Very supportive
30		I would like to feel that the connection between Ruffey Lake and Schramm's Cottage is strengthened. There is nothing inviting me to cross the road currently. I believe that the heritage value of the area could be strengthened and the ties between the areas - within the Waldau Precinct - improved.			Opportunity for a digital walking trail with heritage info, videos, photos etc would be fabulous for this precinct	Very supportive	Very supportive	Very supportive	Very supportive
31	None				We strongly oppose the idea of a cafe in Ruffey Lake Park as we did around 10 years ago when it was first proposed and subsequently defeated. Ruffey Lake Park is an almost unspoilt natural reserve where families can come and enjoy the out doors without a cost. This is not the place for a cafe. The erection of such a large structure would interfere with the bird and animal life currently inhabiting the area. We urge you to reconsider this proposal and allow an area free of additional rubbish and costs to the community.	Not at all supportive	Supportive	Don't know	Supportive
32					Get rid of that overhead transmission line. Council made enquiries to United Energy more than 15 years ago, to be told that the line is a redundant link and serves no purpose other than "we may need it some day". Erected in the mid 1960s, it's been more than 50 years and not required. Get rid of it, it's an eyesore and shouldn't be running above houses and parkland. It's the biggest obstruction in the Waldau precinct.	Don't know	Supportive	Very supportive	Don't know
33	No					Very supportive	Supportive	Supportive	Don't know

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschieks Reserve playgrounds
34					ive been always supportive of a cafe in this area as its one of the necessities in every park around melbourne. as long as its managed professionally it will be an asset to the community.	Very supportive	Very supportive	Very supportive	Very supportive
35		See box below			It's clear the Council want the café. The residents have rejected this proposal many times before. Please listen. The carpark at Victoria St is inadequate for the no of visitors arriving by car. There needs to be some sort of delineation/protective fence/footpath by the park on the west side of Vic St where the young child was killed. The grassy bank goes up to the edge of the bitumen. It seems like an extension of the park and you need to walk close to road to be on level ground.	Not at all supportive	Supportive	Supportive	Don't know
37	Eaiser access to bus	Crossing the road. Path to the athletics			Concerned about the "realignment" of Meriul Drive where is it going to be	Not supportive	Don't know	Very supportive	Very supportive
38						Supportive	Supportive	Supportive	Supportive
39			I would like to know how to take the lease and operation of the cafe		I wish to find out how I can take the lease or ownership of the cafe because I would like to operate it	Very supportive	Very supportive	Very supportive	Very supportive
40	since I am in a motorised scooter, I would like better access from Victoria St-George St corner		Accessibility		More casual seating	Very supportive	Don't know	Very supportive	Very supportive
41						Very supportive	Very supportive	Very supportive	Very supportive
42		construct new pedestrian islands on Victoria St to facilitate crossing; new path to connect bus stop on George St (Rieschieks Reserve) to Schramm's Cottage Museum complex			Installation of additional pedestrian islands, new turning lanes and an upgrade of lighting on Victoria St may help to improve safety for road and pedestrian users; A new pedestrian link between George St bus stop (Rieschieks Reserve) to Schramm's Cottage Museum Complex would be beneficial; A shaded outdoor deck seating area for the café might be worth considering	Very supportive	Very supportive	Very supportive	Very supportive
43	none		all products for sale made on site ala	links to indigenous history	Great Idea, ensure there are links to our Indigenous heritage clearly marked and you are on a winner	Very supportive	Very supportive	Very supportive	Very supportive



Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
44	New footpath east side of Victoria street up to king st lights.				Works to clean the lake - it is often putrid . Regular mowing near paths due to snakes. No cafe as rubbish will be left . Poo bins for dogs are often overflowing so managing rubbish . Do not get rid of dog poo bins - dog registration should be adequate to pay for them - it's one of the few dog friendly parks left .	Not supportive	Don't know	Supportive	Very supportive
45			Undercover seating	not sure	An actual footpath along Victoria Street on both sides. The young girl that died along there last year may not have been hit by car if there was a footpath.	Very supportive	Supportive	Very supportive	Supportive
46		Clear signage prior to arriving at reserves. Sealed roads that provide safe driving with minimal congestion.			Leave the reserves free of commercial use- EG no cafes, no information centre. MINIMAL FOOTPRINT in the area around Schramms Cottage- ensure environment is left as it was when cottage lived in. Cafe would invite further commercialisation and destroy free space, and require more car parking. Leave the area alone, maintain gardens and replenish native foliage. Ensure visitors have readily available rubbish bins for their picnic rubbish. Maintain security and provide safe pathways. Update playgrounds WITHOUT destroying natural surrounds- make sure playgrounds are all abilities friendly and of natural products- minimal plastic crap. Perhaps implement a small playground area suitable for the BIG kids- adults???	Not at all supportive	Not supportive	Very supportive	Very supportive
47	a frequent loop bus service from Pines to Westfield		Adequate, Good seating in shade.	would rather see the money spent on upgrading the Pines Library	Without adequate lighting and policing, it won't be used often.	Very supportive	Very supportive	Very supportive	Very supportive
48	Shuttle service or local on call personal transport.		Shelter from weather.	Wifi.	Mobility; connection to hubs, shuttle service or local on call personal transport. Better shelter. Wifi. Indigenous representation and experience, perhaps as the cafe design and management.	Very supportive	Supportive	Very supportive	Very supportive
49						Supportive	Supportive	Very supportive	Very supportive
51		More pedestrian-proof fences along either side of Victoria street to prevent J-walking and pedestrian fatalities .				Not supportive	Not supportive	Supportive	Supportive
52					No thank you	Supportive	Very supportive	Very supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
53		More BBQ's at Ruffey Lake Park, bigger play ground, and improved/upgraded playground				Don't know	Don't know	Very supportive	Very supportive
54					Why don't we have a world class Children's playground? Something grand, better than nice, "GRAND!" Please please don't out a cafe there, don't commercialise it	Not at all supportive	Supportive	Supportive	Very supportive
55						Don't know	Supportive	Supportive	Supportive
56						Very supportive	Very supportive	Very supportive	Very supportive
57					See attached document (to come)	Supportive	Supportive	Very supportive	Supportive
58						Very supportive	Very supportive	Very supportive	Don't know
59		It is unsafe to cross Victoria street. A signalised crossing is needed.			Please install a pedestrian crossing on Victoria Street.	Very supportive	Not at all supportive	Supportive	Supportive
60					Ensure that car parking spaces are plentiful and easily accessed, as most Manningham ratepayers will need to drive to benefit from this. - Ensure that all work is done quickly, within budget and without excessive expense. - Ensure that it is a safe environment and not likely to attract undesirable activities.	Very supportive	Don't know	Supportive	Don't know
61						Supportive	Supportive	Supportive	Very supportive
62		Traffic lights for crossing Victoria street is a must...even with the traffic island it's quite dangerous for younger kids.				Very supportive	Don't know	Don't know	Very supportive
63		Victoria Street entry and better pedestrian crossing and footpaths along that street			Shade sails in playground areas and improving on equipment. Another playground area could also be an option, skate or bike park area. Good range of food & coffee at the cafe	Very supportive	Supportive	Don't know	Very supportive
64		cars zoom down Victoria St at high speeds as the park is at the dip in the road not far from where a little girl was killed. Definately not paedestrian friendly			adventure style playground would be fantastic. currently the play areas dont link well with flying foxes up the hill and I cant keep an eye on two kids. some nature and risk play with logs and ropes and climbing nets or frames. keep it natural to blend in with environment. like north eltham adventure playground or those in tullamore estate or beckett park	Very supportive	Don't know	Supportive	Very supportive
65						Supportive	Very supportive	Very supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschlecks Reserve playgrounds
66		A pedestrian footbridge would make more sense than yet more traffic signals			It's important to acknowledge and celebrate the indigenous history of the local area not just that of white European settlers.	Very supportive	Don't know	Supportive	Supportive
67		When turning right into Victoria Street from the carpark, it is very difficult to turn due to the amount of traffic both ways, particularly in the morning, 8am to 9.30am. Possibly traffic lights would be a great improvement, making it much safer to turn into Victoria Street.			We would really love to have an exercise station somewhere in the park, as we have seen at many parks around the country. This would be highly beneficial to many patrons, who enjoy keeping fit.	Supportive	Very supportive	Very supportive	Very supportive
68		Traffic volume and type, on Victoria st between George and King st needs to be moderated.		Traffic management	With reference to the message below. I received a response from council which seemed to be a bit of a handball. While it is understood that Vic roads has control over this section of Victoria st. surely there is a consultative process involving the council. The recent tragedy involving the young girl in Victoria only serves to reinforce my concern regarding traffic. To: Manningham <Manningham@manningham.vic.gov.au > Subject: Victoria street feedback. I tried using the "Your say" for the comment I wished to submit but couldn't find the relevant lead, hence this email. Could you please direct to the area dealing with traffic management issues. The volume and type of traffic on Victoria st is unacceptable. This section of road is being used as a bypass for traffic which should be using the Manningham, Tram road, Eastern freeway route for the Middleborough road and Eastern fwy connection. The state of the road surface in King and Victoria st is a testament to the inappropriate traffic loads with the intersection of these two roads being a case in point. It is not uncommon to see articulated trucks using this route. The issues I have are: As a local resident I object to the time it takes to exit Woodlea st in the peak hour - which incidentally seems to be getting longer. Victoria st was never meant to be a main thorough fare. Particularly in its current state the usage is completely inappropriate. It is hard to see how the section between George and King could be upgraded to make it more than just a local street. The definition of street versus road being significant. Victoria st is the access point to Schramms cottage, scout hall, along with the very popular picnic and playground facilities. At a minimum the expectation is that this section of street would have a standing 40 km/h speed limit due to the presence of children. I know the argument will go - the North East link will moderate traffic flows and the problem will go away. Traffic using Victoria needs to be frustrated making alternative routes more attractive. I'm no traffic engineering expert but some thoughts: - for the King Victoria intersection during peak hour, shorten the right turn green arrow from King into Victoria together with a peak hour ban on traffic doing a right hand turn into Church road. It'll give me a chance to get out of Woodlea. - shorten the Victoria st green light phase at either Doncaster or George st intersections. - ban trucks from using this route. - Implement a 40 km/h restriction on the George to King st section of Victoria st - not that this will help my access issue. - I don't know whether it could be accommodated because they take up a lot space but, if and when upgrades of Victoria st are considered, put in a roundabout to facilitate access to the playground, scout hall etc...	Not at all supportive	Don't know	Supportive	Supportive
69		Cars travel very fast			Neighbour is worried about the powerlines. Fitness equipment stations at 1. Church Road playground 2. Victoria St playground 3. Boulevard PlaySpace	Not supportive	Supportive	Supportive	Very supportive
70				security, opening hours, taking of open space increased		Supportive	Don't know	Supportive	Supportive
72						Don't know	Don't know	Supportive	Supportive
73						Don't know	Supportive	Supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
75					Is the visitor centre designed to be a share facility between the historical group, Kevin Heinz centre and scouts/running centre? Are these organisations going to rent facilities when using them? Is the council going to staff the visitor centre?	Very supportive	Very supportive	Very supportive	Supportive
76					Please retain at least some of the hawthorns as many birds use the berries in late summer and early autumn when food sources are often scarce. This especially applies to Gang-gang Cockatoos for which the lake is known, but which have become less common, partly because of removal of hawthorns here and in other parts of the municipality.	Supportive	Don't know	Don't know	Don't know
77	Nothing really				How about a performance space for local music or other arts groups. I wonder if groups like the Manningham Concert Band might during summer do a couple of free concerts in a space like this (and I'm sure there are many other groups) as a way of more informally giving back to the community and further justifying council investment in these groups. I'm thinking of occasions where groups might provide just general background music, not necessarily formally arranged concerts with people sitting around. By performance space, maybe a flat concrete or paved area rather than grass which absorbs too much sound. Covered would be awesome, but maybe not necessary. I'm not even thinking an amphitheatre type space, just a flat platform.	Very supportive	Very supportive	Very supportive	Very supportive
78		Major concerns over pedestrian access to this venue via Victoria St/King St intersection, which only has 2 pedestrian crossing points at the T-intersection and NOT the 3 possible pedestrian crossing points. The 3rd possible pedestrian point (nearer Ashcroft Ave which has no pedestrian crossing buttons) is the most used access point by school children during the day crossing this intersection from King St (North side) to Victoria St (North East side) however it has no pedestrian lights to support their crossing. If the Waldau Precinct is to be a promoted as a walk to/ride to venue, you will need to offer children the protection of pedestrian access points at this intersection at all crossing points.			As commented in previous question in this survey	Very supportive	Very supportive	Very supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschieks Reserve playgrounds
79						Very supportive	Supportive	Supportive	Very supportive
80					The little aths track is amazing and the most used feature in area. Please ensure it continues to be well maintained and enhanced.	Don't know	Don't know	Supportive	Supportive
81	cafe				We need a cafe at Ruffey Lake Park- about time we have a council that is listening and is proactive to community needs!	Very supportive	Very supportive	Very supportive	Very supportive
84					Relocation of car park Access to Schramms Access to cemetery	Not supportive	Very supportive	Very supportive	Very supportive
85		Pedestrian lights at Victoria Street adjacent to the playground.			We live on the south-east corner of the proposed development and request that consideration be given to the sealing (hot mix bitumen) and drainage of the carpark servicing the sports oval (SE Corner). The reasons for this request are as follows 1. During summer with a north wind the properties on George St are inundated with dust from the carpark 2. The carpark is used nearly everyday and Council must have spent a lot of money over the years maintaining it 3. To sell the carpark on the south-west corner as a priority does not make sense	Supportive	Supportive	Supportive	Supportive
88					A bit disappointing not to see a waking paths along Victoria street. It is quite a challenging area to walk and the tragedy happened with a young girl just there.	Don't know	Don't know	Don't know	Don't know
89					The first thing is that if you want feedback you do not set teh questions to answer in a survey. Feedback is done on a plain sheet of paper on the actual website not where you have to first register to have your say. You have already created bias in your results. Secondly the whole history of Ruffey Lake Park as described on existing story boards is wrong, Ruffey was spelled RUFFY reflecting the name of the family that were early settlers in the area. The story Board refers to one son and yet that two is not correct. If you want to give history lessons first get the history correct. I suggest that you ask the History Society to put the text together. Why do we need a cafe in the park. That creates rubbish and an extra cost on the community. People go to RUFFY Lake Park for picnics and BBQ's and take their own food. In relation to the pedestrian access there needs to be a light controlled pedestrian crossing adjacent to the carpark entrance on Victoria street.. Consideration also needs to be given to cars existing to the North and South from the Victoria Street carpark as at the moment cars can only exit to the North. This consultation process like almost everyone conducted by Council Officers in the past 30 years is not designed to get real community feedback but designed merely with a couple of benign questions so taht teh Council position on the project can never be questioned.	Not supportive	Not supportive	Supportive	Supportive



Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q8 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Wairoa Precinct Masterplan?'	Small cafe at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschlecks Reserve playgrounds
90		There needs to be lights-controlled crossings of Victoria Street to "join" the parklands and installation of traffic lights (or a major roundabout) at the intersection of King St and Church St; this is a key access point to the Ruffey Lake park from the north side of King St. and is extremely dangerous at present due to the excessive speeds along King St			Tree plantings and revegetation seems to have been quite randomly from my observations over the last 30 years. The Master Plan should include be very specific on this aspect of the redevelopment. Also what about a bore and a sensible watering plan to at least keep the main areas green all year round! As a general point across the Municipality new plantings are too often planted then immediately forgotten both in terms of weed control and watering. An example is the areas of newer plantings in Koonong Creek Reserve, many of which have not survived the Summer. I for one would be willing to volunteer on a rostered basis to tend these areas on a regular basis. Over the years this must represent a significant drain on and waste of precious finances.	Very supportive	Very supportive	Very supportive	Very supportive
91		I went along to an info session and I am concerned about the following with regard to the development around Schramm's cottage. 1. Why does the archives centre need to be built on the land co-located to Schramm's Cottage. I would think that it would be well served to be in a dedicated room of the Manningham library. It would be safer. The library already has a great number of visitors and foot traffic. It would serve as an education centre and likely drive more visitors to the actual cottage on it open days. 2. The taking down of fences around Schramm's Cottage would create a vandalism risk to the buildings and cemetery. 3. The area is currently used daily by a variety of groups, from Gymboree classes for mums and babies, to Scouts, exercise groups from the track club and many people who daily walk their dogs, and families walking also. Kids often play in the wide open and undeveloped spaces around the scout hall and playground. This wide group of people are utilising the open spaces and the developers design would squeeze out these various people in favour of a specific development of the German historic focus. Many would be pushed out to favour the few historians. 4. Recognition of the German development of the area is good, however I would like to see a clear recognition of the original land owners. This would be quite a forward thinking and unique opportunity for Manningham Council to be a leader in developing an area recognising Aboriginal Heritage. 5. Honestly I am dumbfounded that when this - an historical focussed development is considered in 2019, that traditional land owners have not been considered or consulted. Surely, this is an excellent opportunity to develop the area to showcase the original Aboriginal land, and German development side by side. Keep Schramm's Cottage and develop the area around it to pay tribute to Aboriginal heritage. I would like to see the playground less plastic reflecting this. Maybe the addition of a walk thru native park. This could be a fantastic learning place on Aboriginal Heritage. 6. Limiting the heritage perspective to the last 200 years is shortsighted. This is an excellent opportunity to plan forward whilst looking backwards. Great opportunity to develop a long lasting tribute to the traditional land owners that could stand for the next 200 years. 7. I understand part of the push for this was because the heritage society wanted more people through Schramm's Cottage. However just developing an area will not necessarily bring more people to it, but having the records and information co-located to the library where there are people with a likely interest in the German heritage would be, as they use the library services. This will help push more people to the heritage buildings of Schramm's Cottage. This would be a way of increasing the number of visitors. And if an Aboriginal Centre was co-located to Schramm's Cottage then people coming for either the aboriginal Centre or Schramm's Cottage would be able to learn both histories. 8. A light pedestrian crossing on Victoria Street between the two precincts is a good idea particularly in light of the recent fatality in December 2018. One lost life is one too many.			Please consider this an opportunity to showcase Aboriginal and German heritage side by side. Make this area a leader in full heritage history - Aboriginal and German, side by side. What an opportunity. Don't just try to replicate what is at other sites like this. Be a thought leader. Recognise our history prior to the last 200 years.	Supportive	Not at all supportive	Very supportive	Very supportive
92					Cafe in Ruffey lake park would be excellent but will need more car parking	Very supportive	Very supportive	Very supportive	Very supportive
93						Very supportive	Don't know	Don't know	Very supportive
94					Cafe and visitors centre will change the dynamic and feel of the park and I feel attract too many new visitors to the area	Not at all supportive	Not at all supportive	Supportive	Supportive
95		proper footpath along Victoria street from King street towards entree park. No parking in open gutter along Victoria street.			we just had upgrades of both play grounds. money can be better spend. Don't like the idea of a commercial cafe which will take in space in a very busy area, too many people already using the grounds in the weekend, parking is overflowing in the weekends. Keep the park for free play and stay, and protect the environment	Not at all supportive	Not at all supportive	Supportive	Not supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschieks Reserve playgrounds
95		proper footpath along Victoria street from King street towards entree park. No parking in open gutter along Victoria street.			we just had upgrades of both play grounds. money can be better spend. Don't like the idea of a commercial cafe which will take in space in a very busy area, too many people already using the grounds in the weekend, parking is overflowing in the weekends. Keep the park for free play and stay, and protect the environment from over use and litter of throw away coffee cups.	Not at all supportive	Not at all supportive	Supportive	Not supportive
96	Less parking on George street which blocks the flow of traffic.		No pets too close to cafe due to children's playground	Some references and history regarding Indigenous history in the area. True history	Looks good. Great to have some Indigenous naming and references - not just European pioneers. Thanks	Very supportive	Very supportive	Very supportive	Very supportive
98	STREET LIGHTS- how many people need to be hurt/attacked, or feel unsafe while walking? Specially from the king st bridge entrance, & the area where you usually open for carols carpark direct from Ferbrook		Gluten and Lactose Free Options- and pet water bowls & pet snacks if you want more profit	Lights	Please can you include Lights? Why is it that we are left to feel unsafe? What about if someone tripped over? That's a sue claim? You wouldn't want that on your shoulders?? So please, let us have Street Lights, have them run via Solar Power if it's not within your budget for ongoing Electricity costs; have the lights up high, away from being vandalised, and also some more rubbish bins would be great, everyother council and state can do it, why not Manningham? You claim to be "The Community that matters" yet, you we as a community really don't matter, because for many many many years we have asked for Street/Walking Lights and you have failed to do so. I even have a letter you wrote back to me when I was in Grade 5 saying you will be placing more Lighting in the area, I am now 27- Thank you kindly Warm regards	Supportive	Very supportive	Very supportive	Supportive
99		I know of three incidents involving people, who would use the park, and motor vehicles, one fatal. In particular, Victoria Street and George St intersections			Do it and do it soon	Very supportive	Supportive	Very supportive	Very supportive
100			NO take-away coffee cups! Start off right by getting people to bring their own 'keep cup' for take away coffees. Let's be proactive, and get this RIGHT from the very start.		GREAT to see some plans taking shape. I am passionate about the waste-management of the café. I would only support if it is a sustainable set up, and I do NOT want to see any discarded take away coffee cups and water bottles etc.	Very supportive	Very supportive	Very supportive	Very supportive
101	no problems with access			No requests	We like the proposals.	Very supportive	Supportive	Supportive	Don't know



Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
102		George street and Victoria street intersection should be improved to reduce accidents. Speed reduced at intersection and around park during school times	Selling something like near people could put on barbecue, or small snacks for kids		Improve traffic to reduce danger for children and everyone. Upgrades on athletics track	Very supportive	Very supportive	Very supportive	Very supportive
103						Very supportive	Supportive	Very supportive	Very supportive
104						Very supportive	Supportive	Very supportive	Very supportive
105						Very supportive	Very supportive	Very supportive	Very supportive
106	Cafe				Just to get it done quickly. There are lots more people around at all times now using the precinct. Numbers 3, 8, and 7 need doing asap.	Very supportive	Very supportive	Very supportive	Very supportive
107	For us, nothing else is required.				We don't like the idea of a cafe at Ruffey Lake Park. We don't see a need for it. There is already a picnic area with BBQ and you would have to have more car parking spots which would ruin the lovely Ruffey Lake Park. If you could just keep the lake and the creek clean, that's all we would ask. Thanks.	Not at all supportive	Don't know	Don't know	Don't know
108					Please include a skate park	Very supportive	Don't know	Supportive	Very supportive
109					Whilst the proposed cafe is said to be small the published plan does not include the outdoor seating areas. How big are these outdoor seating areas? Are they paved and covered?. What overall seating capacity does the cafe have when the outdoor area are included? The community needs to know these things so as to enable their informed assessment. Car parking in this area is already crowded on summer weekends and sometimes spills over with people parking on the Victoria street verge. This is dangerous and there have been injuries and at least one fatality from pedestrians attempting to cross Victoria street. A cafe will add to this congestion. It would be unreasonable for the council to proceed with the cafe without the community being comprehensively informed regarding the scope of the project..	Not supportive	Supportive	Don't know	Supportive
110						Supportive	Very supportive	Very supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
111		lack of footpaths on Victoria Street from George Street heading towards the main playground area makes walking to the area at times dangerous due to car traffic and when weather is poor due to muddy nature strips. Also Signalised Pedestrian crossing is desperately needed to cross Victoria Street by the playground area.				Very supportive	Very supportive	Very supportive	Very supportive
113					Please seal car park off running track. Dust makes cars, paths and inside houses very dirty. Not good for asthmatics!	Supportive	Supportive	Supportive	Don't know
116		Pedestrian Crossing - signalised on Victoria Street, between George and King Streets.	no impact to natural surrounds		car spaces at Victoria St playground need to be increased more than 5 spaces. Signage for additional parking spaces at Schramms Cottage must be very clear (not as current). Before any expansion takes place in the Waldau precinct - utmost importance is safe pedestrian access to both sides of Victoria St - Victoria St is single lane traffic, cars speeding into the "dip" at playground entrance Victoria St is not adequately kerbed "between George and King Streets) - Traffic flow study at George & Victoria Streets - cars are currently NOT using the left lane (when travelling from Doncaster Rd) to continue through the intersection. - large ditches on side of road Consider the fatality of a child in late 2018, along this stretch of road near playground	Supportive	Supportive	Supportive	Supportive
117	better road to schramms cottage			not supportive		Not at all supportive	Very supportive	Very supportive	Supportive
118		Lighting along the road out hard to see where edge is risk of going over, especially on foggy night.			Please don't remove the protective fence during drug dealer work in the area nightly also most buildings are weatherbound and subject to fine and graffiti and the graffiti use a chemical fixative with their spray cans and it is extremely difficult to remove and the overall buildings may not be able to cope with the cleaning process - we need a machinery shed that can be locked up - if fence goes then homeless people will sleep wherever they can and maybe use our fewer furnishing, ok the whole fines for warmth and area then old pieces are destroyed there goes Doncaster/Templestowe library. Our membership is smallest and we struggle to maintain all of this in good order for the sake of the area and in remembrance of the lack into began if cell.	Very supportive	Very supportive	Very supportive	Supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
120		There is no connection between Schramm's Cottage and Ruffey Lake Park. The driveway from Schramm's is not close to park. The Masterplan is not clear but are you intending to link with and overpass?	we no longer have children or dogs but they are important to the involved people that do have	The area of Schramm's Cottage has had little work in recent times, it would be wonderful to have more access and even if the Council could consider a visit to Schwerkolt Cottage Museum Mitcham to see what has been achieved there.	Unfortunately we were unable to attend either of your meetings. Looking at the plan it does seem to be a very good idea. Parking is a concern at Ruffey Park and access at Schramm's is also a problem. Linking the two is not clear on the Masterplan. A great concern to me is the Cemetery is preserved and safe. Doncaster can always do with more coffee shops. One original plan was to put a coffee shop at Rieschiecks Reserve but that has not happened. Hopefully some of this plan will be implemented.	Very supportive	Very supportive	Very supportive	Very supportive
122	Happy the the way it is				Object to cafe because it commercialises a free space and detracts from the concept of a relaxing family and dog friendly park	Not at all supportive	Not at all supportive	Don't know	Don't know
123		Toilet upgrade would be nice. Cafe Pedestrian crossing on victoria parade with proper pedestrian (paved) with guard rail to protect kids from traffic on victoria street.			Toilet upgrade to playground area to boulevard area and play equipment upgrade.	Supportive	Don't know	Supportive	Supportive
124				library/study space	keep the metal slide	Very supportive	Supportive	Very supportive	Very supportive
125	To better assist pedestrian of all abilities					Very supportive	Supportive	Supportive	Very supportive
126	The biggest dual card is covered guess near play space. to maintain vibrant, multiage play spaces					Very supportive	Very supportive	Very supportive	Very supportive
127					Yes would be interested in redeveloping Schramm's Cottage as an authentic place for school excursions and family visits. Real education about the history of the area and a real learning opportunity so that it can be open a regular basis and not only on some Sundays. That a manager is employed by the council to oversee this development as an opportunity to educate the community. Am happy to present my research at the earliest opportunity.	Not supportive	Supportive	Supportive	Not supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
128		Expand outside road of the park	disabled friendly			Very supportive	Very supportive	Very supportive	Very supportive
129		The area on Victoria St where the little girl got hit. The dip right next to speeding cars is pretty scary.			I'm really excited about the cafe. It's such an awesome idea that I've never thought of. I'd love to work there when it opens up! My email is xxx In case you'd like an enthusiastic Manningham working there I also think additions to both playgrounds would be fantastic but hopefully you keep the old equipment too if it's still in good shape. A lot of memories for everyone in the community.	Very supportive	Very supportive	Supportive	Supportive
130	current access is satisfactory (The Boulevarde)				Ratepayers money must not be used to support commercial enterprises. I do not support this - RLP. Is a tranquil oasis amidst the fast paced world - a privilege to keep as is with no commercial enterprises -Please don't chop down any more pine trees! They are part of the make-up of the park and historically relevant (planted by pioneer orchards to protect orchards from strong winds.) They are majestic, beautiful trees that enhance the landscape. -Rate payers should not be required to support the establishment of commercial enterprises. Any parties interested in the total cost of building a cafe and fitting it out should only be considered. -I have a concern about placing a cafe in the midst of the childrens playground -especially with the current obesity crisis facing our children 1. Rate payers money can be more readily expended clearing the park of all the undergrowth, stripping trees etc! Big creatures (ie, people) as well as 'little creatures' inhabit the parklands. 2. Expanding playgrounds and maintaining same 3. Instal more rubbish bins for dog litter 4. Clearly mark with signs the paths to be used by bikes (and the SPEED allowed on same) 5. Providing regular ranger patrol to oversee dogs and their owners especially (fine as necessary) 6. Consider providing dog training sessions for dog owners *Note: There have been many sighting of snakes. This summer. New signage to suggest caution re: snakes is appropriate but this must be supported by clearing and should be maintained as such.	Not at all supportive	Supportive	Supportive	Very supportive
131						Very supportive	Supportive	Don't know	Supportive
132		Victoria St could have better pedestrian access				Supportive	Supportive	Very supportive	Very supportive
133						Very supportive	Very supportive	Very supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
134		Security around Schramm's Cottage? How will this work if fences are removed. Fraffiti could be a problem.			Security fencing (previous page)	Supportive	Very supportive	Very supportive	Very supportive
135	Improved safety with main slide in Victoria Street playground. Too high off the ground.					Don't know	Don't know	Supportive	Very supportive
136		Victoria St from George St to King St.	no single use/takeaway cups, plates, food container and utensils		Needs to be environmentally low impact, zero additional waste. Traffic lights and pedestrian crossing essential. Traffic problems on Victoria St have been demonstrated many times by damage to footpath "guardrail" on eastern side of Victoria St. this insubstantial barrier would not prevent injury or fatality if a pedestrian was struck by a motor vehicle.	Don't know	Supportive	Supportive	Supportive
137	more waterplay areas or water feature		an organic farm		with an organic form that children can play and learn. (like the one in Brunswick East).	Supportive	Supportive	Very supportive	Very supportive
138						Very supportive	Supportive	Supportive	Very supportive
139		better crossings from King Street to Victoria Street.	cafe cart might be more suitable	a reading area or library in the visitor centre	small cafe is very good idea, will allow me to move my "office" from home to "cafe". Wonderful for people who are working at home-based.	Very supportive	Very supportive	Very supportive	Very supportive
140		Move dog waste bins. People are dropping dog waste around Ruffey Lake Park. New bins within the centre of Park.	Summer time, cool drink and ice cream		Against the waste facility that was previously in Ruffey.	Don't know	Supportive	Supportive	Very supportive
141	more playground facilities, coffee shops			food/cafe		Supportive	Supportive	Supportive	Supportive
142		Promotion in and around park, especially the Heritage Trail, and ind printed materials such as weekly newspapers and Manningham Matters	Ample access		Improved historical information of the parks establishment and ongoing improvements. More information re the tree species and the bird life in the park. Signs or pamphlets. Ways in which visitors can help maintain and improve the park. Distance signs (km) on paths from specific points. Restrictions on bikes and dogs for the safety of all.	Supportive	Supportive	Very supportive	Supportive
143		better signage of where to walk eg. better routes for a blu walk -safer area to let dogs off the lead over the whole park			Don't put in a cafe -more bins for dog poop	Not at all supportive	Not supportive	Very supportive	Supportive
144						Very supportive	Very supportive	Very supportive	Very supportive



Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Plaground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
145	Pedestrian access at Victoria Street to carpark is very dangerous with cars exiting the carpark taking the turn too widely and crashing into the traffic island regularly. I don't feel safe even standing on the footpath to cross	Victoria Street is a major traffic run for cars accessing Fitzsimmons Lane in the afternoon and the reverse traffic accessing the freeway in the morning. The pedestrian island opposite the carpark is very dangerous. We need proper kerb and channeling for pedestrian safety and regulating traffic speeds and controls on turning right out of Victoria St carpark.	No take-away coffee cups	Disability friendly access. Gate to close access after hours to avoid antisocial behaviours or gatherings	Safe pedestrian access across Victoria Street for pedestrians is essential. Proper kerbing, channeling, footpaths and pedestrian lights on Victoria Street is essential. Being a regular user of the park I have witnessed so many near-miss incidents caused by speeding traffic approaching the carpark exit and people exiting the park turning right too fast and wide, hitting the pedestrian island or the barrier along the footpath. I never feel safe standing either on the footpath let alone the pedestrian island waiting to cross Victoria Street especially in peak traffic times. I support the plan for a cafe but my concern is that takeaway coffee cups will be used and the rubbish will find its way into the park and lake. We also need a proper bin collection system with more conveniently located bins in the park (not just at the entrances) for dog refuse along with separate bins for general rubbish. It is not pleasant accessing a bin if it is overflowing with bags of dog faeces as is sometimes the case, bins should be emptied daily to avoid this scenario.	Supportive	Supportive	Very supportive	Supportive
146	better turning plane into Owens St, off road bay for the bus stop traffic island for children crossing	local traffic into Owens st need better turning area, the bus stop needs to be set back and made large so pick up can be done, islands for children crossing need to built,				Very supportive	Very supportive	Very supportive	Very supportive
147	outdoor gym				outdoor gym in the ruffey lake park area	Supportive	Not supportive	Supportive	Very supportive
148						Very supportive	Supportive	Supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschieks Reserve playgrounds
149	no change for us				I am trained in agricultural and environmental science. I look after the Doncaster tennis courts car park and tennis court area voluntarily, as well as Holy Trinity Doncaster landscaping and gardening. I have about 20 retired people who help me with maintenance. In looking around at the way park and roadside areas are managed once developed, I would assess their ongoing management as pitiful - and give council a mark of 0-1 out of 10. The tennis court and car park areas are rarely ever weeded. The plants are never pruned or watered, The blocked storm water drains are never cleaned even after two years of asking. The lawn area is rarely ever cut. If I did not voluntarily do these things it would be a total disaster. The nature strips along Blackburn Road are a disgrace, left to become a weed jungle. They are never weeded. New plants are put in once every 5 years or so, ripping out everything that is there to start again. What a terrible management policy, and a total waste of effort and money. I am able to weed the equivalent of 40 house blocks in 1 hour and only pick up half a dozen weeds at the most. The areas council is responsible for, must be weeded every two weeks or they are wasting their time and money, and making every home owner's job far more difficult for the massive number of weeds that the council allow to seed and spread to nearby properties. When is the council going to develop a competent and effective management policy. You spend millions on big projects and then leave them to wrack and ruin. Step into this century and do something that you can be proud of into the future.	Very supportive	Very supportive	Very supportive	Very supportive
150						Very supportive	Supportive	Supportive	Very supportive
151	Great playground for kids					Very supportive	Very supportive	Very supportive	Very supportive
152					Need taps that can fill up water bottles	Very supportive	Don't know	Very supportive	Very supportive
153	i usually park at the cnr King St and the Voulevarde and the parking there is on street but ok				My only concern with the extra usage of the park is waste management. There are only 3 bins on the walk around the lake and as with other councils there should be doggie bags available near the bins. Both Stonnington and Yarra Councils provide bags at their parks. There would need to be adequate bins near the cafe to cater for the take away trade.	Supportive	Very supportive	Not supportive	Don't know



Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
154					What is the reason morning atkins cottage and the room which are in the Schramm Complex? their relocation position has not been noted on the plan. I consider their present position well placed and aesthetically pleasing. I am an elderly resident of Manningham where I have lived for most of my life and am a descent of one of the early fruit growing families. My concern is the saving and relocating of St John's Church Donvale. It is possible one of the last opportunity to save and relocate this tiny historic building. In 2005 the Manningham Council commissioned a heritage study by then then Heritage Council, now Heritage Victoria, which the Council did not accept (I hold a copy of the study). "STATEMENT OF SIGNIFICANT." "The former St John's complex is of local historic, social and aesthetic significance to Manningham City" Quoted from the report. In 1907 the building was built by local volunteers on donated land, and used by the community for the following by 100 years. I would appreciate the Manningham Council give serious thought to the removal and relocation of this small building which would be a great historic asset to the Schramm's Cottage Complex. St John's Church is one of the last historic buildings left in Manningham and should be saved at any cost.	Very supportive	Very supportive	Supportive	Supportive
155					Toilets for Schramms Cottage. Members separate to outdoor toilets. I believe the prospect moving of Atkins Cottage and Floyd Room is totally unnecessary. Improvemnts to Waldau Cemetery is long overdue. Taking down the boundary fence will leave the whole of the Schramms Cottage precinct at risk to vandals. To my mind security cameras are not enough to prevent damage to all the cottage has to offer visitors. Ruffey Lake Park Victoria St side has no foot pahts. Making walking for pedestrians difficult pedestrian traffic lights from Ruffey Park Lake across Victoria St with access to Schramms Cottage would like the two together an asset to visitors to both venues. The proposed change to enter and leave Muriel Green Drive onto Victoria St is I think far safer than the drive is now. The car park outside Schramms Cottage has been the meeting place for car drivers who leave behind their take away rubbish, condoms plus syringes that then members of Schramms remove not wanting visitors to see such neglect.	Very supportive	Very supportive	Very supportive	Very supportive
156		1. Improve safety at George and Victoria intersection 2. Improve Drainage and footpaths on both sides of Victoria St Slow down traffic to at least 50 kph.			Yes, I would like to see all the old, dangerous pine trees removed, and replaced with beautiful trees eg. pin oaks or maples to beautify this old, tired looking Manningham. Like the ones outside Municipal Offices (MANNINGHAM)	Very supportive	Very supportive	Very supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
157					No visitor centre. It will change the function of the area. Why? Other than refurbishing - what is wrong with what is here? Answer this question. Vested interest groups will always want more on change. Are these groups representative of the local community? Do they represent the majority? Do they have a vested interest? Advice: Ignore them. Particularly the Historical Society. Consign them to history. Refurbish, but do not add infrastructure. Questions? What's your objective? Who are you catering for? Who are your stakeholders? What is your mission? Add fitness equipment for adults	Not supportive	Not at all supportive	Supportive	Very supportive
158					-Independent self supporting commercial enterprise -That it blends/enhances the current environment 1. All commercial enterprises should not be finally supported by Council - which will not be required if there are genuine demands for the services 2. I do have a concern regarding the apparent Council determination to crowd "open spaces"	Not supportive	Not supportive	Supportive	Supportive
159		I also catch the 3/8 bus to the city + 279 to Box Hill. Coming home at the end of the day and re-crossing Victoria St to get to Owens is "scarey" late in the afternoon. Crossing Victoria Street is difficult. Cars pop over the hill and travel fast downhill. Lights at George St and King St are not coordinated. People also "pop out" of the Victoria Street carpark without regard to Pedestrians using the existing crossing is fraught as you feel unsafe on the middle island. The fence along the road has been damaged on numerous occasions.			Please improve pedestrian safety crossing Victoria St - for visitors, residents and bus commuters. Is an overhead pedestrian crossing an option from elevated Owens St playground to Victoria St. Cafe needs to be No single use containers and be responsible for any litter. Reduce Waste. I love Ruffey Park, it is the "lungs of East Doncaster." I reasure the sense of space and green in an increasingly developed suburb. I want all people to be able to access and enjoy it. I am broadly supportive of the Master Plan, but do no want increased traffic congestion to impinge on access and enjoyment of the Precinct. Improved traffic management for access to Ruffey and Schramms complex is the key to containing ongoing access and amenity for local residents AND visitors. PLEASE integrate manned pedestrian road crossing with bus stop on Victoria St. Is there any option to build a pedestrian bridge over Victoria Street between Owens Playground Space and Victoria St Carpark. Safe access for visitors, residents and commuters using Owens St Bus Stops in Victoria Street.	Supportive	Supportive	Supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Plaground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
160	Live close by on the southern boundary of the pack in Waldau with easy access into park				Strongly opposed to removal of boundary fences around Schramms Cottage. Security of Society. Security of Society's assets of permanent importance. Cannot be guaranteed once fences are removed. Support cafe within Ruffey Lake Park. Other historic buildings/landmarks within Waldau settlement should have heritage markers (with owner consent of course). Only 4 survive and all are in close proximity to Ruffey Lake Park. Strong need for enlarged and upgraded machinery shed at Schramms to house historic rubbish relates to our past. Must be provided for in W.P masterplan. Would like to see something done to the small quarry in Ruffey Lake Park. An ideal opportunity to undertake some landscaping improvements to enhance the site to really make this a feature of RLP concerned about proposed siting of new buildings outside Schramms Cottage east boundary. Needs to be closer to current fence line. Better signage needed to direct people to Schramms Cottage. Many people are not aware of its existence. Support installation of boom gate across Muriel Green Drive at Victoria Street entrance. Need to stop unnecessary parking outside Schramms Cottage at night in an isolated area out of public view.	Supportive	Very supportive	Very supportive	Supportive
161	Pedestrian footpath along Victoria St north from George St to the park entrance				See DVD and letter addressed to Cr. Dot Haynes. Additional Comments. -The Orchardist's Equipment Shed should use enclosed with a glass frontage similar to that at the Schwerfeoff Cottage equipment building to ensure that the equipment remains dust-free and in the best condition possible. -The Schramms Cottage museum complex should remain fenced to ensure proper security. It should be made accessible to the public on a similar basis to Schwerfeoff Cottage complex, namely from 2pm to 5pm on Saturdays, Sundays and public holidays (except Christmas Day and Good Friday) and be supervised by Council offices in conjunction with members of the Historical Society.	Very supportive	Very supportive	Very supportive	Very supportive
162	better track maps, signed	Better walking route signage and maps			I think a coffee van set up would better suit the park instead of a cafe. This provides more flexibility and is less permanent	Not at all supportive	Supportive	Very supportive	Very supportive
163		More carparking space, more tables, fence in some parts of the play ground, sometimes it is easy for children to run off and be out of sight.			- A local farmers/ craft market. - Family friendly cultural & music arts festival - yoga and tai chi in the park	Very supportive	Supportive	Very supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for your to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
164		"Keep Clear" painted on Victoria St at the new entrance to Muriel Green Drive. a car directing north along Victoria St in the morning cannot turn right because the traffic is so heavy due to the traffic lights at the ..... with George St.			-Boundary fence around Schramm's Cottage complex must remain - Machinery shed in Museum complex to be extended 6M at rear to walk here large exhibit to be displayed. The front of their shed to have glass windows fitted and Victoria lighting. the Historical society made a grant application for \$35,000 to extend this shed but was told this would form part of the Waldau Masterplan when it was first considered. North lawn in front of Schramms Cottage to be best with pine trees and roots removed. Small grass banks will exert on the north and last site of the lawn. The present uneven lawn is difficult to hold funtion on with tables and chairs. -New Visitors Centre to have space in mai room to seat 80 to 100 people and to show visitors power point slider with proctor mounted from ceiling. Kitchen to be provided with serving hatch to the main meeting room and to the north law. Centre to be closer to Schramm's Cottage than as shown on plan. The archive storage room to be made fire proof. -If the Floyd Room is tob e moved I suggest the Rotary Store Room on the north end of the monitoring shed is removed and the Floyd Room but in its place. The Common and Rotary Club of Doncaster to decide where their show rrom can be moved to. Perhaps near the Scout Hall.	Supportive	Very supportive	Very supportive	Supportive
165	Those travelling by car to use existing car parks rather than parking on nature strips in adjoining streets.				I completely and utterly oppose the proposed construction of a cafe in Ruffey Lake Park. The park is a lovely almost natural reserve, where families can rest without any cost. Rubbish now eeks into the creek and lake, what additional pollution would/could be caused. This prospect was raised some years ago and I strongl and vehemently opposed it then. The community spoke and it was, (the motion) defeated. Please work on retaining the environment as it is.	Not at all supportive	Supportive	Supportive	Supportive
166						Very supportive	Very supportive	Very supportive	Very supportive
167					Very opposed to ANY commercial development in the park. A small coffee shop is the thin edge of the wedge and it will grow to a convention center over time. It is great to have a park that is just a park, not gardens for a food outlet	Not at all supportive	Not supportive	Supportive	Don't know
168						Not supportive	Not at all supportive	Don't know	Very supportive
169		Proper pedestrian crossing. Better lane markings on Victoria Street.				Very supportive	Don't know	Supportive	Very supportive



Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
170					Manningham really needs an affordable indoor space near a playground that can be hired out for pre and primary school aged children birthday parties. Doesn't have to be fancy, Currawong Bush Park facilities are fine, but cannot be reliably booked or used during summer periods due to (fire restrictions). Ted Ajani is great, but too expensive and large for smaller gatherings. Parks are great for celebrations, but with Melbourne's unpredictable weather, we need an all-weather option. This type of room/facility would serve community needs, and also pay itself over time (in fees). Could perhaps be co-located with the proposed new Cafe, to increase their scope and revenue stream also.	Very supportive	Supportive	Don't know	Supportive
171	Footpath along Victoria St at the park side.				Allowing a cafe, likely with 'take-away-and-dump-the-cup' coffee in Ruffey Lake Park, Waldau precinct, is therefore unacceptable. Unless the cups are bright orange recognisable and the cafe is fined \$100 for each cup found. It's a public park, not a business precinct.	Not at all supportive	Supportive	Very supportive	Don't know
172	None - leave it natural				I am not in favour of a cafe and never have been in all the years I have lived here. Just leave some parkland open and natural - many friends and neighbours have said to me how nice it is that we don't have a cafe - which would only encourage their children to want drinks and other treats, when they try to encourage them to bring something from home.	Not at all supportive	Don't know	Not supportive	Don't know
173	improved pedestrian connectivity between Rieschiecks Reserve and Ruffey Lake Park				We are not supportive of a cafe within the bounds of Ruffey Lake park. As far as we are concerned Ruffey Lake park is a recreational area for families and individuals to enjoy the wonderful open space and vegetation. This is why people visit and enjoy the park. Why should this functionality be encumbered by a cafe. If a cafe was thought to be important for this precinct, surely a better place would be adjacent or within the visitor centre at Schramm's Cottage. Parking at times is sometimes an issue for people visiting the park and as such placing a cafe within Ruffey lake park will only exacerbate this situation. Perhaps consideration could be given to better connectivity between Ruffey lake park and Schramm's Cottage and then the few park from the park who need a coffee can walk safely across the road. We are also concerned that no details regarding the operational of the cafe has been provided such as who will run it, hours of operations and if the funds required to build and maintain it will be drawn from those funds that would have otherwise gone to maintain and improve Ruffey Lake Park. We understand Schramm's Cottage is manned voluntarily. If hours were extended who would be manning the facility.	Not at all supportive	Supportive	Supportive	Supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
174					I would like to see the space at Schramms cottage better utilised with a visitor centre at the north east corner of the current fenced off area. The path on the eastern side of Victoria st and the cliff where the Waldau cemetery is located also needs to be secured and protected. A better pedestrian link between Schramms and the Ruffey lake playground also needs to be established. Has a footbridge been considered?	Supportive	Very supportive	Very supportive	Very supportive
175	Bike path on Victoria st				You need a bike lane on this section of Victoria st (King to George) to continue the existing bike lane on the southern section of Victoria. I have been hit by a car on this section (southbound) and nearly hit by a bus	Not supportive	Not supportive	Supportive	Supportive
176					If the Kevin Heinze GROW move in how will the elderly and disabled access the garden area? As it is hilly and not very accessible from the front car park. Also at present, the front car park can be quite full already during the day and some weekends, how will there be enough car parking spaces if all the KH GROW visitors are coming as well? Also, the driveway is not really good if there are 2 cars in opposite direction coming and going. Also, the scout group has about 65 youth members plus parents and leaders, they need more space and storage for their growing group of active Adult and Youth members	Don't know	Don't know	Supportive	Very supportive
177					New visitor center and public toilets are an unsafe and unnecessary part of the development If required should be inside the Schramms cottage grounds	Not supportive	Not at all supportive	Don't know	Not supportive
178		A pedestrian crossing on Victoria street where the crossing is now next to main Ruffey Lake car park entrance			Why is the visitor's centre being located near Schram's Cottage? A visitor's centre is somewhere central for visitors to get info. It would be better built/located somewhere in Ruffey Lake as that is where the people go. I feel no thought has been given to the scout hall and it's facilities or the kids who regularly use it. Will you be upgrading the car park in that location? Will you still have areas of grass for kids to play on? Having Kevin Heinze share the hall facilities is not in the best interests of both the gentlemen who use Kevin Heinze and also the scouts. Many of the people who use Kevin Heinze are disabled and/or elderly and need transport access. This is not an ideal location as they will not be easily able to get to the location without support. Also the scout hall is often used during the day and weekend as well as nights with kids in attendance. With child safety so important no one should be entering the hall to use facilities whilst children are in attendance. I can't imagine everyone from Kevin Heinze having a Working with Children's card. Will the council be hiring cleaners to now clean the facilities as well - you can't expect scouts to clean up other people's mess. You are upgrading the Rieschiecks Reserve Pavillion - how very nice for athletes. Why is the scout hall not receiving any upgrades? Especially when so many proposed changes will affect the hall.	Very supportive	Not at all supportive	Very supportive	Very supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
179					Will I still be able to walk my dog off lead under control and play fetch in this area? Sometimes when I walk my dog the car park is very full.	Supportive	Don't know	Supportive	Very supportive
180	It is over my back fence .it should not be easy for the general public to be so close to the houses				Do not put public toilets at the back of houses The carpark is already used for drug deals and night time gatherings. The carpark is not closed off or patrolled at night. All i ask is of the people who are going to decided this is , would you put a public toilet block at the back of your house. Im sure the anwer is no , so dont spoil our quality of life. We pay our rates and expect something for that. Putting adds the local paper is a cope out „ Take to the streets and talk to the residents	Not at all supportive	Not at all supportive	Not at all supportive	Supportive
181	Not really i drive				The parking is very restrictive and no new car parking has been proposed. As a scout member, we use the hall everyday/evenings for activities . The athletic club is getting a revamp and our group alone has double in Youth members over the past 12 months with no upgrade to our hall. We have limited space to accomodate all the extra gear, trailers, tents we have had to buy . Maybe a renovations or extended space to be built onto the existng hall to accomodate this - which in turn is servicing the youth of Manningham	Supportive	Don't know	Don't know	Very supportive
182	Curbing and channelling along Victoria St between George and King Sts.				Safe pedestrian access across Victoria St into Ruffey Lake Park	Supportive	Supportive	Supportive	Supportive
183		Not enough car parking Youth (SCOUTS) need to be safe (from public) in toilets, they need a new q store and a Venturer Den: desperately short of space There will be a building (Info centre) where youth members usually play! If athletics get an upgrade why not scouts too			Please be aware of the scout hall. Large numbers of youth member.	Don't know	Not supportive	Supportive	Supportive
184					As a regular visitor to the area which includes the Doncaster Athletics track, I would like you to consider the upgrade of the tracks toilets, as they are in desperate need of refurbishment and in fact totally unsuitable. This track is used heavily by patrons on the track which includes a large numbers of schools in and around the area throughout the year and one consistent complaint is the state of this toilet block. So with this and as mentioned, please include this in your precinct masterplan	Very supportive	Supportive	Supportive	Very supportive



Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for your to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
185						Very supportive	Don't know	Don't know	Don't know
186		every entrance			WHO is uncharge of the project Will this project be carried thru contrary to Kiwanis Farm Masterplan which was aborted by the Mayor and Council Officers. How much money has been appropriated for the Waldu Masterplan. Why is a cafe proposed to built ,contrary to the covenant on the precinct How can Kevin Heinze Grow Centre be relocated at what cost and by whom? Ausnet has allocated additional land space and lease of the Wetherby Road site, with Manningham Council approval so why shift the Kevin Heinze Centre?	Not at all supportive	Don't know	Supportive	Not supportive
187					Having a café at Ruffy Park in my opinion will be detrimental to the environment, and will see further litter scattered around the park (plastic/paper coffee cups etc). As a daily walker and particularly on the weekends the litter increases, which I pick up. I live in McCallum Rd and litter from people parking there and entering the park is common place. I note that this is at least the third time a café has been proposed and wonder why. Also is this not a commercial venture? Our rates would be better spent on legitimate areas.	Not at all supportive	Supportive	Very supportive	Very supportive
188	would like the Cottage to be more visitor friendly few visit because it is a hotchpotch needs a researcher or a volunteer (Like me) to set it up properly.				Yes yes yes I do not think as it stands historically enough people visit to warrant spending any money. If it was set up properly as an historical centre and told about the original families and the apple industry it could become a great centre. Happy to be part of planning or to bring in my ideas.	Very supportive	Not supportive	Very supportive	Not supportive
189				Sympathetic design and materials	A new Cafe is not required. The current coffee van arrangement works well without the expense and maintenance of a new cafe. I support the construction of a new shared pedestrian/bicycle underpass under Victoria Street as a much safer option to the proposed signalised pedestrian crossing. This idea was originally suggested in the 1974 'Ruffey Creek Reviewed', published by the University of Melbourne's Centre for Environmental Studies. Such an underpass would directly link Ruffey Lake Park with Rieschiecks Reserve and would not disrupt the flow of traffic using Victoria Street. I believe it is important that any realignment of Muriel Green Drive should not reduce the area of the playing fields at Rieschiecks Reserve. As researcher/writer/designer of the Ruffey Lake Park Heritage Trail, I would like to be involved in any new heritage information signage for the precinct.	Not at all supportive	Supportive	Supportive	Not supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Reischicks Reserve playgrounds
190					As long term residents of Doncaster we have visited Ruffey Lake Park over a 30 year period. The lake, tree plantings and upgraded pathways have greatly improved the amenity and enjoyment of the park. However, we are opposed to the construction of a cafe in the park for the following reasons: 1. It would permanently reduce the area of unpaved , open parkland and community open space, in favour of commercial development. 2. It would result in more litter, noise and exhaust fumes from cars and delivery trucks etc. spoiling the peaceful surroundings. 3. While the current proposal is for a 'small ' cafe with an outdoor seating area, this is likely to be extended in the future, e.g. roofing over the outdoor area and adding another outdoor area. 4. There has been rapid growth in the number of cafes in Manningham in recent years so reducing the parkland area to build another cafe can't be justified. 5. The 2004 Ruffey Lake Park community survey showed 50.6 % of respondents were against ANY commercial development. A further 24.9 % supported only limited commercial development. Only 21.2 % supported extensive development. 6. Improvements proposed in the Waldau Precinct Masterplan will attract more visitors to the area, particularly the cafe. This will make existing car parking in Ruffey Lake Park inadequate, and result in extension of parking areas, further reducing open parkland. 7. The 2005 Ruffey Lake Park Management Plan section 8.2.3 states that control of rats at the Victoria Street playground requires regular monitoring, trapping and baiting. The garbage from a cafe will attract more rats. If a dog eats a rat carcass which contains poison bait, the dog could die. Rats also prey on native fauna.	Not at all supportive	Not supportive	Supportive	Not supportive
191		Need more parking and a better driveway, over 150 scouts going and coming weekly			The scout group at Reischicks Reserve would like an extension built, with over 150 members and growing. Instead of Kevin Heinz moving in to space, let the scouts expand into the athletics area	Not at all supportive	Not at all supportive	Not supportive	Don't know
192						Don't know			

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Playground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschecks Reserve playgrounds
193					The biggest thing i am interested in is the pedestrian connection from the Tom Kelly Athletics Track to Ruffey Lake Park. At current there is only one pedestrian crossing point and a small crossing refuge which creates a major risk for pedestrians and runners wanting to warm up in the park prior to completion at the track. Noting a signalised crossing is subject to VicRoads approval i would strongly suggest this is followed through or an alternate elevated crossing is proposed. Furthermore i do question the placement of the garden adjacent to the scout's hall as this area is tucked away and does not have any passive surveillance being quite a distance from the road. The entire precinct would need an upgrade and constant traffic and activity for it to thrive. The other problem is the connection to George Street given the grade difference from the Road – it is hard to know the cottage is even there. The new entry is received well as the current entry to the cottage is an accident waiting to happen given the narrow road and limited turning room. Location further to Victoria Street is better however i also propose entry to the cottage and community garden via the existing playground off Owens Street perhaps? Otherwise the entry stretch of George Street is to be reviews and have the appropriate turning lanes provided, speed limit dropped to 50k given the proximity to a playground and traffic lights introduced.	Supportive	Supportive	Very supportive	Supportive
194			family friendly and a pretty aesthetic, with Table and chairs outdoors			Very supportive		Very supportive	Very supportive
195					Do not support as playground is where parents don't have to worry about kids wanting to buy something! No cafe.	Not at all supportive	Very supportive	Very supportive	Very supportive
196					All makes sense, except for a cafe. The last we need in a beautiful park is a cafe. Doncaster and surrounding suburbs have plenty of cafes already.	Not at all supportive	Very supportive	Very supportive	Very supportive
197						Not at all supportive	Don't know	Not supportive	Not supportive
198					Cafe: This is not necessary in the area - a picnic atmosphere at present is adequate.	Not at all supportive	Not at all supportive	Supportive	Very supportive
199			only reusable cutlery and crockery so no waste		Do not move Kevin Heinze Grow - moving will be unsettling to their clientele -They currently have a lovely flat level, quiet space -These young people are more settled in a quiet and single use area The commotion and noise from a shared facility are likely to be unsettling and upsetting to these young people who attend Grow. The organisation itself does not wish to move. Please do not force council ideas on it.	Very supportive	Supportive	Supportive	Supportive

Verbatim responses – Survey (continued)

Survey ID	Q3 - 'other' open response to 'Any factors that would make it easier or more likely for you to travel to this precinct?'	Q4 - open response to 'Can you provide more detail, including any specific areas of the precinct?'	Q7 - 'other' open response to 'If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you?'	Q9 - 'other' open response to 'If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you?'	Q10 - open response to 'Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?'	Small café at Ruffey Lake Park Victoria Street Plaground	New visitor centre next to Schramm's Cottage	Improved Heritage links and paths	Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds
200	should have another one or two parking spot instead of just located at legend 7.				Suggesting to have pocket of small precinct within Rieschiecks Reserve and Ruffey Lake Park. Dog Park is encouraged.	Very supportive	Very supportive	Very supportive	Very supportive
201		Crossing between footy ground and park entry opposite			Object to cafe More noise More rubbish More car parking needed. Then whats next - housing etc. I am appreciative of the park as it is. Enjoy seeing it used for picnics etc and meeting all the people that walk the park. There are plenty of cafes in the area if people wait at coffee etc. Thank you.	Not at all supportive			Not at all supportive
202			other parks have a cafe it would be good here			Very supportive		Very supportive	Very supportive
203		Better entrance to Muriel Green Drive not so close to George Street intersection		Meeting room needs to be closer to Schramms Cottage	Retain fences to protect the heritage buildings and grounds. No mention of where the replica tram is going. Protection of historical records in new buildings. Is it necessary to move Atkin's Cottage? It was Irvine Greens project and should be his legacy.	Supportive	Very supportive		Supportive
204			simple BBQ and birthday party stuff could be hired or sold to people		We are happy to see this masterplan and very supportive to the improvement of Waldau Precinct. As my wife is a Barista, we also interested in the new cafe in this area. We are looking forward to the upcoming tender opportunity for this cafe, please contact me if there's chance to that. Thank you!	Very supportive		Very supportive	Very supportive
205						Very supportive	Very supportive	Very supportive	Very supportive
206						Not at all supportive	Don't know	Supportive	Supportive
207		out interest in the Waldau area is the cemetery and the Schramm's Cottage and existing buildings	sufficient clean toilet facilities and drinking taps available	sufficient security of the site	1. Cemetery fence, to our knowledge most cemetery's in Victoria are fenced to some degree for protection and to stop vandals tagging or putting graffiti and to stop damage to the graves that are the history of this area. 2. Purpose built building is required for meetings, areas to display historical items (big and small), indoor toilets. 3. Where to and why are atkins cottage and the sloyd buildings being moved, they are part of our history and need to be kept. 4. Relocate St Johns Church to near Schramm's cottage to preserve it and also utilise it as a fund raiser for weddings. We have already lost so much of our heritage. 5. Have updated toilet facilities within the Schramm's cottage area. 6. Look after the cottage garden and keep it maintained even if this needs to be attended by the historical society only.	Very supportive	Very supportive	Very supportive	Very supportive

## 6. Verbatim responses - Direct feedback

### *Submission #1*

Dear Sir/Madam

#### Ref: Draft Waldau Precinct Masterplan

Thank you for the opportunity to 'Have My Say'.

As you can see from my address I am a very close neighbour to Rieschiecks Reserve and a frequent walking visitor to Ruffey Lake Park. As such I'd like to comment on several aspects of the masterplan.

#### Proposed Cafe

I should say that I am not opposed to a small cafe in the area as proposed. I believe it would be a great asset, however I am concerned about the suggested location as shown on the plan.

I would consider proposed location would be difficult to access for the disabled/elderly. Also that location would almost certainly mean the 'Old Cart Track' (subject of one of the many and excellent heritage information signs) would be required during the construction phase of the cafe and then for on-going access for deliveries/staff access. There may be some loss of trees for the access along the 'Old Cart Track.'

I believe a better siting would be within the existing car park – lower level. Yes there would be loss of probably 8 – 10 spaces, however this would be offset by increased car parking – see suggested further both car parking improvements and Muriel Green Drive. Locating the cafe in this area would place it closer to existing toilets and covered seating and provide a safer access for on-going deliveries. Importantly, easier to access for disabled/elderly as they can be dropped off/picked up at the door of the cafe.

#### Keven Heinze GROW

I understand the existing Kevin Heinz centre in Weatherby Road needs to close and a new location is required. Many of those who attend the centre have disabilities and do have issues with loud noises, yet you are proposing to site the centre adjacent to the Tom Kelly Athletics Track. From the Kevin Heinz website I saw their facility operates Monday – Saturday – the same days the Tom Kelly track operates for schools (Monday to Friday) and Saturdays for Little Athletics. Believe me and as a close neighbour, the noise from the athletics track and the associated PA system can be VERY loud and may seriously impact on the clients of the Kevin Heinz centre.



*Submission #1 (continued)*

I would like to propose you consider an alternative location – one being the under-utilised and quiet area, entrance from Church Street (north) of Ruffey Creek Park. That area has a large circular driveway, plenty of on-site carparking and an existing building incorporating public toilet facilities. I think the remainder of that building is used by council/park workers. It would be a more peaceful location than beside the Tom Kelly Aths Track.

Further, with the proposed improvements/additions to the area serviced by Muriel Green Drive, it could be that there may be an 'over-saturation' and placing the GROW centre elsewhere would 'spread the load'.

Car parking improvements (number 7 on plan)

There are 2 existing gravel carpark each with separate entrances from George and Victoria Streets. Your draft plan shows ONE entrance from George Street. I would suggest you maintain the existing two entrances and retain the 2 carparks (upgraded and sealed) complete with the existing dividing strip and associated foliage.

Muriel Green Drive

Firstly, I would strongly support an auto gate (as per masterplan). Sadly the carpark that services the museum and scout hall at night is a hive of anti-social activity and I frequently hear the screech of rubber.

Secondly, I am suggesting that any upgrade of the driveway include 90 degree parking between the entrance from Victoria Street and the access driveway to the Tom Kelly Athletics track (often there are cars parallel parking along the drive during busier times), thereby increasing, at times, much-needed spaces. With this inclusion, I believe you could provide 20 + additional carpark spaces.

Again thank you for the opportunity to 'have my say' as both a local and regular park user.

Yours faithfully,

---

*Submission #1 (continued)*

Thank you for your e mail from 20/2. I noticed today a link to the Manningham Leader that may be of interest to you regarding those with autism spectrum and loud noise. It may be worth your while having a discussion with those who fully understand the condition and how loud noise affects them. I'm a volunteer at Diamond Valley Railway and am told on occasions to curb my use of guards whistle when I have an autistic passenger.

Link - <https://www.heraldsun.com.au/business/companies/coles-extends-its-quiet-hour-to-more-stores-across-australia/news-story/6e7314a53c3f2fd079b2556b9be26f0a?fbclid=IwAR3vfQ2lh2WSoOuTGxGA5opY-dOAft1xsxF330uZNVr4VR4N2nYlrwrF1oU>

(hopefully link works)

---

*Submission #2*

Surely, before this plan is considered; Victoria street, between George street and King street, needs to be totally upgraded with proper road alignment, drainage, Kerbing and footpaths. All with adequate street lighting. To leave this sector without these improvements will only create more traffic (vehicle and pedestrian), thereby further endangering access and movement to this area.

I would be pleased to receive any information on Manningham's endeavour to improve this section of Victoria street.

---



---

*Submission #3*

**To:** Manningham  
**Subject:** Waldau precinct masterplan

I have looked at your proposed master plan and in my opinion you have left out the most important upgrade. Surely a footpath going from George St right up to the park entrance on the Ruffey park side should have been first consideration. Already one child has lost her life on this stretch. How many more lives have to be lost before this is done. Our main roads in that direction Victoria, Blackburn and Springvale are all lacking footpaths. With all the extra rates the council is getting from all the hideous high rise and units surely footpaths should be right up on top of the list for people's safety. As a ratepayers since early 70's we seem to get less and less. Maybe save on fireworks and put the money towards something more practical.

---

*Submission #4*

**Subject:** RE: Draft Waldau Precinct Masterplan open for consultation

What a splendid idea. I see it working very well with the community. Young and old are catered for.  
Regards

*Submission #5*

### **DRAFT WALDAU PRECINCT MASTERPLAN**

Thank you for allowing the residents of the City of Manningham to put forward some ideas regarding the Waldau Precinct.

As I come from one of the original families that settled in Doncaster in 1853 and living adjacent to Ruffey Lake Park which belonged to my forebears, I am most interested in the development of this particular area.

Recently my husband and I visited Schwerkolt Cottage and Museum in Mitcham. We were most impressed with what the Council, in conjunction with the Historical Society, have done in developing the precinct to showcase the history of the area. We both feel it would be in our own Council's interest to do likewise in preserving the history of this precinct as it relates to the pioneering days of the orchards in the area, together with the lifestyle of the early settlers.

In developing their museum complex, the City of Whitehorse has provided a secure area for archiving historical information, together with a meeting room, all contained within the one building. An additional building has been provided to display all the implements specific to the orcharding industry that flourished from the 1800s to the 1950s. This locked building, with its glass viewing windows along one side, is open to the public during the museum opening hours. As far as we know there have never been any issues of vandalism. We feel that a similar facility should be provided as part of the Schramm's Cottage Museum complex.

To preserve our valuable history, the archive portion of the building should be fire proof and climate controlled to bring the building up to museum standard.

Included are a number of photographs taken of the Schwerkolt Cottage and Museum complex.

Submission #5 (continued)



Fig. 1 Museum & Meeting Room



Fig. 2 Interior of Museum



Fig. 3 The Orchard Shed



Fig. 4 Interior of the Orchard Shed

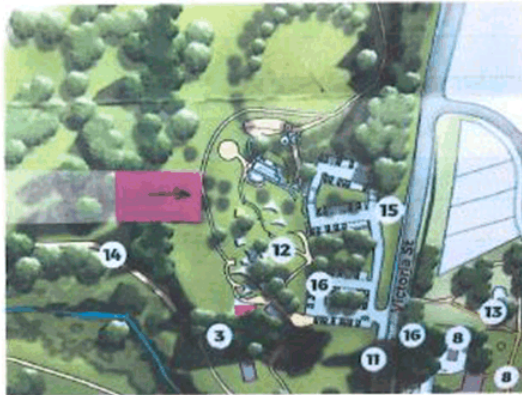
**PROPOSED CAFE IN THE WALDAU PRECINCT AREA**

Whilst we support the idea of a Cafe, we consider that it would be more appropriate to be located some distance to the north from where it is currently proposed, to a position between the upper picnic area and the western perimeter path in the location depicted on Figs. 5 and 6 This location would be central to the current picnic pavilions and playgrounds. It also offers a lovely view to the south over the adjoining parklands. We would like to see it named "Rettick's Cafe" My Great Grandfather, Gottlieb Thiele purchased the said land from a Mr Rettick back in the early 1850s. We therefore feel it would be appropriate to name the cafe "Rettick's Cafe"



Fig. 5 Suggested site for Cafe

Submission #6 (continued)



**Fig. 6 Suggested site for Cafe**

We would like to point out that the chosen site for the cafe is a little too close to the existing toiled block.

#### **FOOTPATH ACCESS TO THE PRECINCT**

The existing asphalt footpath on the western side of Victoria Street between George Street and Waldau Court should be upgraded and extended from Waldau Court to the car park entrance.

We hope these comments are of help to the Council in reaching a conclusion on the best ways to develop Waldau Precinct Masterplan.

Yours sincerely



Submission #5 (continued)

**A SUPPLEMENT TO THE LETTER DATED 9TH FEBRUARY, 2019 FROM JOHN AND ELIZABETH SEWARD.**

Please note that the correct spelling of the name "Retticks", not "Reddicks"

**DEVELOPMENT OF THE SMALL QUARRY**

We would also like to suggest that the small Quarry adjacent to the Victoria Street playground could be developed into an Amphitheatre enhanced with the planting of Australian Native shrubs.

**MAIZE**

A suggested use of the vacant grassed area to the north of the Victoria Street playground could include the development of a Maize as part of Item 12 in the Draft Waldau Precinct Masterplan. This would prove very popular for children.

Tulip Top Gardens,  
Carbena, NSW.



Birchcroft Gardens Victoria Island, Canada.



Birchcroft Gardens  
Victoria Island  
Canada.



*Submission #5 (continued)*

**URGENT**

Thank you for your acknowledgement of my first letter dated 9th February, 2019.

I refer to my correspondence dated 9th February 2019, regarding the Waldau Precinct Masterplan. I handed a Supplement letter to Stacey Robinson for attention on Monday, 25th February, and I requested that it be put forward together with my DVD to the meeting next Tuesday.

I also would like to add to my correspondence that, while the Cafe is a nice idea, I would far rather see that the money for the Cafe be put towards the Orchard Shed, Archive facilities, Museum and Meeting Room. It is very important to maintain the heritage of the orchard industry in Doncaster and Templestowe by developing the above facilities further.

I feel that the fencing must be retained for security purposes, as the police have often been called to deal with undesirables in this vicinity.

Yours sincerely

*Video also submitted – see TRIM record number [D19/24512](#)*

*Submission #6*

I am objecting to the proposed café in Ruffey Lake park. There are hundreds of places to get a coffee throughout Doncaster and Templestowe without destroying part of the park.

I have been a regular user of the park for 40 years. Firstly taking my children to play on the play equipment, watching the ducks, walk around the lake and have our own "Teddy Bear's Picnic". Then I walked my dog in the park every day. For the last 20 years I have been one of the many walkers without a dog.

I have made many friends during this time -all fellow park users.

The park is used by walkers, dog walkers, joggers, young mums with prams, parents and grandparents with young children on tricycles, exercise groups, older adults starting to cycle using safe paths in the park, children cycling to school, cyclists riding to work and doubtless many others.

It is a place of peace and quiet. People living alone can come to a safe place to exercise and meet others. 3 men do exactly that – walk then meet up and sit and chat on one of the many park benches before heading off again.

A café would disrupt all of this.

It would mean the destruction of more trees and bushes, thus bird life would be impacted. With the High Density building in Doncaster we need all the trees we can get!

It would create more traffic and litter. If the café proved to be unsuccessful the damage to the park has already been done and irretrievable.

I propose a trial of a Coffee Caravan. This could be for 3-6 months over 7 days a week. This would test interest and viability. Whilst it would be predominantly 'take away' coffee, it could provide 2 tables and some chairs.

Yours Sincerely



Submission #7



DONCASTER TEMPLESTOWE HISTORICAL SOCIETY INC.

ABN: 63 854 292 415

Member of Royal Historical Society of Victoria

President: Eric Collyer

27<sup>th</sup> February 2019

Response to Waldau Precinct Masterplan

Concerns:

**1. Removal of Boundary Fencing**

***The Society remains resolutely opposed to this proposal as already stated on a number of occasions and wish to have their removal deleted from the Masterplan.***

We have the responsibility to safeguard our assets in perpetuity for the benefit of generations to come. We do not believe that the security cameras already installed will provide adequate protection against wilful damage, graffiti and possible arson on some of the timber building. The site is isolated and out of public view at night and therefore attracts people ( in cars ) whose conduct is not always desirable.. Damage needs to be prevented in the first instance not dealt with after it has occurred.

*Submission #7 (continued)*

## 2. Machinery Shed

The Historical Society has asked for a larger and enclosed machinery shed ( along the lines of that at Schwerkolts Cottage.) The present display is cluttered, difficult to clean ( gravel floor ) and does not provide an attractive exhibit. This is a significant component of our museum complex as it commemorates our history as Victoria's leading fruit growing area for almost a century. Some significant innovations in the fruitgrowing industry had their origins in this district – provision of dams on orchards.

The existing machinery shed could be modified and extended to include the area occupied by the current toilet facilities. It needs to be a fully enclosed building with concrete floor, glass viewing panels and internal access for visitors to view exhibits at close range.

A unique opportunity exists for the Society to acquire by way of donation, a collection of fully restored of fully restored orchard sprayers dating from the 1920 – 1930 era but only if they can be housed in a secure and dust free environment.

These came from local orchards. At present there is no space to accommodate them or meet the expectations of the donor. This also inhibits our ability to accept any other donations of orchard equipment.

A larger machinery shed must at least be provided for in the Waldau Precinct Masterplan even if it is to be a subsequent addition to the museum complex.

*Submission #7 (continued)*

## 3. Relocation of Atkins Cottage and Sloyd Room

The Society sees no need to relocate these buildings as there are no graves beneath them.

The Society requests further discussion with Council on this matter

Other Issues:

## 1. Proposed New Building:

It appears from the masterplan that this building is placed further from our complex boundary fence than was envisaged following an onsite meeting with Council Officers in October 2017. It needs to be close to the current fence line with a connecting path to the front entrance( facing north ) of Schramm's Cottage to provide wheelchair access to that building.

We would like further discussions with Council on the precise location of the building and connecting paths as this impacts directly on the Society's operation at Schramm's Cottage.

- Within this building we confirm our needs for:
- research/work area with secure archival storage facilities
- display space for more of our collection of artifacts to be accessible to the public
- reception area for visitors and meeting room for Society meetings with provision for wall displays
- adequate kitchen facilities
- storage area for trestle tables, chairs and objects not currently on display

## 2. Proposed Security Screens:

We do not want mesh screens on any of the sheds.

They will give these buildings a " caged" appearance. Neither do we support the idea of a fence around the tram shed. Children love to sit on the tram when they visit the museum with their teachers.

*Submission #7 (continued)*

3. Proposed Boom Gate on Muriel Green Drive:

We support the possible installation of a boom gate at the entrance to Muriel Green Drive on Victoria Street; provided cars can't get around it when closed. How would it operate when access is needed by the Society or other groups at night ?

The Society has ongoing concerns about drug taking and dealing that takes place in the Schramm's Cottage car parking area ( recent drug bust in Muriel Green Drive ). Our members are tired of constantly picking up rubbish including Syringes and condoms thrown from cars parked outside the entrance into Schramm's Cottage at night.

4. Proposed New Toilet Facilities:

Further discussion between Council and the Society is needed.

Are these part of the new building ?

Are they for the use of visitors to the museum and Society members only ?

The above comments notwithstanding, the Historical Society commends Manningham City Council for the proposed enhancement of the museum complex and is committed to work collaboratively with Council for the preservation of our great municipality.

Eric L. Collyer  
President

*Submission #8*

Dear Sir/Madam,

**Re: Waldau Precinct Masterplan**

In my previous response to the survey of the Draft Waldau Precinct Masterplan I stated the need for the Implement (Machinery) Shed to be extended 6 metres at the rear. This shed is an important part of the museum complex at Schramm's Cottage.

In 2011 Doncaster-Templestowe Historical Society made an application to Council for the extension of this shed at an estimated cost of \$35,000. We were advised that Council's Assessment Panel had determined our application would be included as part of the Rieschieck's Reserve Management Plan of which the Waldau Precinct is part of. Some copies of correspondence relating to this are attached.

Was this shed extension overlooked when preparing the Draft Waldau Precinct Masterplan and can it now be included?

This shed extension together with updating the total building is urgently needed to adequately display the many historic items that were used on the orchards within our district.

For your interest I retired as Treasurer in 2015 after 8 years in that position but I am still an active member of the Doncaster-Templestowe Historical Society.

Yours faithfully



*Submission #8 (continued) – attachment – letter from Council*

**Re: Community Facility Capital Works Funding Program**

Thank you for your Club or Group's Expression of Interest for the Community Facility Capital Works Funding Program:

**Community Group:** Doncaster-Templestowe Historical Society  
**Project Name:** Extension to Orchard Implement Shed

Your application has been assessed by Council's Community Services & Recreation Assessment Group. The outcome of your application is as follows:

The Assessment Panel determined that this application would be included as part of the Rieschieck's Reserve Management Planning process which is currently taking place. The Council liaison who will contact you shortly is Stephanie Langton (ph. 03 9840 9171).

If you have any queries relating to this correspondence, please contact Melissa Ferris on (03) 9846 9592 or [melissa.ferris@manningham.vic.gov.au](mailto:melissa.ferris@manningham.vic.gov.au).

Yours sincerely,

Submission #8 (continued) – attachment – EOI letter from Doncaster-Templestowe Historical Society

## Doncaster-Templestowe Historical Society Inc.

ABN: 63 854 292 415

Member of Royal Historical Society of Victoria

Manningham City Council,  
P.O. Box 1,  
Doncaster, Vic. 3108

25 March 2011

Attention: Melissa Ferris, Community Recreation Development Planner

Dear Melissa,

**Re: Capital Works Funding Program**

We are pleased to present our Expression of Interest Application for the Extension to the Orchard Implement Shed under your Capital Works Funding Program. The Implement Shed is a major part of our Museum of Local History that occupies the Schramms Cottage Complex off Victoria Street, Doncaster.

The project capital cost budget stated in the application covers the building, permits, etc. It will be necessary for some old Pine trees to be removed to allow for this extension. These trees were planted in 1942 and had a life expectancy of 70 years. The cost for the removal of these trees is not included in the estimate.

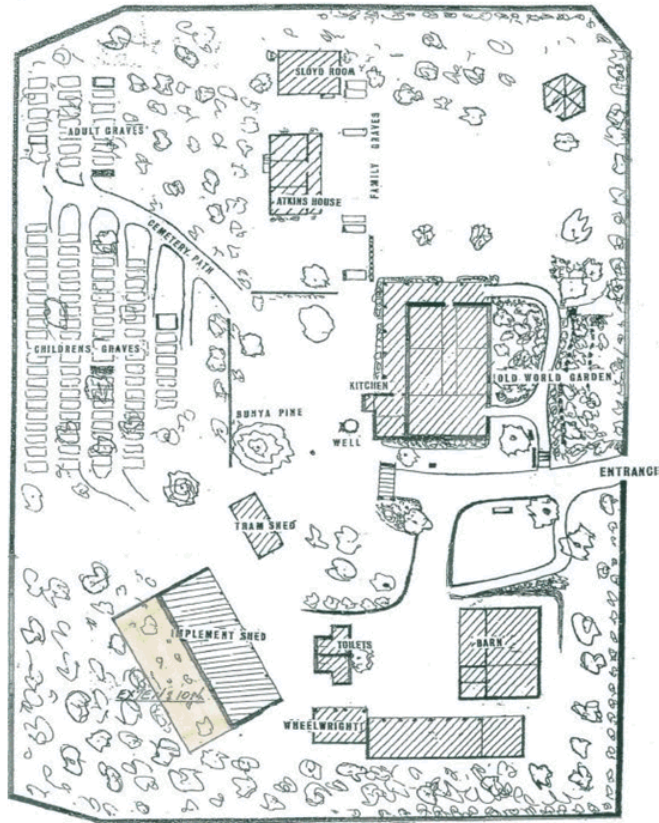
It may also be desirable to install water storage tanks to collect rainwater from the large roof area of the extended Implement Shed for use on the gardens within the complex. This has not been included in the budget. The dead pine needles from the trees are a major problem causing blockages in gutters even when guards are fitted. We seek Council's advice on providing water tanks.

We hope our Expression of Interest will receive your favourable consideration and that we will be able to discuss this with you in the near future.



Submission #8 (continued) – attachment – EOI letter from Doncaster-Templestowe Historical Society

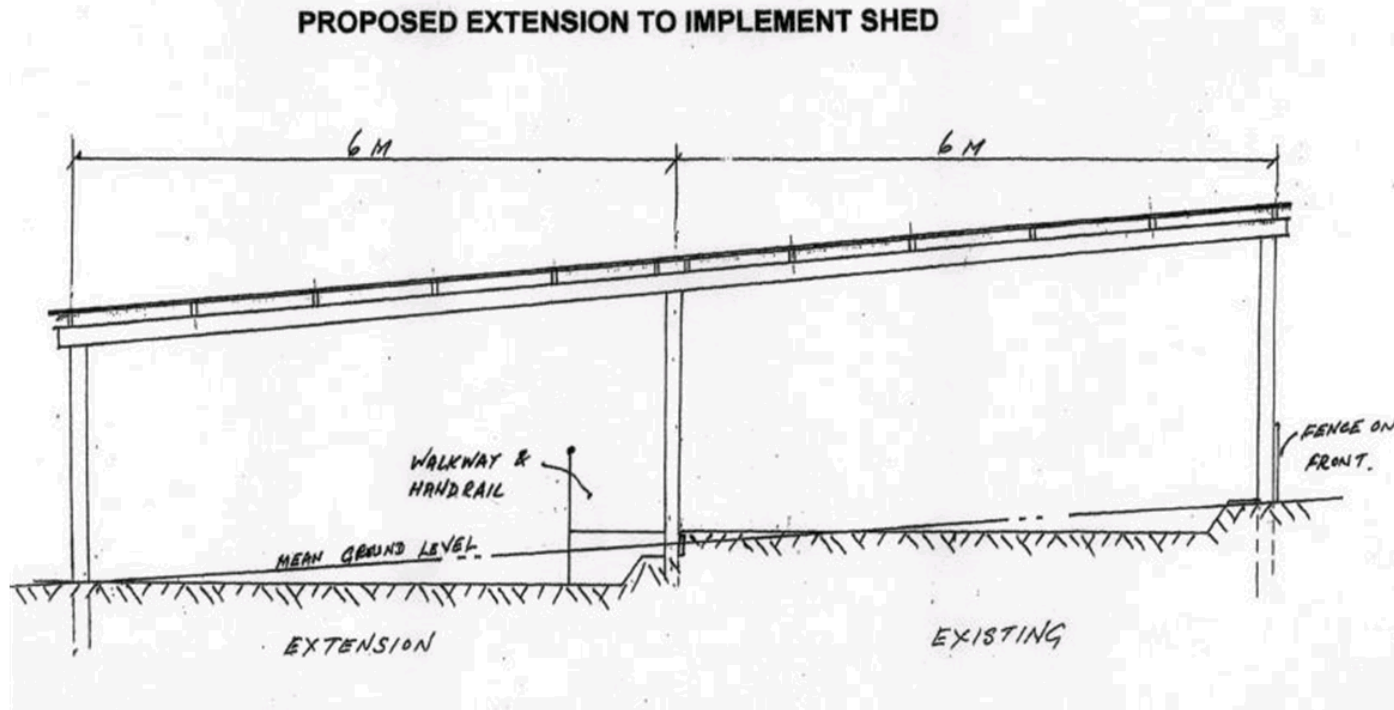
SCHRAMMS COTTAGE GROUNDS



IMPLIMENT SHED  
(front and end view)



Submission #8 (continued) – attachment – EOI letter from Doncaster-Templestowe Historical Society



*Submission #9*

**To:** Manningham  
**Subject:** Waldau Precent upgrade

I am disappointed to see that a cafe will be installed at Ruffey Park. I already find disposable cups left from people who have finished their take-away coffee and dumped the cup. An on-site cafe will exacerbate this : it is a sure thing that disposable cups will litter the park. There are plenty of cafes in Manningham, and those wanting to drink coffee at Ruffey Park can bring a thermos.

*Submission #10*

1/125 George Street  
Doncaster East, VIC 3109

E [health@whe.org.au](mailto:health@whe.org.au)  
P (03) 9851 3700  
F (03) 9848 3160

[www.whe.org.au](http://www.whe.org.au)

ABN 72 895 788 372

4/03/2019

**Women's Health East submission in response to the Waldau Precinct Masterplan Consultation**

Women's Health East is the women's health promotion agency for the Eastern Metropolitan Region (EMR) of Melbourne. Our vision is equality, empowerment, health and wellbeing for all women. Women's Health East address the social, cultural, economic, political and environmental factors impacting on the health, safety and wellbeing of women in the region, including of course in Manningham where we are located.

*Submission #10 (continued)*

Women's Health East provides leadership in our priority health promotion areas of advancing gender equality, preventing violence against women, and improving women's sexual and reproductive health. We build the capacity of organisations, services and programs in the region to optimally address issues affecting women.

Women's Health East's office is located in the Heimat Centre in Doncaster East, a space which we have leased from the Manningham City Council since October 2013. Our office is therefore located in close proximity to the Waldau precinct.

Women's Health East staff are regular users of the Rieschiecks reserve and Ruffey Park Lake area, with staff taking lunch time walks on most work days, supported by our physical activity policy. Our staff very much enjoy sharing the park with the many other walkers and their dogs.

Being in such close proximity, our access is generally on foot, as is our use of the area. We are supportive of the various change proposed to access and to improve and connect walking paths, and we also very pleased about the prospect of a café at Ruffey Park Lake. We would be likely to be users of the

We are also interested to learn of the various upgrades, particularly those proposed for the Rieschiecks Reserve Pavilion, and would be extremely keen to discuss the possibility of any space that we could use in the Pavilion.

*Submission #10 (continued)*

Women's Health East has experienced some growth in recent years. As such we have needed to transform a small meeting space (a room of approx. 18.9m<sup>2</sup>) on our premises into an office. We are therefore now without a meeting room. While we are able to book and rent the large multipurpose room and hall at the Heimat Centre, these are not always available, and do not meet our need for a quiet space or small meeting space for staff to use who otherwise are in two shared offices.

We therefore would be very interested in discussing any possibility of use of a meeting space in the redeveloped Rieschiecks Reserve Pavilion. Any other opportunities for relocation of our offices to a larger space as a part of these redevelopments, or consideration in any future redevelopments would be of interest to us, and we would welcome an opportunity to discuss any options with Manningham City Council staff.

Women's Health East would ideally prefer to remain within our current premises, which provide our staff with a very pleasant work environment (albeit a bit small) and beautiful surrounds with its access to a range of physical activity options. Our strong preference for the future would be to remain in our current premises and certainly within the City of Manningham and we therefore welcome consideration of our feedback into this consultation.

Kristine Olaris  
Chief Executive Officer



*Submission #11*

ARepresenting the needs of the Scout Group we welcome chnages to the access and parking arrangements to Reischecks reserve as it is currently quite dangerou.

We have 150 youth members and their families accessing the scout hall and turning into the driveway from Victoria street is always an issue not to mention the narrow driveway with the area also being accessed by sports trainign orgs and the Ayhletics clubs.

The parking is already insufficent and with additional perople accessing the area this will only increaz.

My blessings for the pedestrian access to Ruffey Lake as currently it is unsafe to do so.

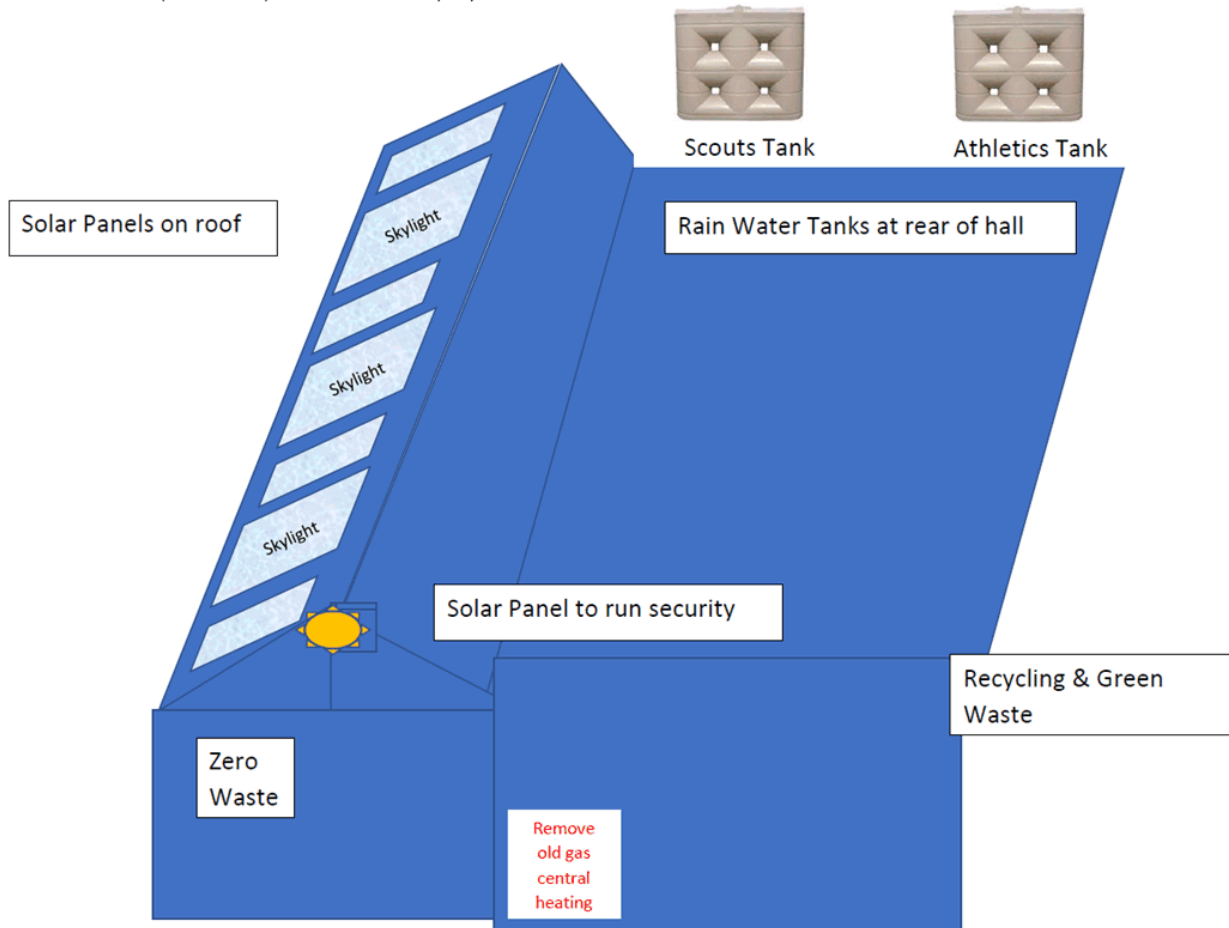
Scouts have also a proposal for extension as our numbers of memebrrs continues to grow, we do not have enough room for meetings nights and often have youth playing ourside on grass area where you proposed to build the pravilion.

We are requesting to council to take the lease from Athelics club in the near future if Kevin Heinz development does not proceed, otherwiase we will be submitting sugeested plans for the extension required.

Thanks

Teena

Submission #11 (continued) – attachment – proposed Scout Hall environmental initiatives





*Submission #11 (continued) – attachment – proposed Scout Hall environmental initiatives*

## Rainwater Tank Facts

### Benefits

The benefits of installing a rainwater tank are many

- Collect the rainwater that falls on your roof, example: for every 1mm of rain, that falls on 1 square metre you will collect up to 1 litre of water.
- Reduce the consumption of mains water and, in the long term, cut your water bill.
- Lower the impact on the environment by reducing your demand on mains supply, as well as limiting the amount of stormwater runoff.
- Garden plants and vegetables tend to grow better with rainwater
- Not have to worry about water restrictions
- Have a reserve of water for fire fighting in high risk are

### How much water do I use?

- Brushing teeth with running tap 5 litres
- Dishwasher load 50 litres
- 5 minute shower 100 litres
- Washing the car 200 litres
- Garden sprinkler per hour 1000 litres
- An average person can survive nearly two months without food, but less than a week without drinking water.
- The human body loses 3 to 3.5 litres of water in an average day.
- An average tap flows at rate of 20 litres per minute, depending on how far it's turned on.

*Submission #11 (continued) – attachment – proposed Scout Hall environmental initiatives*

### **Water facts**

Australia is the driest continent on earth, with predictions that future weather cycles will be drier & hotter. This makes it all the more frightening that Australians per person are the biggest water consumer's world wide.

### **Tank types**

Tanks come in many shapes and sizes, they are also manufactured in a variety of materials

- **Poly tanks**, made in Australia use food grade Polyethylene and are UV stabilised, meaning no taste or odour transferring to the water. The tanks are relatively light and easy to maneuver. They come in a large range of colours, capacities & dimensions. Poly tanks are durable, they don't rust, and they have an expected life of 50 plus years. There are many hundreds of water tank manufacturers across Australia, many just feeding their local markets. All tanks are not created equally, the difference between manufactures is the thickness and quality of the polyethylene materials used.

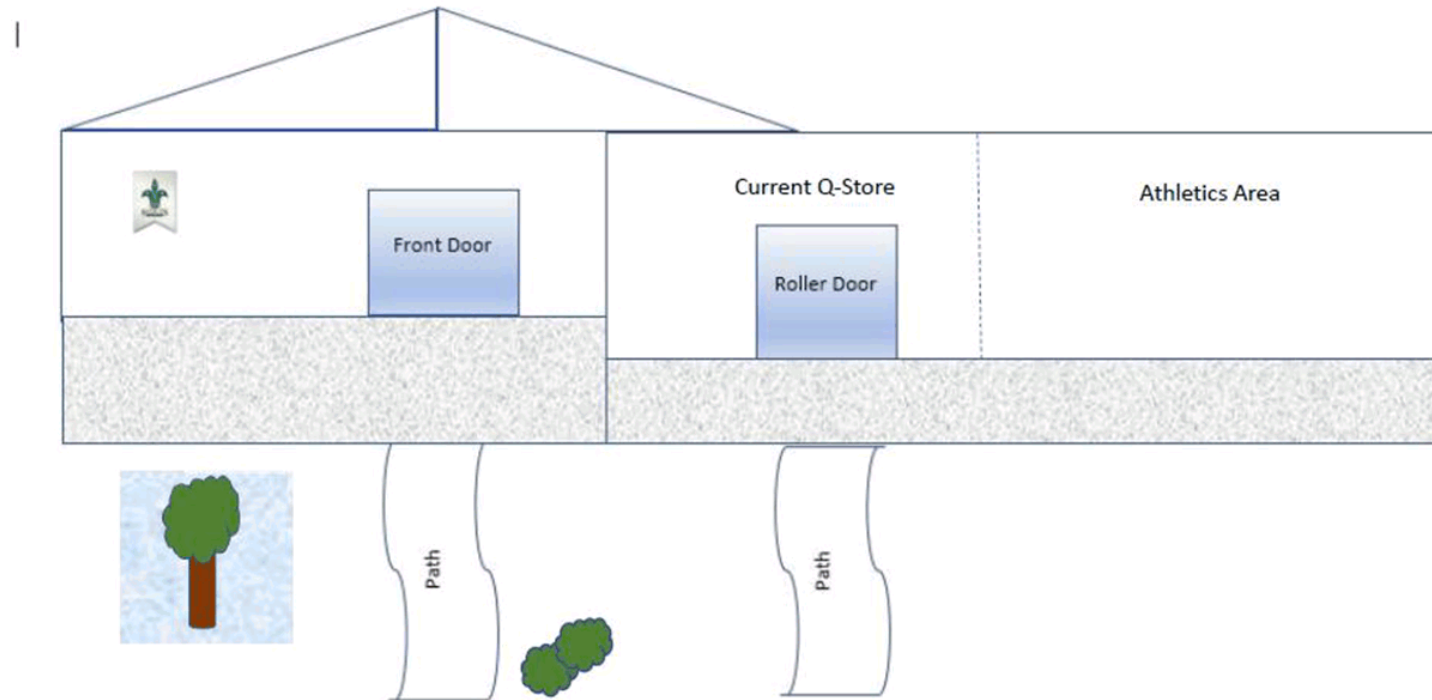
### **Poly tanks**

- Poly tanks are made in two basic shapes – round and slimline
- Round tanks are found in either upright or squat styles
- Slimline tanks are generally smaller capacities; the narrow tanks are designed to fit beside the home.

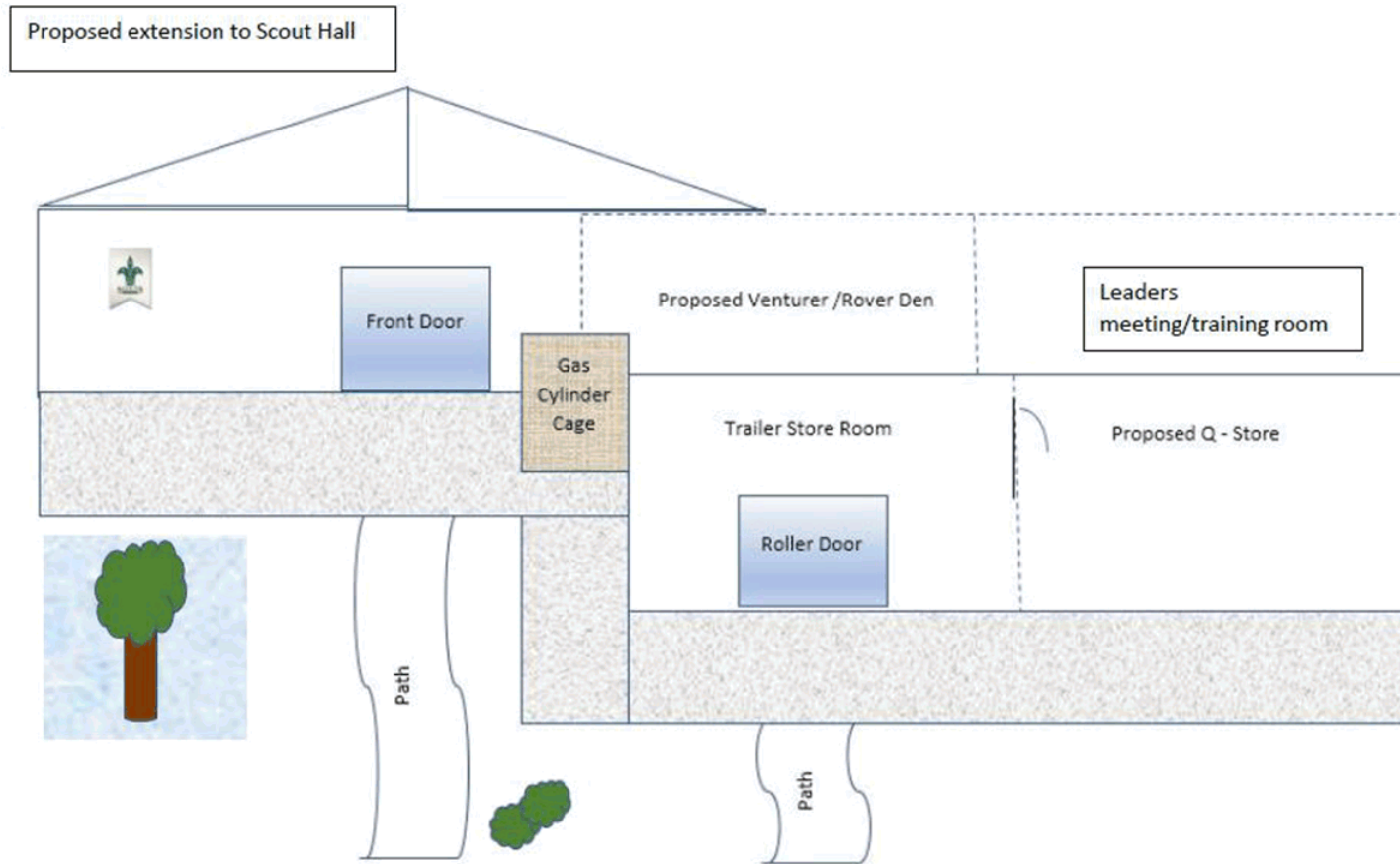


Submission #11 (continued) – attachment – proposed Scout Hall extensions

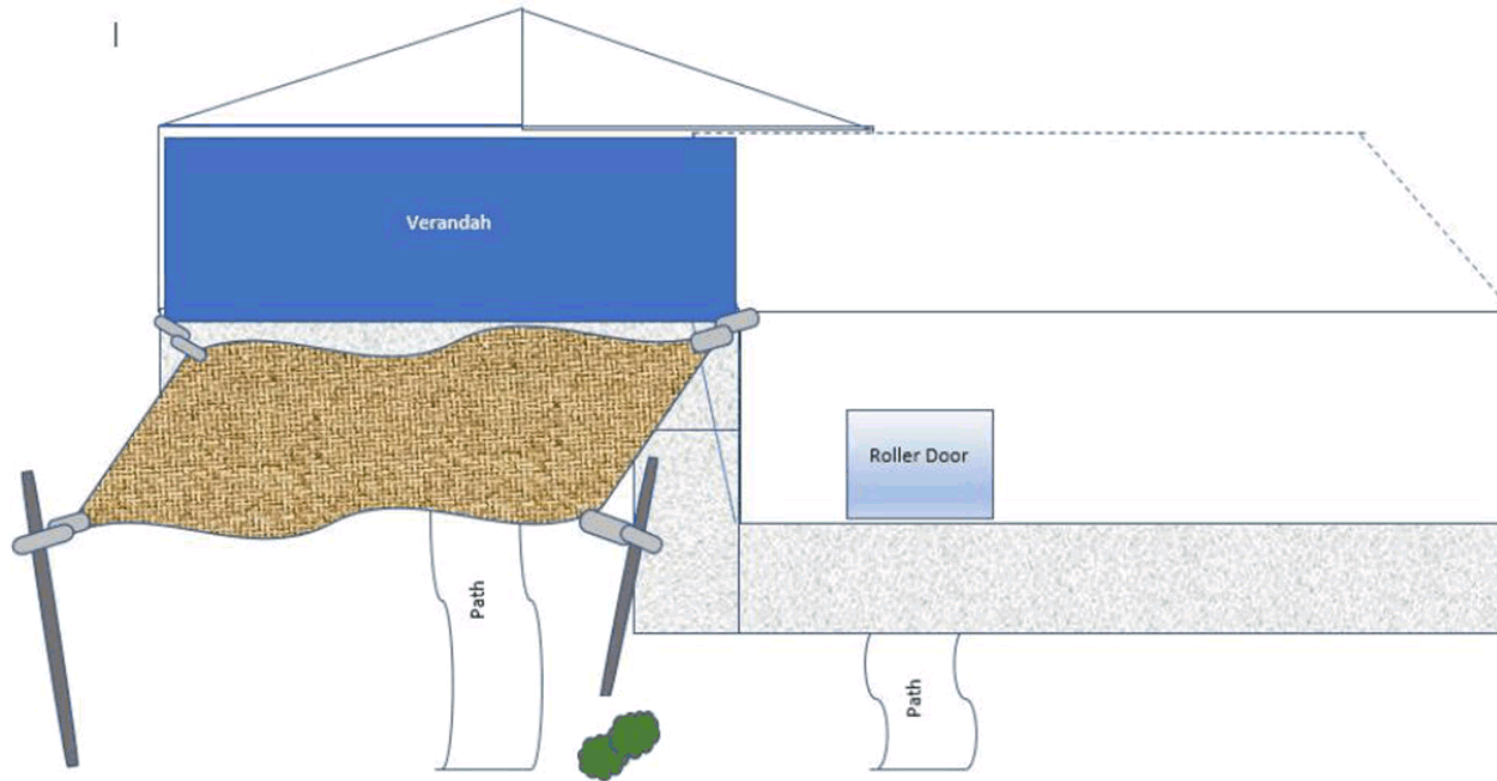
Existing Scout Hall



Submission #11 (continued) – attachment – proposed Scout Hall extensions



Submission #11 (continued) – attachment – proposed Scout Hall extensions



*Submission #12*

Dear Councillors,

A more appropriate text would be “Don’t leave your mark” with a littering photo background.  
See littering literally right behind the sign.



This is Jocelyn Ct Park.  
Unfortunately this is not limited to this park.

Allowing a cafe, likely with ‘take-away-and-dump-the-cup’ coffee in Ruffey Lake Park, Waldau precinct, is therefore unacceptable.  
Unless the cups are bright orange recognisable and the cafe is fined \$100 for each cup found.

It’s a public park, not a business precinct.

*Submission #13*

Subject: CAFE TO BE BUILT IN RUFFEY LAKE PARK

Mike, Dot and Anna,

Shown below are comments included in our survey response to the Waldau Precinct Master Plan.

As our representative Councillors, you should also consider that once a "small" cafe is established, future issues will arise as the cafe expands:

- Will operating hours be extended into evening?
- Could a liquor license be obtained?
- Would the venue be permitted to cater for private functions?
- Would commercial signage be added, and how big?

These changes would have permanent impacts on what is now public open space near a children's playground.

Ratepayers must be wondering if this is really a genuine attempt at consultation, when only 2 weeks was allowed for public comment, after Council staff have spent months preparing the masterplan.

How many current users of Ruffey Lake Park would even be aware that a cafe is again being proposed? The brief mention of "Waldau Plans" in Manningham Leader, 25th Feb, does not mention a cafe.



*Submission #14 – via phone call*

Resident lives opposite the park.

She rang to say she contacted VicRoads about improving the road safety and in particular the drainage and the footpaths. VicRoads said they can't do anything about the drainage or footpaths.

She's very keen to see changes in the area to make it safer, in particular the sealing of the car parks at the bottom.

*Submission #15*

Hello,

Unfortunately, the "have your say" in the Waldau Precinct masterplan didn't appear to have the ability to email you requests in, so I have emailed directly.

Between all of the sporting clubs that use the Rieschieck reserve and Athletics track we have combined our comments and requests as outlined below.

For the Pavilion ( also ref to the attachment )

- We do require public showers for athletes (ideally 1 men's and 1 women's).
- We would like to square off North side of gym and delete steel posts. We looked at the area outside and deeper footings will overcome any issue with proximity to the drop off. Deepened footings (bored piers) are not expensive and would also be required for the close proximity of the trees.
- Include windows to gym overlooking the track to North extension
- Mirror male amenities and move door so it's accessible from multi-purpose space.
- Delete wall at entry to AFL/cricket social space and enlarge entry door/window (preferably openable bi-fold doors or similar)
- Increase width of Aths store & reduce utility cleaners store
- We would like to have the opportunity to review and comment on the design before it is finalised?
- Also we would like to be consulted regarding design of heating/cooling, placement of electrical fittings, services etc?

*Submission #15 (continued)*

In addition, to the pavilion upgrade, we would like you to include the track public toilet upgrade and the sealing of the tracks car park as well. This toilet block is in desperate need of refurbishment, it's utilised daily by locals, Athletes and schools within and around the area. Everyone you speak to comment on this block and the car park and is really the biggest criticised item within the facility.

As far as the Waldau master plan, there are a number of great initiatives such as the new visits centre, the car park upgrade, the playground upgrades and the addition of the cafe at Ruffy park. All of these would be highly supported by each club and would be seen as a positive for the area.

This is an exciting development for the area and we as clubs would be pleased to assist with providing feedback on any part of it, so please feel free to contact us as required.

And finally, if you require more information on the above, please feel free to contact me.

Cheers

David Wynne  
Acting President for DLAC

Submission #15 (continued) – attachment



## 7. Verbatim responses - Facebook

Please note: Facebook comments are not included as a formal response to the masterplan. Comments with tagged names were omitted

FACEBOOK COMMENTS	
1.	Licensed cafe/bar and adult fitness stations would be great.
2.	The area needs a real skatepark. Not that little useless skate park at Lawford reserve . Check out box hills skatepark they got it right (4 likes)
3.	The council had a perfect opportunity to develop a skate park at Zerbes reserve but the residents objected. It would have been a great idea for our kids :)
4.	yes agreed. Council need to take charge and just go with it . Some residents have a fear that skateparks attract trouble. Actually it's the complete opposite... there are many families there and parents present to supervise. Active kids means healthy kids
5.	Leave Schramms Cottage area as is and leave fenced to help protect heritage buildings and contents from the vermin that have started to wreck havoc in our now way overdeveloped Manningham area. - Don't try to "improve" historic Waudau Cemetery. Needs to be left alone and not wrecked or modernised by paths. Small Cafe at Ruffey Lake Park sounds good idea. (My opinion) (1 like)
6.	Skate park would be great lots of children go to box hill ... because Manningham don't have a good skate park.
7.	A cafe would be nice (4 likes)
8.	cafe at Ruffey Lake ☕☕☕ (2 likes)
9.	Hundreds of large canopy trees for shade. Maybe an avenue of jacaranda. Water splash park for summer (2 likes)
10.	We would love a skate park somewhere near Ruffey Lake Park!!! (4 likes)
11.	How about something the adults can work out/ exercise on at ruffy that would be nice?? 🏃🏃 (1 like)
12.	Adult playground maybe?
13.	Adult playground / workout station at ruffy please! (3 likes)
14.	Leave the area around schramms cottage as it is- as much of the original as possible. Make an overpass across Victoria street to avoid anymore deaths (3 likes)
15.	...cafe 🍷
16.	woohoo! Everything is better with coffee ☺
17.	A little girl had to die first before a crossing is suggested!! (1 like)
18.	Well i hope the roads on Victoria street is incluain this project (7 likes)
19.	It is they want to replace the traffic island crossing with traffic lights

20.	What's wrong with the play area off Victoria Street? It was only upgrade 5 mins ago it seems <i>(2 likes)</i>
21.	Area to promote busking maybe? Live local music ? I'll play
22.	adulation playground?
23.	I'll build it my self just give me the permission
24.	You guys can't even replace the 'R' missing from the signage. And you're wanting upgrade. Fix that first and I may have some faith. <i>(1 like)</i>
25.	Cafe over looking the lake local farmers/craft market/ local skatepark for kids to ride scooters etc/ functions centre.
26.	It's. A.Beautiful cottager !!!!!
27.	Out door gym/ workout area!
28.	Don't go to commercial
29.	OH&S risk with kids leaping of objects
30.	Do you really think this area needs a cafe?? It's great for bbqs with family's or for them to bring picnics to the park. Have you thought about the impact a cafe might do this this area?? Or is this just another way of making money for the council?? <i>(3 likes)</i>
31.	definitely revenue raising <i>(1 likes)</i>
32.	I would be thinking about fixing your footpaths before this for ratepayers safety
33.	They have been doing that like crazy atm. I'm sure your's will be fixed soon. All the streets in my area have had footpaths redone a couple of weeks ago.
34.	not so much mine but surrounding streets. They are all trip hazards. Hope your weather warnings are better than Manningham Councils street repair capabilities
35.	same in our streets
36.	Do you guys have a permit for the proposed changes?
37.	gonna be kaos for you
38.	A year ago they wanted to build a sewage plant here, now they're building cafes. Next it'll be a high rise with a Costco
39.	They should build proper footpaths before someone gets hit by a car again
40.	They will still fine me for parking infront of my home
41.	Anything for a dollor
42.	cafe at Ruffy lake (score!)
43.	I've been saying this for sooo long <i>(1 like)</i>
44.	Please see PM and attachment.



## 8. Survey design

### Draft Waldau Precinct Masterplan Survey

Tell us what you think about our Draft Waldau Precinct Masterplan. We want to understand how you currently use this area, what you would like to see and your feedback on what's proposed.

**1. How far do you live from your nearest entry point to this precinct?**

- Within 200 metres (practically a neighbour)
- Between 1 and 2 kilometres
- Between 200 and 500 metres (not that far)
- Over 2 kilometres away
- Between 500 metres and 1 kilometre

**2. When visiting the precinct, how would you normally travel there?**

- Walk
- Public transport
- Cycle/ride
- Other, please specify: \_\_\_\_\_
- Car

**3. Are there any factors that would make it easier or more likely for you to travel to this precinct? Please tick all that apply.**

- Improved car parking
- Improved pedestrian connectivity (e.g. new paths)
- Signalled pedestrian crossings
- Other, please specify: \_\_\_\_\_
- Better road safety in the area

Can you provide more detail, including any specific areas of the precinct?

**4. How often do you visit the following areas within the Waldau Precinct?**

	Every day	A couple of days per week	Weekly	Monthly	Every few months	Rarely	Never
Schramm's Cottage	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Rieschiecks Reserve	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Ruffey Lake Park Victoria Street Playground	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Ruffey Lake Park Heritage Trail	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Ruffey Lake Park open space, paths etc.	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Other _____	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

 Interpretation service  
9840 9355  
普通话 廣東話 04ayvadi  
italiano العربية



### Draft Waldau Precinct Masterplan Survey

**5. How supportive are you of the following major proposed features for the Waldau Precinct?**

	Very supportive	Supportive	Don't know	Not supportive	Not at all supportive
Small cafe at Ruffey Lake Park Victoria Street Playground	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
New visitor centre next to Schramm's Cottage	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Improved heritage links and paths	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you? (Please tick all that apply.)

- Early opening hours
- Outdoor spaces
- Child friendly
- Dog friendly
- Affordable
- Healthy food
- Sustainability and waste management
- Other, please specify: \_\_\_\_\_

If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you? (Please tick all that apply.)

- Pedestrian access
- Car parking
- Accessible public toilets
- Meeting rooms
- Historical research spaces
- Flexible opening hours
- Tour guides and/or visitor centre staff
- Other, please specify: \_\_\_\_\_

**6. Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?**

*Continue your response* ↗



## Draft Waldau Precinct Masterplan Survey

Question 6 continued

Please tell us a bit about yourself.

**7. Which of the following best describes your household? Please tick all that apply to you.**

- |  |   |
|--|---|
| <input type="radio"/> Adult/family with child/children under 5 years | <input type="radio"/> Living alone                |
| <input type="radio"/> Adult/family with primary aged children        | <input type="radio"/> Couple with no children     |
| <input type="radio"/> Adult/family with teenagers                    | <input type="radio"/> Retired couple              |
| <input type="radio"/> Adult/family with adult children               | <input type="radio"/> Other, please specify _____ |
| <input type="radio"/> Share house/co-tenants                         |   |

**8. Please tell us your age category.**

- |                                     |                                   |
|-------------------------------------|-----------------------------------|
| <input type="radio"/> 17 or younger | <input type="radio"/> 45 to 54    |
| <input type="radio"/> 18 to 24      | <input type="radio"/> 55 to 64    |
| <input type="radio"/> 25 to 34      | <input type="radio"/> 65 to 74    |
| <input type="radio"/> 35 to 44      | <input type="radio"/> 75 or older |

**9. Do you speak a language other than English at home?**

- Yes  
 No

If yes, were you born overseas?

- Yes  
 No

What language do you speak?

\_\_\_\_\_

**5. How supportive are you of the following major proposed features for the Waldau Precinct?**

	Very supportive	Supportive	Don't know	Not supportive	Not at all supportive
Small cafe at Ruffey Lake Park Victoria Street Playground	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
New visitor centre next to Schramm's Cottage	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Improved heritage links and paths	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Upgrades to Ruffey Lake Park and Rieschiecks Reserve playgrounds	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

If a small cafe was to be constructed at Ruffey Lake Park, what features are important to you? (Please tick all that apply.)

- |   |   |
|---|---|
| <input type="radio"/> Early opening hours | <input type="radio"/> Healthy food                        |
| <input type="radio"/> Outdoor spaces      | <input type="radio"/> Sustainability and waste management |
| <input type="radio"/> Child friendly      | <input type="radio"/> Other, please specify: _____        |
| <input type="radio"/> Dog friendly        |   |
| <input type="radio"/> Affordable          |   |

If a visitor centre was to be constructed next to Schramm's Cottage, what features are important to you? (Please tick all that apply.)

- |  |   |
|--|---|
| <input type="radio"/> Pedestrian access          | <input type="radio"/> Flexible opening hours                  |
| <input type="radio"/> Car parking                | <input type="radio"/> Tour guides and/or visitor centre staff |
| <input type="radio"/> Accessible public toilets  | <input type="radio"/> Other, please specify: _____            |
| <input type="radio"/> Meeting rooms              |   |
| <input type="radio"/> Historical research spaces |   |

**6. Do you have any other suggestions or feedback on the Draft Waldau Precinct Masterplan?**

*Continue your response* ↗



## 9. Marketing, Media & Advertising

### A3 folded flyer



We are proposing some improvements for one of Manningham's most loved recreational areas, the Waldau Precinct in the Doncaster area.

The precinct includes a number of attractions such as Rieschiecks Reserve and part of Ruffey Lake Park. We've developed a Draft Waldau Precinct Masterplan and want to hear your feedback.

Some of the features proposed include:

- a new visitor centre next to Schramm's Cottage Museum Complex for heritage displays, to host meetings, do research, store archives and more
- upgraded playspace elements and a new café at the popular Ruffey Lake Park playground on Victoria Street
- better pedestrian links and parking access as well as new signage showcasing the area's heritage.



#### HAVE YOUR SAY

We want to hear from you. Find out more and tell us what you think of the Draft Waldau Precinct Masterplan.

[yoursaymanningham.com.au/waldau-precinct](https://yoursaymanningham.com.au/waldau-precinct)

**Come and chat to us at Ruffey Lake Park**

**Thursday 14 February, 3.30pm to 5.30pm**

**Saturday 23 February, 10.30am to 12noon**

Meet at Victoria Street Playground

**Consultation closes at 5.00pm on Monday 4 March.**

#### Questions?

Call us on 9840 9333



# Draft Waldau Precinct Masterplan



- 1. Schramm's Cottage Museum Complex**  
Upgrades are proposed for the paths, signage and security around the cottage. The boundary fence of this site is to be removed once the proposed visitor centre is constructed.
- 2. New visitor centre**  
A new multipurpose visitor centre building is proposed, including meeting and research spaces as well as accessible public toilets.
- 3. New café**  
A small café (100m<sup>2</sup>) is proposed at Ruffey Lake Park with outdoor seating areas.
- 4. Waldau Cemetery paths**  
Path improvements are proposed to better define the cemetery area. The existing Atkins Cottage and Sloyd Room are proposed to be relocated within the precinct.
- 5. Pine tree wind break**  
The remnant pine tree wind break is to be retained and protected.
- 6. Improving the Muriel Drive entry**  
The entrance at Muriel Drive will be realigned to improve safety and access and may include an automated gate.
- 7. Car park improvements**  
All car parks will have adequate and accessible parking spaces in line with Australian Standards. The car park on the corner of George and Victoria streets will be sealed and line marked.
- 8. Improving pedestrian connectivity**  
New paths to improve connectivity for pedestrians throughout the precinct.
- 9. Relocating Kevin Heinze GROW**  
Relocate Kevin Heinze GROW from its existing Wetherby Road location to the Victoria Street Pavilion. This space is to be shared with the Doncaster East Scouts. The Doncaster Athletics Club is to relocate from Victoria Street to the Rieschiecks Reserve Pavilion.
- 10. Rieschiecks Reserve Pavilion upgrade**  
Upgrade pavilion facilities to improve the floor plan, storage, canteen facilities, social area, change rooms and accessibility of public toilets.
- 11. New signalised pedestrian crossing**  
Create a new pedestrian crossing to better connect Ruffey Lake Park and the Schramm's Cottage Museum Complex. This proposal is subject to VicRoads approval.
- 12. Upgrade play equipment at Victoria Street Playground**  
A major upgrade of the play equipment within this popular playground.
- 13. Upgrade playground at Rieschiecks Reserve**  
Upgrade Owens Playspace with new equipment and a heritage theme to tie in with the nearby Schramm's Cottage Museum Complex.
- 14. Ruffey Lake Park Quarry**  
Upgrade signage around the existing quarry site.
- 15. New path connection**  
Create a new path from the Ruffey Lake Park bus stop to the Victoria Street Playground.
- 16. New signage**  
New heritage information signage is proposed throughout the precinct. This includes an upgrade of the existing Ruffey Lake Park Heritage Trail.



[yoursaymanningham.com.au/waldau-precinct](http://yoursaymanningham.com.au/waldau-precinct)



Corflute sign

# HAVE YOUR SAY Waldau Precinct Masterplan

We are proposing some improvements for the Waldau Precinct and want to hear from you. This precinct is one of Manningham's most loved recreational areas and includes a number of attractions such as Riechiecks Reserve and Ruffey Lake Park. We've developed a Draft Waldau Precinct Masterplan and want to hear your feedback.



Interpreter service  
9840 9355  
普通话 廣東話 Italiano العربية

- 1. Schramm's Cottage Museum Complex**  
Upgrades are proposed for the paths, signage and security around the cottage. The boundary fence of this site is to be removed once the proposed visitor centre is constructed.
- 2. New visitor centre**  
A new multipurpose visitor centre building is proposed, including meeting and research spaces as well as accessible public toilets.
- 3. New café**  
A small café (100m<sup>2</sup>) is proposed at Ruffey Lake Park with outdoor seating areas.
- 4. Waldau Cemetery paths**  
Path improvements are proposed to better define the cemetery area. The existing Atkins Cottage and Sloyd Room are proposed to be relocated within the precinct.
- 5. Pine tree wind break**  
The remnant pine tree wind break is to be retained and protected.
- 6. Improving the Muriel Drive entry**  
The entrance at Muriel Drive will be realigned to improve safety and access and may include an automated gate.
- 7. Car park improvements**  
All car parks will have adequate and accessible parking spaces in line with Australian Standards. The car park on the corner of George and Victoria streets will be sealed and line marked.
- 8. Improving pedestrian connectivity**  
New paths to improve connectivity for pedestrians throughout the precinct.
- 9. Relocating Kevin Heinze GROW**  
Relocate Kevin Heinze GROW from its existing Wetherby Road location to the Victoria Street Pavilion. This space is to be shared with the Doncaster East Scouts. The Doncaster Athletics Club is to relocate from Victoria Street to the Riechiecks Reserve Pavilion.
- 10. Riechiecks Reserve Pavilion upgrade**  
Upgrade pavilion facilities to improve the floor plan, storage, canteen facilities, social area, change rooms and accessibility of public toilets.
- 11. New signalised pedestrian crossing**  
Create a new pedestrian crossing to better connect Ruffey Lake Park and the Schramm's Cottage Museum Complex. This proposal is subject to VicRoads approval.
- 12. Upgrade play equipment at Victoria Street Playground**  
A major upgrade of the play equipment within this popular playground.
- 13. Upgrade playground at Riechiecks Reserve**  
Upgrade Owens Playspace with new equipment and a heritage theme to tie in with the nearby Schramm's Cottage Museum Complex.
- 14. Ruffey Lake Park Quarry**  
Upgrade signage around the existing quarry site.
- 15. New path connection**  
Create a new path from the Ruffey Lake Park bus stop to the Victoria Street Playground.
- 16. New signage**  
New heritage information signage is proposed throughout the precinct. This includes an upgrade of the existing Ruffey Lake Park Heritage Trail.

**HAVE YOUR SAY**  
[yoursaymanningham.com.au/waldau-precinct](https://yoursaymanningham.com.au/waldau-precinct)

**Come and chat to us at Ruffey Lake Park**  
 Thursday 14 February, 3.30pm to 5.30pm  
 Saturday 23 February, 10.30am to 12noon  
 Meet at Victoria Street Playground

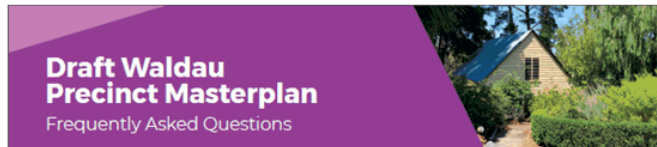
Consultation closes at 5.00pm on Monday 4 March.

Questions?  
 Call us on 9840 9355





FAQ Sheet



**Draft Waldau Precinct Masterplan**  
Frequently Asked Questions

**What is the Waldau Precinct?**  
The Waldau Precinct is an area of approximately 20 hectares that encompasses one of Manningham's most loved recreation and open spaces. It includes:

- The western part of Rieschlecks Reserve, including Waldau Lutheran Cemetery, Helmat House, pine tree windbreaks, Schramm's Cottage Museum Complex, Rieschlecks Pavilion, Victoria Street Pavilion, and Kevin Heinze GROW gardens.
- The eastern part of Ruffey Lake Park including Ruffey Creek, remnant orchard trees, old cart track, stone quarry, Victoria Street playground and picnic area, and the more recent Waldau woodland area.

**What is the purpose of the draft Waldau Precinct Masterplan?**

- To better integrate the attractions of the Waldau Precinct and improve the overall experience.
- To improve access between two of Doncaster's largest and most popular open space reserves.
- To provide a broad range of recreation and leisure options.

**What are some of the key elements proposed under the draft Masterplan?**  
Under the draft Masterplan, there are a number of proposed improvements such as:


- a visitor centre for the Schramm's Cottage Museum Complex, with space to hold meetings, do research, store archives, set up displays and host tours
- new signage showcasing Manningham's cultural heritage
- upgraded playspace elements and a café at the popular Ruffey Lake Park playground on Victoria Street
- better pedestrian links to improve access for residents and visitors
- improved car parking.


**How can I have my say on the draft Waldau Precinct Masterplan?**  
You can provide your feedback on the draft masterplan:

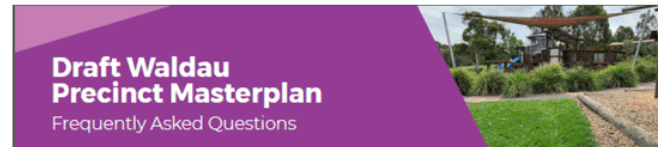
- Online - by visiting [yoursaymanningham.com.au/waldau-precinct](https://yoursaymanningham.com.au/waldau-precinct) and completing our survey. To request a hard copy of the survey, call us on 9840 9333
- In person - come and chat to us at Ruffey Lake Park Victoria Street Playground

**Thursday 14 February, 3.30pm to 5.30pm**  
**Saturday 23 February, 10.30am to 12noon**

Consultation opens on Monday 4 February and closes at 5.00pm on Monday 4 March.

 Interpreter service  
9840 9355  
普通话 廣東話 Ελληνικά  
Italiano العربية

**YOUR SAY** |  **MANNINGHAM**



**Draft Waldau Precinct Masterplan**  
Frequently Asked Questions

**Ruffey Lake Park**


**Why is a café being proposed for Ruffey Lake Park under the draft Waldau Precinct Masterplan?**  
One of the three goals of Manningham's Open Space Strategy is to engage with the Manningham community and encourage involvement in public open space planning and management.  
An independent economic assessment found that a small café of 80 to 120m<sup>2</sup> could be appropriate for the site. The recommended location for the proposed café is near the Victoria Street Playground, which provides easy access to the car park and views over Ruffey Creek valley.

**Would the proposed café replace part of the existing play space?**  
No. Our proposed location is next to the toilet block near the Victoria Street car park. Although some equipment may be relocated or reconfigured, there will be no overall loss of play elements. We are also proposing to upgrade some of the older play equipment within the playspace.

**Do you propose to vary dog controls at Ruffey Lake Park with the proposed café?**  
No. Dog controls will not change under the proposed café development.

**How is pedestrian access being improved for the site?**  
We are proposing to introduce a signalised pedestrian crossing across Victoria Street to the playground to improve safety and access. This is subject to VicRoads approval.

**How would car parking be affected with the introduction of a proposed café?**  
An independent economic assessment found that the introduction of a proposed café/kiosk would increase demand for car parking spaces by an additional 5 spaces during the park's peak usage periods. The car park at the Schramm's Cottage Museum Complex across the road from Ruffey Lake Park could provide additional capacity for car parking during peak times.  
Improved pedestrian connections as part of the proposed works at Schramm's Cottage would increase parking options for the Waldau Precinct, including the proposed café.

**YOUR SAY** |  **MANNINGHAM**



Included in Manningham Leader ¼ page ad, 18 February

### Manningham Council News

**Have your say – Draft Waldau Precinct Masterplan**  
**Monday 4 March**  
**Consultation closes at 5.00pm.**  
 We are proposing some improvements for the Waldau Precinct in the Doncaster area. View the draft masterplan, have your say and find out more.  
[yoursaymanningham.com.au/waldau-precinct](http://yoursaymanningham.com.au/waldau-precinct)

**Come and chat to us**  
**Saturday 23 February, 10.30am to 12noon**  
 Meet at Victoria Street Playground

**Warrandyte Pottery Expo**  
**Saturday 23 and Sunday 24 February, 10.00am to 5.30pm**  
 Come along to the 19th annual Pottery Expo on the banks of the beautiful Yarra River in the heart of Warrandyte Village. Enjoy workshops, entertainment, food, drink and music while perusing the locally made pottery available for sale.  
 Corner Webb Street and Yarra Street Warrandyte  
[potteryexpo.com](http://potteryexpo.com)

**International Women's Day**  
**Friday 8 March, 12noon to 2.30pm**  
 Join us for a sit down, two-course lunch with drinks which will help raise money to support an international program aimed at empowering young women in Cambodia.  
 699 Doncaster Road, Doncaster  
 \$ 70  
[manningham.vic.gov.au](http://manningham.vic.gov.au)

**Instalment Reminder**  
**Third Instalment due 28 February 2019**  
 Ratepayers are reminded that the third rates instalment is due for payment by 28 February 2019.  
 Payments can be made by internet, telephone, in person or by mail. For further details regarding payment options please refer to the reverse side of the instalment notice.  
 If you have difficulty paying this instalment by the due date, please contact Council's Revenue Services on 9840 9333 to discuss alternative payment arrangements.  
 Interest will be applied to any rate or charge outstanding after the due date for payment.

Included in Sameway magazine ½ page ad, February issue

### Manningham Council News

**國際婦女日**  
**3月8日中午12時至下午2:30**  
 我們與婦女友誼組一起合作，去建造一個性別平等的世界。歡迎參加我們一起舉辦的高級茶午餐聚餐活動。  
 這次聚餐活動所得款項，將會支持婦女友誼組所支持在柬埔寨的賦予年青婦女計劃。  
 演講嘉賓為Insihi,ifa的共同創辦人 Melissa Noonan, 粵語為99.9 Light FM 電台的Lucy 與 Bai 一起午餐節目 的 Lucy Hilliers。設有抽獎及拍賣活動。票價每人\$70，包括了支持婦女友誼組的\$10捐款。

699 Doncaster Road, Doncaster  
 \$ 70  
[manningham.vic.gov.au](http://manningham.vic.gov.au)

**聰明步行者 聰明旅行家**  
**3月14, 21及28日(周四)**  
**10:00am 至 12:30 pm**  
 「聰明步行者 聰明旅行家」是一個為新晉跑者提供活動及有信心地旅行的長者們，提供的三節課程，介紹一系列交通運輸的選擇。  
 這課程在萬年南市政廳舉行，包括了步行、自行車、電動車、計程車、社區交通、運輸服務、Bike 及其他等等。  
 Manningham Function Centre, 699 Doncaster Road Doncaster  
 請預訂座位  
 9846 0537

**請就 Waldau 管理區發展計劃初稿表達你的意見**  
 諮詢將於3月4日(周一)5:00 pm 結束。我們現正對於在Doncaster區內Waldau管理區提出一些改善計劃。  
 請查看計劃的初稿，並發表你的意見。請在以下網站找出更詳細資料：  
 請來及與我們查詢：  
[yoursaymanningham.com.au/waldau-precinct](http://yoursaymanningham.com.au/waldau-precinct)  
 可在2月23日10:30 am - 中午12時 在Raffley Lake Park於Victoria Street 1號廣場的

**萬年興公民獎**  
 2019年度萬年興公民獎頒獎典禮受禮名，包括：  
 一年度公民獎  
 一年度年青公民獎  
 一年度義工獎  
 一年度體育成就獎  
 社區貢獻獎  
[manningham.vic.gov.au/civic-awards](http://manningham.vic.gov.au/civic-awards)

**2019年社區撥款計劃**  
**申請將於3月10日(周日)**  
**5:00 pm 截止**  
 萬年興社區撥款計劃現正開始申請。我們誠意邀請為本區提供活動及裨益本地社區的組織及機構申請。今年有四個可供申請：  
 一 社區發展  
 一 藝術與文化  
 一 小區康樂  
 一 社區合作  
 為協助你準備申請，我們特別諮詢時間及撥款申請工作坊，報名可登陸：  
[manningham.vic.gov.au/grants](http://manningham.vic.gov.au/grants)

**活得更精明—享受低垃圾生活的秘訣**  
**3月13日(周三) 7:00 pm - 9:00 pm**  
 對於矢志過低垃圾生活的戰士來說，生日派對、嬰兒淋浴、婚禮、宗教慶典是新年，總是一個極大的挑戰。你可以從委實本的Rogue Ginger 這些最好的專家們，學習計劃對親家人及朋友們訂立及開始低垃圾生活的討論。  
 Eric Rhoads 是The Rogue Ginger 澳洲最普及的環保生活網站的幕後推手，她從2012 年開始，將下她個人如何減少塑膠及垃圾，過一個快樂及健康的生活，與讀者分享心得。  
 Box Hill Town Hall, 1022 Whitehorse Road, Box Hill  
 \$ 免費  
 請預訂座位  
[manningham.vic.gov.au/lmarter-living-secrets-to-low-waste-celebrations](http://manningham.vic.gov.au/lmarter-living-secrets-to-low-waste-celebrations)



**Media release issued 7 February**

[www.manningham.vic.gov.au/have-your-say-on-improvements-for-the-waldau-precinct](http://www.manningham.vic.gov.au/have-your-say-on-improvements-for-the-waldau-precinct)

### Have your say on improvements for the Waldau Precinct

8 February 2019

Manningham Council is seeking feedback on its draft masterplan for one of Manningham's most loved recreational areas, the Waldau Precinct in the Doncaster area.

The precinct includes a number of attractions such as Rieschiecks Reserve, including the Schramm's Cottage Museum Complex, and part of Ruffey Lake Park. The draft masterplan proposes a series of improvements to better integrate the attractions in this local area.

Some of the features proposed include:

- a new visitor centre next to the Schramm's Cottage Museum Complex for heritage displays, to host meetings, do research, store archives and more
- upgraded playspace elements and a new café at the popular Ruffey Lake Park playground on Victoria Street
- better pedestrian links and car parking access as well as new signage showcasing the area's heritage.

An upgrade of the sports pavilion at Rieschiecks Reserve is also planned to improve the facilities, change rooms and public toilets.

Manningham Mayor, Cr Paula Piccinini, said the area is one of Manningham's most loved recreational areas and includes some wonderful hidden gems.

"Featuring Ruffey Lake Park's Victoria Street Playground, the historic Schramm's Cottage and Rieschiecks Reserve, including the cricket ground, the Waldau Precinct is a popular area of Manningham. We want to improve the experience for residents and visitors.

"I encourage everyone to have their say on the draft masterplan and the key features that are proposed," Cr Piccinini said.

**Have your say**

To have your say on the Draft Waldau Precinct Masterplan, visit [yoursaymanningham.com.au/waldau-precinct](http://yoursaymanningham.com.au/waldau-precinct)

To discuss what's proposed with Council officers, come along to one of the following sessions at the Ruffey Lake Park Victoria Street Playground:

- Thursday 14 February, 3.30pm to 5.30pm
- Saturday 23 February, 10.30am to 12noon

Consultation closes on Monday 4 March 2019.

100 WALDAU CONSULTATION SUMMARY

Story published in Manningham Leader, 25 February, page 7

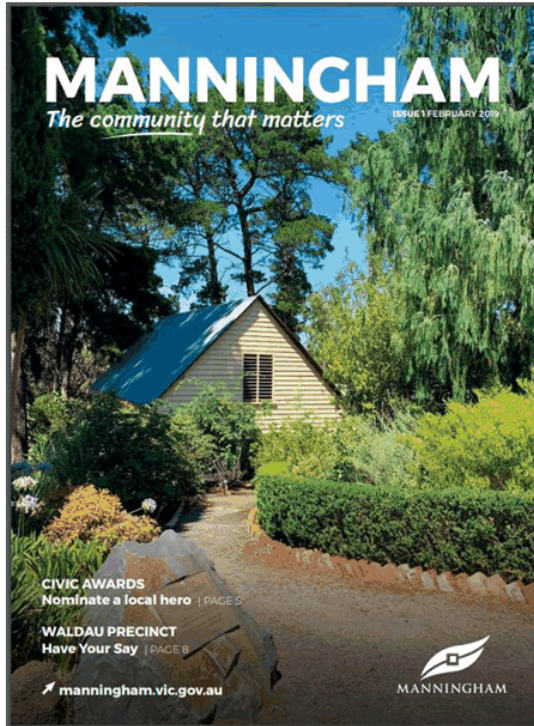
[leader.smedia.com.au/manningham](http://leader.smedia.com.au/manningham)

**WALDAU PLANS**

Manningham Council is seeking feedback on its draft masterplan for Doncaster's Waldau Precinct. The precinct includes a number of attractions such as Rieschiecks Reserve, including the Schramm's Cottage museum complex, and a part of Ruffey Lake Park. The draft masterplan proposes a series of improvements to better integrate the attractions in the area. The proposals include a visitor centre and an upgraded play area. To have your say by March 4, visit [yoursaymanningham.com.au/waldau-precinct](http://yoursaymanningham.com.au/waldau-precinct)



Manningham Matters, Issue 1 February 2019



## Have your say on our Waldau Precinct Masterplan

Exciting plans are underway to improve one of Manningham's most loved recreational areas, known as the Waldau Precinct in the Doncaster area.

The precinct has many hidden treasures and heritage features such as Schramm's Cottage and a history of German settlement dating back to the 1800s. We would like to better integrate the area's attractions.

We have developed a draft Masterplan which outlines a number of proposed improvements and we want to hear from you.

- Proposed improvements include:
- a new building at the Schramm's Cottage Museum Complex to hold meetings, conduct research, store archives, set up displays and host tours
  - better pedestrian links and car parking to improve access
  - upgraded playspace elements and a cafe at the popular Ruffey Lake Park playground on Victoria Street
  - new signage showcasing Manningham's cultural heritage.
- Your feedback will help to inform the final Waldau Precinct Masterplan.



- Schramm's Cottage Museum Complex**  
Upgrades are proposed for the paths, signage and security around the cottage. The boundary fence of this site is to be removed once the proposed visitor centre is constructed.
- New visitor centre**  
A new multipurpose visitor centre building is proposed, including meeting and research spaces as well as accessible public toilets.
- New cafe**  
A small cafe (100m<sup>2</sup>) is proposed at Ruffey Lake Park with outdoor seating areas.
- Waldau Cemetery paths**  
Path improvements are proposed to better define the cemetery area. The existing Atkins Cottage and Sloyd Room are proposed to be relocated within the precinct.
- Plant tree wind break**  
The remnant one tree wind break is to be retained and protected.
- Improving the Muriel Drive entry**  
The entrance at Muriel Drive will be realigned to improve safety and access and may include an automated gate.
- Car park improvements**  
All car parks will have adequate and accessible parking spaces in line with Australian Standards. The car park on the corner of George and Victoria streets will be sealed and line marked.
- Improving pedestrian connectivity**  
New paths to improve connectivity for pedestrians throughout the precinct.
- Relocating Kevin Heinze GROW**  
Relocate Kevin Heinze GROW from its existing Wetherby Road location to the Victoria Street Pavilion. This space is to be shared with the Doncaster East Scouts, The Doncaster Athletics Club is to relocate from Victoria Street to the Rieschlecks Reserve Pavilion.
- Rieschlecks Reserve Pavilion upgrade**  
Upgrade pavilion facilities to improve the floor plan, storage, canteen facilities, social area, change rooms and accessibility of public toilets.
- New signalised pedestrian crossing**  
Create a new pedestrian crossing to better connect Ruffey Lake Park and the Schramm's Cottage Museum Complex. This proposal is subject to VicRoads approval.
- Upgrade play equipment at Victoria Street Playground**  
A major upgrade of the play equipment within this popular playground.
- Upgrade playground at Rieschlecks Reserve**  
Upgrade Owens Playspace with new equipment and a heritage theme to tie in with the nearby Schramm's Cottage Museum Complex.
- Ruffey Lake Park Quarry**  
Upgrade signage around the existing quarry site.
- New path connection**  
Create a new path from the Ruffey Lake Park bus stop to the Victoria Street Playground.
- New signage**  
New heritage information signage is proposed throughout the precinct. This includes an upgrade of the existing Ruffey Lake Park Heritage Trail.



**HAVE YOUR SAY**

🗣️ [yoursaymanningham.com.au/waldu-precinct](http://yoursaymanningham.com.au/waldu-precinct)

Consultation closes at 5.00pm on Monday 4 March.

COMMUNITY





Facebook sponsored post

 **Manningham Council** Sponsored · 🌐

We're proposing some improvements around Ruffey Lake Park, Schramm's Cottage and Rieschiecks Reserve and we want to hear from you.

These include a new café, visitor centre, playspace upgrades and path improvements.

View the draft masterplan and have your say on our website:  
[www.yoursaymanningham.com.au/waldau-precinct](http://www.yoursaymanningham.com.au/waldau-precinct)




**Manningham Council**  
 Government organisation

Learn More

👍❤️ 63      30 comments   5 shares


👍 Like    💬 Comment    ➦ Share

Facebook boosted post

 **Manningham Council is at Manningham Council.** Sponsored · 🌐

We are proposing some improvements to the Waldau Precinct in the Doncaster area.

Visit our website to view the draft masterplan and have your say:  
[www.yoursaymanningham.com.au/waldau-precinct](http://www.yoursaymanningham.com.au/waldau-precinct)



SEND MESSAGE

👍❤️ 30      22 comments   6 shares


👍 Like    💬 Comment    ➦ Share

Facebook posts

**Manningham Council** is at Manningham Council.   
 4 February · Doncaster, VIC · 🌐

We are proposing some improvements to the Waldau Precinct in the Doncaster area.

Visit our website to view the draft masterplan and have your say:   
[www.yoursaymanningham.com.au/waldau-precinct](http://www.yoursaymanningham.com.au/waldau-precinct)




**Draft Waldau Precinct Masterplan — Have your say** Send Message

👍 30    12 Comments    6 shares    3.2K views

Like    Comment    Share

**Manningham Council** shared an event — at Ruffey Lake Park   
 6 February · Malvern, VIC · 🌐

Come and chat to us at Ruffey Lake Park, Victoria Street Playground. We'll be there on Thursday 14 February and Saturday 23 February.



SAT, 23 FEB   
**Draft Waldau Precinct Masterplan - Come and chat to us** Interested

18 people interested

👍 7    1 Comment


Like    Comment

Newest ▾

Write a comment...   
 Press Enter to post.

**Manningham Council** shared an event.   
 14 February · 🌐

Come and chat to us this afternoon and give us your feedback on the draft Waldau Precinct masterplan. We'll be at the Ruffey Lake park Victoria Street Playground from 3.30 to 5.30pm.



THU, 14 FEB   
**Draft Waldau Precinct Masterplan - Come and chat to us** Interested

7 people interested

👍 1    1 Comment

Like    Comment


Newest ▾

Write a comment...   
 Press Enter to post.

Facebook posts

Manningham Council shared an event.  
February 20 · 🌐

Come and chat to us this Saturday at Ruffey Lake Park.  
Have your say on what's proposed and enjoy a free ☕ from our coffee cart.




**SAT, FEB 23**  
**Draft Waldau Precinct Masterplan - Come and chat to us**  
7 people interested

★ Interested

👍 Like    💬 Comment

Facebook event posts



**Draft Waldau Precinct Masterplan - Come and chat to us**  
Public · 2 instances · 18 people · by Manningham Council

Select a date and time

THU, FEB 14 3:30 PM    SAT, FEB 23 10:30 AM

★ Interested    ✓ Going


👤 1 Went · 7 Interested · 2 Shares

🕒 Thursday, February 14, 2019 at 3:30 PM – 5:30 PM  
about 1 month ago

📍 Ruffey Lake Park Victoria Street Playground, 99 Victoria Street, Templestowe. [Show Map](#)

About    Discussion

18 Interested  
Share this event with your friends



**Draft Waldau Precinct Masterplan - Come and chat to us**  
Public · 2 instances · 18 people · by Manningham Council

Select a date and time

THU, FEB 14 3:30 PM    SAT, FEB 23 10:30 AM

★ Interested    ✓ Going

👤 2 Went · 7 Interested · 1 Share

🕒 Saturday, February 23, 2019 at 10:30 AM – 12 PM  
about 3 weeks ago

📍 Ruffey Lake Park Victoria Street Playground, 99 Victoria Street, Templestowe. [Show Map](#)

About    Discussion

18 Interested  
Share this event with your friends

Facebook statistics from boosted and paid adverts

Ad name	Budget <small>Ad set</small>	Last significant edit <small>Ad set</small>	Results	Reach	Impressions	Cost per result	Amount spent	Ends	Relevance score	3-second video views	Video percentage watched	Video average watch time
 Waldau Engagement	Using camp...	—	347 Post Engag...	3,255	5,908	\$0.14 Per Post Enga...	\$50.00	3 Mar 2019	10	—	—	—
 Post: "We are proposing some improvements to th..."	\$100.00 Lifetime	—	592 10-second v...	1,592	7,985	\$0.17 Per 10-second ...	\$100.00	13 Feb 2019	2	1,988	10.32%	00:03
» Results from 2 ads ⓘ			—	4,843 People	13,893 Total	—	\$150.00 Total Spent			1,988 Total	10.32% Average	00:03 Average

To view the comments, likes, shares etc. and details of each post, see:

- Video post (including boost): <https://www.facebook.com/280172648678857/posts/2483762244986542>
- Photo advert: <https://www.facebook.com/280172648678857/posts/2512161522146614>



## Contact Details

Council's Urban Design Team 9840 9333  
[www.manningham.vic.gov.au](http://www.manningham.vic.gov.au)



## 10.2 Local Government Power Purchasing Agreement (LG PPA)

File Number: IN19/342  
Responsible Director: Director City Services  
Attachments: Nil

### EXECUTIVE SUMMARY

*The purpose of this report is to twofold. Firstly, to provide an update on the Local Government Power Purchase Agreement (LG PPA) project. Secondly, to seek delegation from Council to the Chief Executive Officer to determine the percentage of electricity that may potentially be purchased through this scheme for the purpose of progressing discussions on Council's participation in the scheme.*

*There are 39 Victorian local governments participating in the LG PPA project, including Manningham. The project is proposing to utilise the combined group buying power to enter a long term contract for renewable energy from 2020/21.*

*Energy consultants, Energetics, acting on behalf of all 39 councils, have delivered a detailed Business Case. To assist with the evaluation of the Business Case, Manningham Council has appointed an independent consultant, who will evaluate the LG PPA Business Case in light of Manningham Council's electricity profile and priorities.*

*In July 2019, it is intended that a report be submitted to Council. The Council report, informed by the independent evaluation, will summarise the findings and recommendations. At this time, a decision will be sought from councillors on whether, or not, to proceed to the next stage of the project – the joint tendering and procurement of a renewable energy PPA.*

*In particular for Manningham Council, a LG PPA has the potential to improve Manningham Council's energy sustainability, achieve its 2020 emissions reduction target and reduce the risk that volatile and rising electricity prices pose.*

### COUNCIL RESOLUTION

**MOVED: CR MIKE ZAFIROPOULOS**  
**SECONDED: CR MICHELLE KLEINERT**

**That Council:**

- A. note the participation in the Local Government Purchasing Power Agreement (LG PPA) Business Case, which has the potential to deliver competitively priced wind and/or solar generated electricity to Manningham Council and that the Business Case will be assessed by independent consultants.**
- B. note the intention to present a report to the 23 July 2019 Council meeting on the Business Case findings and recommendations, to consider whether or not to proceed to the next stage of participating in the joint tendering and procurement of a renewable energy PPA.**



- C. for the purpose of progressing discussions on Council's participation in the proposed LG PPA, delegate authority to the Chief Executive Officer to determine the percentage of Council's electricity that may be purchased through this scheme if Council chooses to proceed.**

**CARRIED**

## **2. BACKGROUND**

- 2.1 It is likely that there will be ongoing volatility in electricity prices. In addition, many organisations, including Manningham, are committed to reducing greenhouse gas emissions that lead to climate change. To address these issues, an increasing number of public and private sector organisations are adopting a new electricity procurement approach for renewable energy called Power Purchase Agreements (PPAs).
- 2.2 PPAs are traditionally the preserve of energy retailers, who contract electricity supply from electricity generators. Now, organisations who are not energy retailers are increasingly embracing this approach as a way to address price volatility and emission reduction imperatives.
- 2.3 Energy sustainability consultants, Energetics, track the rising popularity of PPAs (see [energetics.com.au/insights/knowledge-centres/corporate-renewable-ppa-deal-tracker](http://energetics.com.au/insights/knowledge-centres/corporate-renewable-ppa-deal-tracker)). They observe that nearly 3000 megawatts (MW) of combined generation capacity has so far been supported. The likes of Mars Confectionary and Sydney Airport have instituted PPAs.
- 2.4 Notably two joint procurement groups led by local governments have also instituted PPAs, as outlined in the following paragraphs.

### Melbourne Renewable Energy Project (MREP)

- 2.5 Led by Melbourne Council, the consortium includes a diverse range of organisations:
- Port Phillip, Yarra and Moreland Councils
  - University of Melbourne, RMIT
  - National Australia Bank, Bank Australia
  - Federation Square, Melbourne Convention and Exhibition Centre
  - Australia Post, Zoos Victoria, Citywide
  - NEXTDC
- 2.6 The MREP consortium entered into a PPA to buy a total of 88 megawatt-hours (MWh) of electricity annually for the next 10 years, at an undisclosed price from wind energy provider Pacific Hydro. This volume of electricity equates to about one-third of the output of the 'Crowlands' wind farm, now in construction by Pacific Hydro. Crowlands is located near Ararat, north-west of Melbourne.
- 2.7 Each consortium member has committed to a fixed percentage of their total electricity requirement to be met through the PPA. Notably, Yarra and Melbourne Councils have each committed to 100% of their electricity requirements to be met for the whole 10 year PPA period.



Southern Sydney Regional Organisation of Councils (SSROC)

- 2.8 The SSROC PPA brings together 18 urban councils to buy electricity from the Moree solar farm north of Sydney. It is estimated the councils would have up to 35% of their electricity requirements met over the lifetime of PPA to year 2030.

**3. DISCUSSION / ISSUE**

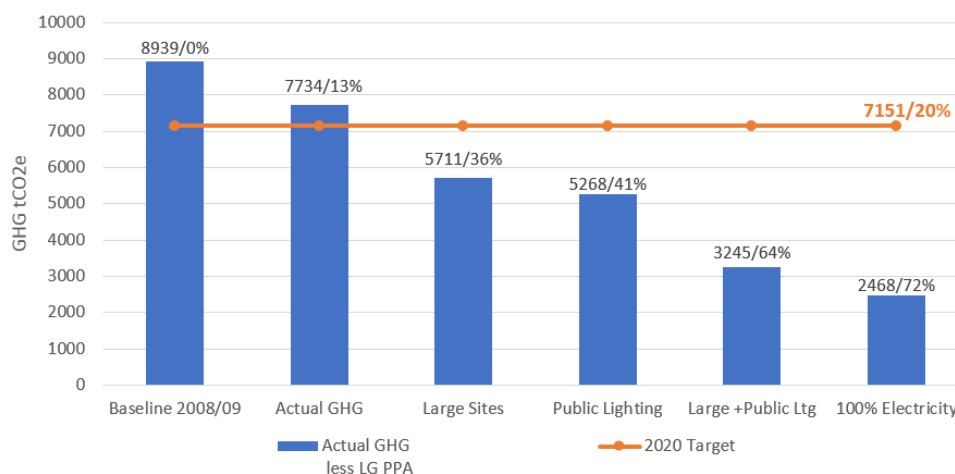
- 3.1 Council building roof-top solar and energy efficiency are typically the most cost-effective approaches for councils to mitigate against electricity price increases. Manningham Council has already implemented, and will continue to develop, a range of roof-top solar and energy efficiency projects.
- 3.2 However, there are limits to these approaches. For example, installing solar on all suitable rooftops is likely to only meet about a quarter of total electricity requirements for all buildings combined.
- 3.3 Other approaches will be needed to achieve Council's emissions reduction target. Manningham Council seeks to decarbonise the grid electricity supply, for example, through offsite renewable generation, and this is where PPAs can play a significant role. Wind or solar are the leading renewable generation options.
- 3.4 Giving consideration to entering into a renewable energy PPA is in line with the Council Plan and other policies. Under the 'Resilient Environment' theme in the Council Plan 2017-2021, there is a goal to 'reduce our environmental impact and adapt to climate change'. Consistent with this goal, Council has a Climate 2020 Action Plan that seeks to reduce energy use and greenhouse gas emissions. In this plan, Council has committed to reduce its emissions by 20% below 2008/09 levels by year 2020. This is typically referred to as Council's Climate 2020 target for greenhouse emissions reduction when compared with a 2008/09 baseline year.
- 3.5 In October 2018, with Chief Executive Officer's confirmation, Manningham Council joined a collaborative effort to develop a business case for a LG PPA with 38 other councils and Victorian Greenhouse Alliances, including the Northern Alliance for Greenhouse Action, which includes Manningham as a member. Darebin Council is the lead council for the project, and they engaged energy consultants, Energetics, to develop the Business Case.
- 3.6 The LG PPA project is combining the group's buying power to enter a long term contract for renewable energy from 2020/21.
- 3.7 The project's Business Case was completed on the 10<sup>th</sup> May 2019. Manningham Council has appointed an independent consultant to evaluate the Business Case in light of Manningham's Council's electricity profile and priorities.
- 3.8 The electricity sector splits all accounts into three categories – Public Lighting (unmetered), Large Sites and Small Sites. The table below shows Manningham Council's electricity use split into these three categories. The table shows that Large Sites are responsible for 38% of Manningham Councils electricity use and Public Lighting 47% of total electricity consumed.

Scenario	% Electricity
Business As Usual (BAU)	0%
Large Sites	38%
Public Lighting (PL)	47%
Small Sites	15%
PL + Large Sites + Small Sites	100%

3.9 If Manningham Council decides to purchase part or all of its electricity through this renewable energy PPA, it will achieve its Climate 2020 target emissions level as shown in the graph below. However, any emission reductions resulting from LG PPA electricity use would not be reflected in Council’s actual emissions figure until 2021 and beyond.

3.10 The chart below shows the FY2008/2009 baseline emissions (8939 tCO<sub>2</sub>e), the current actual greenhouse emissions for Council operations (7734 tCO<sub>2</sub>e), and then the impact if electricity was purchased through the LG PPA procurement process for Large Sites, Public Lighting and Small Sites (not depicted). The percentage figures indicate the emissions reduction when compared with the baseline year of 2008/09. For example, using LG PPA electricity to power our public lighting will result in a 41% emission reduction when compared with the baseline year.

LG PPA & Climate 2020 Target



3.11 Manningham Council has used the Municipal Association of Victoria (MAV) as joint procurement agents for current electricity supply contracts that are in place until 31<sup>st</sup> December 2020. This electricity supply is mostly from standard coal-fired electricity. MAV has indicated an interest in acting as the procurement agent for this LG PPA.

3.12 Market research in mid-2018 compared the electricity prices in these contracts with prices that could be available through a renewable energy PPA. The indications are that the PPA prices, which are for renewable energy, will be competitive and potentially even less expensive than the current contract prices

for coal-fired electricity. As a bonus, the pricing for electricity purchased through a renewable energy PPA includes the associated greenhouse savings.

- 3.13 Collaboration through large joint procurement groups captures economies of scale and implementation efficiencies, as already demonstrated by Council's participation in MAV and PA joint procurement groups.
- 3.14 The PPA development process is essentially the same as the standard energy procurement process, and can occur in parallel with the MAV process for the next round of energy contracts.
- 3.15 The internal working group consists of senior representatives from assets and engineering, finance, procurement and environment. The working group has initiated a consultancy to undertake an independent assessment of the LG PPA Business Case in light of Manningham's specific electricity profile and priorities. A number of scenarios will be investigated (refer table below), along with associated benefits and risks.

Scenario	% LG PPA Electricity
Business As Usual (BAU)	0%
Large Sites	38%
Public Lighting (PL)	47%
Large Sites + Public Lighting	85%
100% electricity accounts	100%

- 3.16 The internal working group will then present their report, findings and recommendations to the executive management team. It is proposed that the CEO will then determine the amount of electricity to be purchased through the LG PPA, which could range from 0% through to 100%.

#### 4. COUNCIL PLAN / STRATEGY

- 4.1 The Annual Environment Report relates to the following Council Plan 2017-2021 goals under the Resilient Environment theme:
- Goal 3.1 - Protect and enhance our environment and biodiversity
  - Goal 3.2 - Reduce our environmental impact and adapt to climate change
- 4.2 With the Action areas:
- Optimise the management of our energy, waste and water.
  - Demonstrate leadership in sustainable and innovative environmental practices.
- 4.3 In addition the Climate 2020 Action Plan (2009) sets a Climate 2020 target of 20% reduction in greenhouse emissions for Council operations by 2020 when compared with the baseline year of 2008/09.

## 5. IMPACTS AND IMPLICATIONS

- 5.1 A PPA has the potential to deliver electricity to Manningham Council that is free of greenhouse emissions at a price that is comparable with or more affordable than currently contracted electricity supply that is sourced from emission-intense coal-fired generation.
- 5.2 GreenPower is no longer purchased by council due to steep price increases over the past several years having led to a doubling in price (from approx. \$39 /MWh to \$75-\$92 /MWh). When the GreenPower premium is added to the base cost of coal-generated electricity (under current contract \$105-\$111 /MWh) the price of emission free electricity is nearly doubled (to \$180-\$203 /MWh). Whereas a Renewable Energy PPA has the potential to deliver emission free electricity for \$65-\$95 /MWh (bundled energy and certificates/LGCs). (regional, social, economic, environmental, legal, customer and community, human rights)

## 6. IMPLEMENTATION

### Finance / Resource Implications

- 6.1 A \$10,000 contribution was required to participate in the PPA business case development process which has been funded from Council's 2018/19 Environment budget allocation.
- 6.2 In-kind support of the Senior ESD Planner Faye Adams has been required.

### Communication and Engagement

- 6.3 There is no communication and engagement required.

### Timelines

#	Description	Dates
1	LG PPA Business Case completed	10 May 2019
2	Independent Assessment	May 2019
3	Working Group develop report on the LG PPA Business Case - findings and recommendations	June 2019
4	Direction and decision sought from Council <ul style="list-style-type: none"> <li>○ Note findings and recommendations of Working Group Report into the LG PPA Business Case</li> <li>○ Yes/No decision to proceed to next stage – Joint Procurement by Tender</li> </ul>	SBS 2 July 2019  Council 23 July 2019

## 7. DECLARATIONS OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.

**11 CITY SERVICES**

Nil

**12 SHARED SERVICES**

Nil

## 13 CHIEF EXECUTIVE OFFICER

### 13.1 Manningham Quarterly Report, Q3 (Jan-March) 2019

File Number: IN19/341  
Responsible Director: Chief Executive Officer  
Attachments: 1 Manningham Quarterly Report, Q3 (Jan - March) 2019 [↓](#)

#### EXECUTIVE SUMMARY

*The Manningham Quarterly Report outlines key organisational indicators and many of the reporting requirements under the Local Government Performance Reporting Framework (LGPRF). The report also enables greater transparency to monitor and track key aspects of Council's performance for continuous improvement purposes.*

#### COUNCIL RESOLUTION

**MOVED: CR DOT HAYNES**  
**SECONDED: CR MICHELLE KLEINERT**

**That Council note the Quarterly Report for 1 January – 31 March 2019.**

**CARRIED**

## 2. BACKGROUND

This report is developed on a quarterly basis to promote transparency and meet legislative requirements under the Local Government Act (1989), Planning and Reporting Regulations (2008) and the LGPRF.

## 3. DISCUSSION / ISSUE

### Capital Works

- 3.1.1 At quarter end, 50.3% of the total adopted budget and 45.4% of the mid- year review budget allocation has been delivered (on ground value). Compared to the end-of-year forecast, 56.8% of the total program allocation has been completed.
- 3.1.2 The value of works completed is \$17.93m. Key projects completed for the quarter include 130.6km of road resealing and the Manningham SES Building extension.
- 3.1.3 Some projects have been delayed, totalling \$9.37m. Internal and external contributing factors include the effects of an organisational restructure, a shortage in contractor availability and some cultural heritage/planning approval delays.

3.1.4 To minimise the impact, a number of projects have been brought forward from Year 2 of the program. We are also focussing on the delivery of the delayed projects in next year's program. Road re-sheeting, footpaths and kerb and channel works have all been accelerated in the current year.

### Finance

3.1.5 As at the end of March the operating surplus (income less expenses) is \$0.3 million or 0.7% above MYR target. The variance primarily relates to higher than budgeted operating grants and savings in employee costs as a result of high level of vacancies. Depreciation (non-cash) is higher than budget following annual revaluation of buildings at the end of 2017/18.

3.1.6 The March result indicates that Council is on track to achieve year end forecasts which will be on public exhibition as part of the 2019/20 Budget.

### Corporate Performance

3.1.7 Statutory Planning:

- A large number of planning applications have been received over the previous three quarters. This has resulted in a slight increase to the median processing time. Officers are working hard to stabilise the result and are introducing continuous improvements to assist in the timely processing of applications.
- The CEO KPI for a 10% improvement from 2017/18 in *decisions made within 60 days* is on track; currently at 72 days (*target 69*).

3.1.8 Major Initiatives

- 13 of the 14 Major Initiatives are on track to meet the 2018/19 performance measure. Bolin Bolin has a measure of 'ongoing maintenance and management delivered to meet performance indicators'. Although practical completion of the Facility has been achieved, inspections and maintenance services are managed on an as-needs basis. Quotes for a more permanent arrangement will be sought in Quarter 4.

### Councillor Expenses

3.1.1 Cr Chen's car mileage was reported incorrectly as \$0 last quarter. The error has been corrected this quarter by including the \$651.28 from Quarter 2 into the Quarter 3 total of \$908.

### CEO Key Performance Indicators (KPIs)

3.1.2 The KPIs were approved in February 2019 following the appointment of Andrew Day. The majority of KPIs are to be completed by the end of the financial year. Current status is 9 KPIs complete, 20 KPIs on track and 2 KPIs are off track (capital works as detailed earlier in this report).



**4. COUNCIL PLAN / STRATEGY****Spotlight: Integrated Transport Major Initiative**

4.1.1 Transport was the 6th top priority in the 1000s of voices community consultation, held to inform the Council Plan and Healthy City Strategy 2017-21. The spotlight focuses on Council's pursuit of positive transport and other outcomes in the North East Link advocacy.

**5. DECLARATIONS OF CONFLICT OF INTEREST**

No Officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.








# Manningham

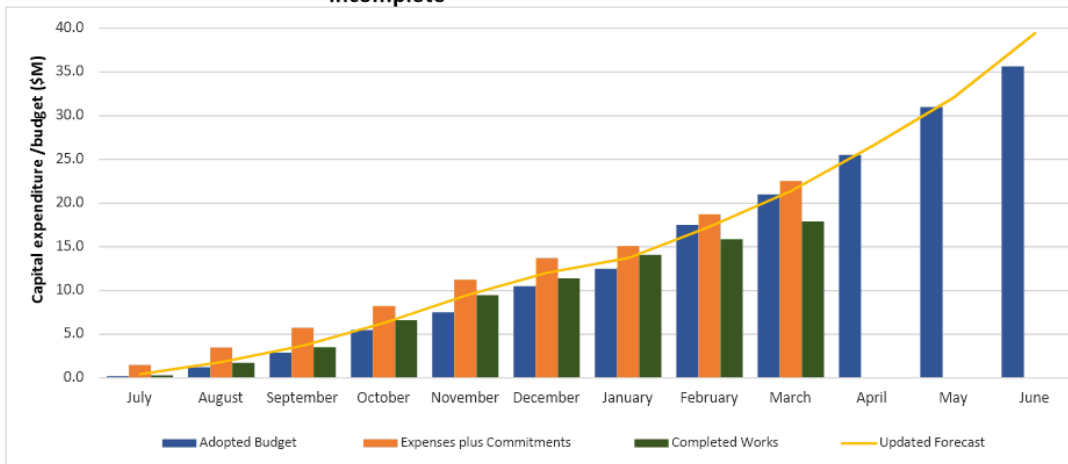
## Quarterly Report 2018/19

### Quarter 3: January - March 2019

## 1. Capital Works

\$35.66	Adopted Budget
\$3.77	Extra Funds
-\$9.37	Delayed Projects
<b>\$30.06 m</b>	<b>Updated Forecast</b>

					
<b>79</b>	<b>13</b>	<b>22</b>	<b>38</b>	<b>6</b>	<b>50.3%</b>
Projects Total	Projects Completed	Projects Delayed / Incomplete	Projects On Schedule	Projects To Start	Program Completed



**VALUE OF CAPITAL WORKS**  
**\$17.93m**

**CAPITAL WORKS VARIANCE**  
**\$0.80m** ↓4.3%

**CAPITAL INCOME & GRANTS**  
**↓14.4%**

### Spotlight

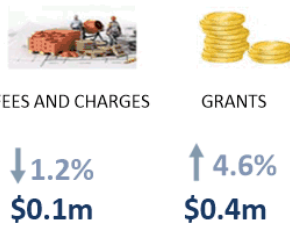
- At quarter end, 50.3% of the total adopted budget and 45.4% of the mid-year review budget allocation has been delivered (on ground value). Compared to the end-of-year forecast, 56.8% of the total program allocation has been completed.
- The value of works completed is \$17.93m. Key projects completed for the quarter include 130.6km of road resealing and the Manningham SES Building extension.
- Some projects have been delayed, totalling \$9.37m. Internal and external contributing factors include the effects of an organisational restructure, a shortage in contractor availability and some cultural heritage/planning approval delays.
- To minimise the impact, a number of projects have been brought forward from Year 2 of the program. We are also focussing on the delivery of the delayed projects in next year's program. Road re-sheeting, footpaths and kerb and channel works have all been accelerated in the current year.

## 2. Finance

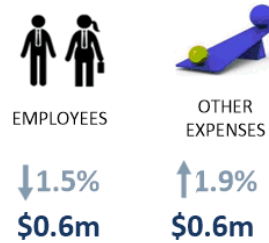
	Revenue	Expenses	Surplus
Budgeted *	\$133.9m	\$92.3m	\$41.6m
Actual	\$134.2m	\$92.3m	\$41.9m

\* Mid-Year Review Budget

### Revenue Variation

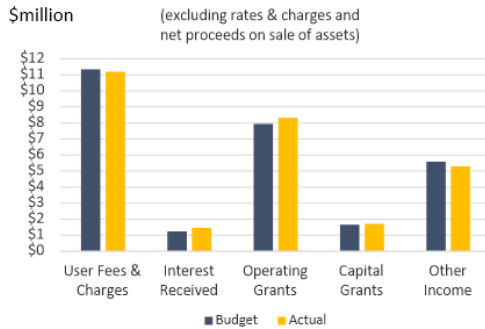


### Expenses Variation

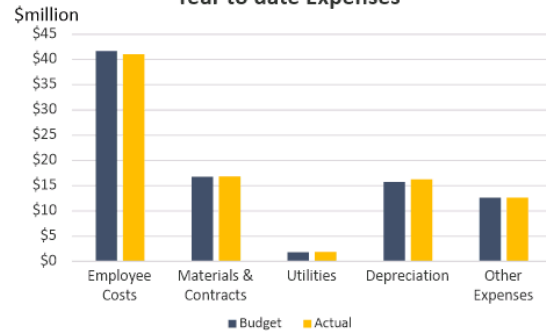


### Year to date Revenues

(excluding rates & charges and net proceeds on sale of assets)

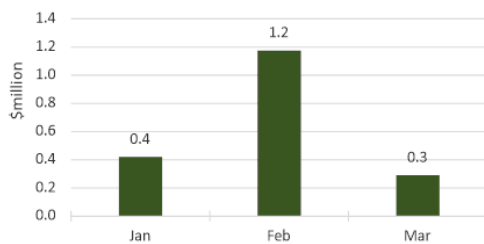


### Year to date Expenses



### Operating Result (Quarter)

Year to date variance to Budget



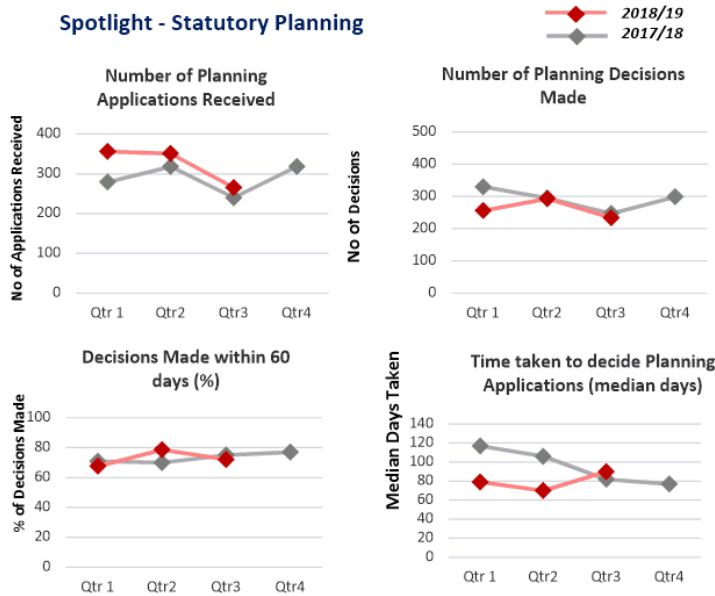
### Spotlight



- As at the end of March the operating surplus (income less expenses) is \$0.3m or 0.7% above mid year review target.
- The variance primarily relates to higher than budgeted operating grants and savings in employee costs as a result of high level of vacancies. Depreciation (non-cash) is higher than budget following annual revaluation of buildings at the end of 2017/18.
- The March result indicates that Council is on track to achieve year end forecasts which will be on public exhibition as part of the 2019/20 Budget.

# 3. Corporate Performance

## Spotlight - Statutory Planning

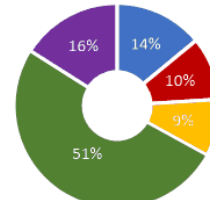


## Organisation Performance

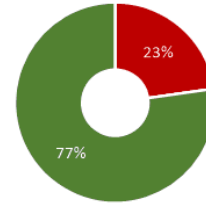
### Progress during the Quarter



### Action Performance



### KPI Performance



Council is within target to deliver 90.0% of

### Statutory Planning

A large number of planning applications have been received over the previous three quarters. To retain high quality community consultation and amenable outcomes for the municipality, a slight increase to the median processing time has resulted. We are working hard to stabilise the result and are introducing continuous improvements to assist in the timely processing of applications.

### Council Plan 2017-2021

The Manningham Council Plan has five themes: Healthy Community, Liveable Places and Spaces, Resilient Environment, Prosperous and Vibrant Economy and Well Governed Council. Goals for each theme were developed in consultation with the community, Councillors and council staff. We progress these goals through actions and initiatives each year. Major Initiatives are significant pieces of work in delivering on the Council Plan.

### Progress on Major Initiatives

Major Initiatives are delivered over the four years of the Council Plan, with new milestones created when one is completed. In most cases, we aim for 25% progress each quarter to build to 100% completion across the 4 quarters of the year. For Quarter 3, 13 of 14 Major Initiatives have reached the expected 75% completion. The exception is Bolin Bolin Integrated Water Management Facility. Although practical completion of the Facility has been achieved, inspections and maintenance services are managed on an as-needs basis. Quotes for a more permanent arrangement will be sought in Quarter 4 to deliver the project back on track.

### Major Initiative: Integrated Transport

Plans for a new Transport Strategy were delayed by the announcement of the State Government's North East Link Project (NELP). Council is considered a stakeholder in the consultation process just like any other community member so all the final decisions on the Link are with NELP. Council is strongly advocating for positive local outcomes as identified by the community for the current Council Plan including:

- support community connections
- protect community recreation and sporting facilities
- promote and facilitate walking, cycling and public transport uptake
- maintain general amenity and minimise disturbance to existing residential and environmentally sensitive areas.



To progress Council's Integrated Transport Initiative, a two year Action Plan has been developed. The focus is to improve, manage and promote a well-integrated transport network, with an emphasis on sustainable options like walking, cycling and public transport.

All the 2018/19 initiatives are online at [manningham.vic.gov.au](http://manningham.vic.gov.au). You can also find details of progress and achievements from the Council Plan 2017-21 in the 2017/18 Manningham Annual Report.

# 4. Major Initiatives

**Progress Key**  
 Actual  
 Target

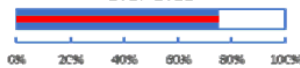
## HEALTHY COMMUNITY

### 1.1 A healthy, resilient and safe community

### 1.2 A connected and inclusive community



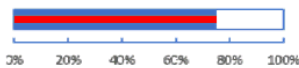
Healthy City Strategy 2017-2021



Parenting session 'Building Resilience with Andrew Fuller' sold out with 500 attendees. We are now looking to complete the 2017-19 Healthy City Action Plan and prepare the 2019-21 Action Plan



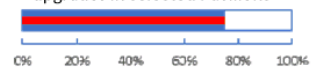
Access, Equity and Diversity



Honoured both Chinese and Persian New Years, supported Neighbour Day and Cultural Diversity Week. Fundraising for Limbs4Life with Women's Friendship Group on International Women's Day.



Deliver female friendly facility upgrades in selected Pavilions



Facilities completed at Donvale Reserve Pavilion #2, Park Reserve, Templestowe Reserve and Stintons Reserves. North East Link planning has delayed Bulleen Park Pavilion.

## LIVEABLE PLACES AND SPACES

### 2.1 Inviting places and spaces

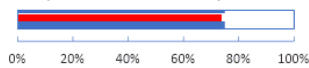
### 2.2 Enhanced parks, open space and streetscapes

### 2.3 Well connected, safe and accessible travel

### 2.4 Well utilised and maintained community infrastructure



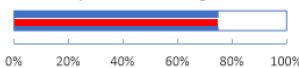
Ensure local planning is responsive to community need



Amendment C117 aims to provide guidance for assessing planning applications in the Green Wedge. Council endorsed the amendment (with changes) in February. It was sent to the Minister at this time for approval. Advice is expected in Q4.



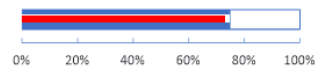
Implementation of Parks Improvement Program



Started Lawford Reserve upgrade to paths, playground and picnic area. Petty's Reserve design commenced. Consultation on Waldau Precinct Master Plan completed, and will also inform the Ruffey Lake Park Management Plan. Planning continues for completion of the Main Yarra River Trail to Warrandyte.



Roads Improvement Program



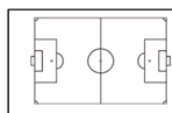
King Street: well progressed with footpath in stage 2B largely completed. Kerb and Channel nearing 50% completion for stage. Underground drainage at approximately 50% completion. Jumping Creek Road: stage 1A service relocation works underway, planning permit submitted. Stages 1B and 3 design progressing. Tender model being developed for future works allocation.



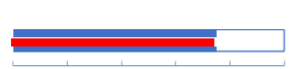
Integrated Transport



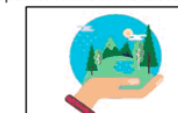
Advocating for introduction of bus service linking Pines Shopping Centre to Heidelberg Station via Reynolds Rd and Templestowe Rd. Plans for extension of Hepburn Rd from Walker St to Clay St (Doncaster Hill) to improve walking and cycling. Working with Major Road Projects Victoria on the planned improvements to Fitzsimons Lane.



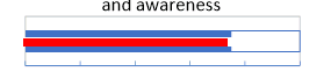
Mullum Mullum Stadium



Working continues with Manningham YMCA to increase utilisation of new multi-sport stadium. Achieving 71% peak use of stadium (up 16% from last quarter) and 75% off-peak use (up from 54% last quarter).



Environmental education and awareness



Successful delivery of community program included over 20 Nature Walks, Environment Seminars, Smarter Living and Waterwatch community events.

# Major Initiatives cont.

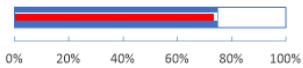
**Progress Key**  
█ Actual  
█ Target

## RESILIENT ENVIRONMENT

- 3.1 Protect and enhance our environment and biodiversity
- 3.2 Reduce our environmental impact and adapt to climate change



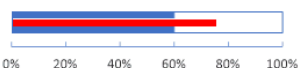
Upgrade Council Drainage



Design of Melbourne Hill Road remains on schedule for mid-2019. Preparing plans for essential drainage (60%) and land acquisition. Flood mitigation for Ringwood-Warrandyte Road Easement Drain and Amelia Crescent upgrades are complete.



Bolin Bolin Billabong Water Facility



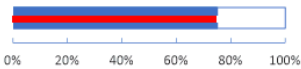
Working on Blue-Green Algae Management Plan. Updated water balance model prepared and additional planting to be arranged around Golf Course lake. Finalising defect rectification and award of contract for system maintenance and operations for 12 months.

## VIBRANT AND PROSPEROUS ECONOMY

- 4.1 Grow our local business, tourism and economy



Grow the visitor economy, destinations and events



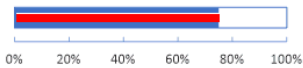
Progressing Tourism Priorities Plan through creation of a video and online campaign with a focus on friends and relatives visiting Manningham. Engaging journalists and social media influencers for campaign launch on 6 May 2019.

## WELL GOVERNED COUNCIL

- 5.1 A financially sustainable Council that manages resources effectively and efficiently
- 5.2 A Council that values citizens in all that we do



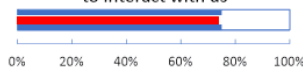
Long Term Sustainability



On track. Draft 10 year plan prepared and informed Annual Budget and 4 year Strategic Resource Plan. Proposed 2019/20 Budget adopted in principle and on public exhibition until late May.



Making it easier for citizens to interact with us



First Contact Resolution reached 71% for Q3 (75% in Q2). A Customer Relationship Management system (Phase 1) will be implemented in May. Customer research secured for April 2019 to inform our processes and practices.

**Key: Monitoring Progress**

Target █  
 Actual █

*\*Target is usually 25% cumulative across the project timeframe  
 In the example above, the project is 20% actual with a target of 35%*

## 5. Councillor Expenses

An allocation of \$12,455 for each Councillor and \$15,000 for the Mayor is budgeted annually to reimburse Councillors for expenses incurred while carrying out their roles.

Significant demands are placed on Councillors in carrying out their civic and statutory roles attending community meetings and events, capacity building and advocacy meetings in pursuit of the best outcomes for the municipality. The Mayor has a slightly higher allowance as they are required to carry out additional civic and ceremonial duties.

The Councillor Allowance and Support Policy guides the reimbursement of Councillor expenses. This budget is all inclusive and covers conferences and training, travel, child minding and information and communications technology expenses. As part of Council's commitment to remaining accountable and transparent, these expenses will be presented to the community each quarter.

Categories include: Travel, Car Mileage, Childcare, Information and Communication Technology, Conferences and Training (including professional development, workshops), General Office Expenses (including meeting incidentals), Formal Attendances (including community events and functions) and Other (publications).

**Quarter 3, January - March 2019**

Councillor	Travel	Car Mileage	Childcare	Information Communication Technology	Conferences & Training	General Office Expenses	Formal Attendances	Other	Total Qtr	Year to Date	Annual Allowance (Financial Year)
Cr A Chen (Deputy Mayor)	\$20	\$908*	\$0	\$0	\$845	\$0	\$0	\$0	\$1,773	\$2,706	\$12,455
Cr A Conlon	\$210	\$745	\$0	\$320	\$0	\$0	\$0	\$0	\$1,274	\$3,632	\$13,360*
Cr S Galbally	\$1,129	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,129	\$9,001	\$12,455
Cr G Gough	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,115	\$12,455
Cr D Haynes	\$161	\$562	\$0	\$180	\$0	\$0	\$175	\$0	\$1,078	\$5,747	\$12,455
Cr M Kleinert	\$638	\$0	\$0	\$273	\$0	\$242	\$147	\$0	\$1,300	\$4,656	\$12,455
Cr P McLeish	\$69	\$334	\$0	\$218	\$0	\$0	\$0	\$0	\$620	\$1,057	\$12,455
Cr P Piccinini (Mayor)	\$0	\$0	\$0	\$0	\$845	\$0	\$242	\$0	\$1,087	\$2,482	\$14,095*
Cr M Zafiroopoulos	\$57	\$0	\$0	\$273	\$0	\$0	\$185	\$16	\$531	\$7,362	\$12,455

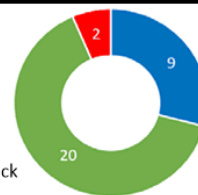
**Notes for the Quarter**

- Cr Chen's car mileage was reported incorrectly as \$0 last quarter. The \$908 includes car mileage expenses of \$651.29 from Q2 and \$256.71 from Q3.
- Minor adjustments to the allowances of Cr Piccinini and Cr Conlon reflect the change in Mayor from Cr Conlon to Cr Piccinini on 8 November 2018.



# 6. CEO Performance Indicators

All Measures are to be reached by 30 June 2019, unless otherwise stated.



● Complete   
 ● On Track   
 ● Monitor   
 ● Off Track

Key Performance Indicator (KPI)	Measure of Success	Status
<b>Key Strategic Direction 1: Community</b>		
1) Communication and Engagement that encourages participation in decision making	a. Review Council’s approach to Community Engagement and commence developing a revised framework. b. Performance in Annual Community Satisfaction Survey: i. Community Consultation Target: 57%+ favourable. BASELINE: 57%* ii. Overall Performance Target: 66%+ favourable. BASELINE: 66%*	● ●
2) Delivery of the Council Plan	a. 85% delivery of Council Plan major initiatives and actions	●
3) Advocacy planning	a. Development and implementation of a plan and approach to effectively represent Manningham’s priorities as they relate to the North East Link by 30 April. b. Commence development of a broader plan to address key advocacy priorities as determined by Council by 30 April.	● ●
4) Youth Employment	a. Present a paper to Council on opportunities for Council to provide enhanced employment opportunities for young people at Council by 31 March 2019. b. Creation of an action plan to implement Council’s position by 30 April.	● ●
<b>Key Strategic Direction 2: Customer</b>		
5) Making it easier for customers to interact with us, find out information, request a service, provide feedback or report an issue	a. Promote Council’s Customer Service Charter in order to clearly articulate Council’s promise to our citizens and place them at the centre of our thinking. b. Finalise planning for a refurbishment of Council’s front reception/entrance to ensure it is customer friendly and accessible, with a focus on disability access.	● ●
<b>Key Strategic Direction 3: Financial Sustainability</b>		
6) Operational efficiency	a. Achieve a low risk VAGO rating assessment b. Propose an operational efficiency target as a part of the 2019/2020 budget and four year Strategic Resource Plan	● ●
7) Capital Works Program phasing and delivery	a. 90% of capital works adopted budget achieved* b. 90% capital works program delivered * * Please see front page spotlight for details	● ●
8) Debt	a. Develop options to retire Council’s debt early by 30 June 2020.	●
9) Strategic Property Management	a. Continue Council’s desire to more effectively leverage its property portfolio by presenting an option/s paper to Council b. Inclusion of a budget to progress this strategy in the 2019/2020 budget.	● ●
10) Ethical Investment	a. Commence development of a policy to guide Council’s approach to ethical investment including but not limited to appropriate investment in community banking and minimizing investment in companies operating in industries that have a detrimental impact on community wellbeing by 30 April.	●

## 6. CEO Key Performance Indicators

● Complete ● On Track ● Monitor ● Off Track

Key Performance Indicator (KPI)	Measure of Success	Status
<b>Key Strategic Direction 4: Optimal Processes and Technology</b>		
11) Statutory Planning Permits processing	a. 10% improvement from 2017/18 baseline by June 2019.	●
12) Smart City/Innovation* * note minor wording change	a. Implement Phase 1 of an organisation-wide Customer Request Relationship Management (CRM) system to improve how we record and track customer interactions. b. Report to Council on Council's current innovation initiatives, future opportunities and options for a Councillor/Community led Committee to advise on a Smart City transformation white paper by 30 April.	● ●
13) Business Support	a. Ensure Council has a wide ranging approach to supporting small Business Development in Manningham b. Commence the implementation of a project to better understand and improve the process and time taken for commercial approvals with a focus on streamlining Council processes and making it more efficient for customers.	● ●
<b>Key Strategic Direction 5: Engaged People</b>		
14) Organisational Leadership	a. Scope a Manningham leaders program based around Council adopted WeAre values set, with a focus on establishing public value creation and ethical leadership as foundations by 30 April.	●
15) Occupational Health and Safety	a. Ensure effective oversight and implementation of Council health and safety program to meet Council's OH&S obligations and provide a safe workplace environment.	●
16) Equity	a. Establish an internal Diversity and Inclusion Working Group (DIWG) to lead and monitor gender equity practice across the organisation which incorporates LGBTI, disability and cultural considerations by 30 April. b. Identify a 'champion of change' or like program for CEO participation in 2019 by 30 April.	● ●
<b>Key Strategic Direction 6: Enhancing the Municipality</b>		
17) Environmental initiatives	a. Present an update paper to Council outlining Council's current initiatives as it relates to the environment by 30 April. b. Ensure leadership in waste and environment by active participation in the regional Advanced Waste Processing and Collaborative procurement project and participation in Northern Alliance for Greenhouse Action with report on progress and actions to Council	● ●
18) Female friendly sporting infrastructure	a. Continued delivery of Female Friendly Facility upgrades as programmed* <i>* Bulleen Park deferred due to potential impact from North East Link</i>	●
19) Footpath improvement program	a. To construct 2.2 km of 1.5 metre width footpath improvement program for 2018/2019	●
20) Urban Design	a. Commence development of a Municipal Urban Design Framework that builds on the existing planning framework, the 2018 planning scheme review and outlines the preferred future for a distinctive and liveable Manningham in 2050 by 30 June 2019.	●

### 13.2 Documents for Sealing

File Number: IN19/350  
Responsible Director: Senior Governance Advisor  
Attachments: Nil

#### EXECUTIVE SUMMARY

*The following document is submitted for signing and sealing by Council.*

#### COUNCIL RESOLUTION

**MOVED: CR ANDREW CONLON**  
**SECONDED: CR GEOFF GOUGH**

**That the following documents be signed and sealed:**

**Consent to Build over an Easement  
Agreement under Section 173 of the Planning and Environment Act 1987  
Council and Z Qian and Q Han  
4 Howard Court, Doncaster**

**Consent to Build over an Easement  
Agreement under Section 173 of the Planning and Environment Act 1987  
Council and The Three Elements For Developments PTY LTD  
255 Thompsons Road, Templestowe Lower**

**Consent to Build over an Easement  
Agreement under Section 173 of the Planning and Environment Act 1987  
Council and Zeto 6 Malcolm Pty Ltd  
6 Malcolm Crescent, Doncaster**

**Consent to Build over an Easement  
Agreement under Section 173 of the Planning and Environment Act 1987  
Council and M L Grigorakis  
43 Celeste Street, Doncaster East**

**Lease  
Council and Park Orchards Community House & Learning Centre Incorporated  
Part 802-804 Doncaster Road, Doncaster**

**CARRIED**

## 2. BACKGROUND

The Council's common seal must only be used on the authority of the Council or the Chief Executive Officer under delegation from the Council. An authorising Council resolution is required in relation to the documents listed in the Recommendation section of this report.

## 3. DECLARATIONS OF CONFLICT OF INTEREST

No officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.

### 13.3 Record of Assembly of Councillors

File Number:	IN19/351
Responsible Director:	Senior Governance Advisor
Attachments:	1 Strategic Briefing Session - 30 April 2019 <a href="#">↓</a>
	2 Strategic Briefing Session - 7 May 2019 <a href="#">↓</a>
	3 Strategic Briefing Session - 14 May 2019 <a href="#">↓</a>

#### EXECUTIVE SUMMARY

*Section 80A of the Local Government Act 1989 requires a record of each meeting that constitutes an Assembly of Councillors to be reported to an ordinary meeting of Council and those records are to be incorporated into the minutes of the Council Meeting.*

#### COUNCIL RESOLUTION

**MOVED:** CR MICHELLE KLEINERT  
**SECONDED:** CR MIKE ZAFIROPOULOS

**That Council note the Records of Assemblies for the following meetings and that the records be incorporated into the minutes of this Council Meeting:**

- **Strategic Briefing Session – 30 April 2019**
- **Strategic Briefing Session – 7 May 2019**
- **Strategic Briefing Session – 14 May 2019**

**CARRIED**

#### 1. BACKGROUND

2.1 An Assembly of Councillors is defined in the Local Government Act 1989 as a meeting of an advisory committee of the Council, if at least one Councillor is present, or a planned or scheduled meeting of at least half of the Councillors and one member of the Council staff which considers matters that are intended or likely to be:-

2.1.1 The subject of a decision of the Council; or

2.1.2 Subject to the exercise of a function, duty or power of the Council that has been delegated to a person or committee but does not include a meeting of the Council, a special committee of the Council, an audit committee established under section 139, a club, association, peak body, political party or other organisation.

2.2 An advisory committee can be any committee or group appointed by council and does not necessarily have to have the term 'advisory committee' in its title.

2.3 Written records of Assemblies are to include the names of all Councillors and members of Council staff attending, a list of matters considered, any conflict of interest disclosures made by a Councillor and whether a Councillor who has disclosed a conflict of interest leaves

## **2. DISCUSSION / ISSUE**

3.1 The Assembly records are submitted to Council, in accordance with the requirements of Section 80A of the Local Government Act 1989. The details of each of the following Assemblies are attached to this report.

- Strategic Briefing Session – 30 April 2019
- Strategic Briefing Session – 7 May 2019
- Strategic Briefing Session – 14 May 2019

## **3. DECLARATIONS OF CONFLICT OF INTEREST**

No Officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.

Record of an Assembly of Councillors

Manningham City Council

## **Strategic Briefing Session**

**Meeting Date:** 30 April 2019  
**Venue:** Council Chamber, Civic Office, 699 Doncaster Rd, Doncaster  
**Starting Time:** 6:35pm

- 1. Councillors Present:**  
Councillor Paula Piccinini (Mayor)  
Councillor Anna Chen (Deputy Mayor)  
Councillor Andrew Conlon  
Councillor Sophy Galbally  
Councillor Dot Haynes  
Councillor Geoff Gough  
Councillor Michelle Kleinert  
Councillor Paul McLeish  
Councillor Zafiroopoulos

**Apologies from Councillors:**

No apologies.

**Executive Officers Present:**

Andrew Day, Chief Executive Officer  
Helen Napier, Acting Director City Services  
Philip Lee, Director Shared Services  
Angelo Kourambas, Director City Planning & Community  
Andrew McMaster, Corporate Counsel and Group Manager Governance & Risk

**Other Officers in Attendance:**

Kym McClean, Governance Support Officer  
Rebecca Scanlan, Coordinator Maternal and Child Health  
Matt Slavin, Manager Integrated Planning  
Justin Hanrahan, Manager Economic and Community Wellbeing  
Lee Robson, Group Manager Community Programs  
Vicki Miller, Strategic Risk and Assurance Advisor

- 2. Disclosure of Conflicts of Interest**  
No disclosures of conflict of interest were made.

- 3. Items Considered**
- 3.1 Community Festivals and Events
  - 3.2 Manningham's Calendar of Significant Dates
  - 3.3 Maternal and Child Health Service Model – Future Directions (**Confidential**)
  - 3.4 Waldau Precinct Masterplan
  - 3.5 Property Investment Project Governance and Risk Framework Review (**Confidential**)
  - 3.6 Condolence Protocol

The meeting ended at 10:12pm

\*\*\*\*\*

Record of an Assembly of Councillors

Manningham City Council

## **Strategic Briefing Session**

**Meeting Date:** 7 May 2019  
**Venue:** Council Chamber, Civic Office, 699 Doncaster Rd, Doncaster  
**Starting Time:** 6:30pm

1. **Councillors Present:**  
Councillor Paula Piccinini (Mayor)  
Councillor Anna Chen (Deputy Mayor)  
Councillor Andrew Conlon  
Councillor Sophy Galbally  
Councillor Geoff Gough  
Councillor Michelle Kleinert  
Councillor Paul McLeish  
Councillor Zafiroopoulos

**Apologies from Councillors:**  
Councillor Dot Haynes

**Executive Officers Present:**  
Andrew Day, Chief Executive Officer  
Helen Napier, Acting Director City Services  
Philip Lee, Director Shared Services  
Angelo Kourambas, Director City Planning & Community  
Andrew McMaster, Corporate Counsel and Group Manager Governance & Risk

**Other Officers in Attendance:**  
Liz Lambropoulos, Team Leader Integrated Transport  
Frank Vassilacos, Coordinator Integrated Transport  
Felicity Lucarelli, Senior Integrated Communications Advisor  
Andrew Mangan, Project Support Officer (Integrated Transport)  
Matt Slavin, Manager Integrated Planning  
Jude Whelan, Manager Communications

2. **Disclosure of Conflicts of Interest**  
No disclosures of conflict of interest were made.
3. **Items Considered**  
3.1 North East Link Update

The meeting ended at 8:20pm  
\*\*\*\*\*



Record of an Assembly of Councillors

Manningham City Council

## **Strategic Briefing Session**

**Meeting Date:** 14 May 2019  
**Venue:** Council Chamber, Civic Office, 699 Doncaster Rd, Doncaster  
**Starting Time:** 6:36pm

1. **Councillors Present:**  
Councillor Paula Piccinini (Mayor)  
Councillor Anna Chen (Deputy Mayor)  
Councillor Sophy Galbally  
Councillor Geoff Gough  
Councillor Dot Haynes  
Councillor Michelle Kleinert  
Councillor Paul McLeish  
Councillor Zafiroopoulos

**Apologies from Councillors:**  
Councillor Andrew Conlon

**Executive Officers Present:**  
Andrew Day, Chief Executive Officer  
Leigh Harrison, Director City Services  
Philip Lee, Director Shared Services  
Angelo Kourambas, Director City Planning & Community  
Andrew McMaster, Acting Group Manager Legal, Governance and Risk

**Other Officers in Attendance:**  
Carrie Bruce, Senior Governance Advisor  
Matt Slavin, Manager Integrated Planning  
Frank Vassilacos, Coordinator Integrated Transport  
Liz Lambropoulos, Team Leader Integrated Transport  
Andrew Mangan, Project Support Officer  
Helen Napier, Manager City Amenity  
Heather Callahan, Coordinator Recreation  
Kerryn Paterson, Group Manager People and Communications  
Jude Whelan, Manager Communications  
Felicity Lucarelli, Senior Integrated Communications Advisor  
Anne Forbes, Senior Integrated Communications Advisor  
Faye Adams, Senior Sustainability Officer  
Clayton Simpson, Environment Coordinator

2. **Disclosure of Conflicts of Interest**  
No disclosures of conflict of interest were made.

3. **Items Considered**  
3.1 Youth Employment Opportunities  
3.2 Local Government Purchasing Power Agreement (LG PPA)  
3.3 North East Link Project Update  
3.4 Manningham Quarterly Report, Q3 (Jan-March) 2019  
3.5 Condolence Protocol

The meeting ended at 10:35pm

\*\*\*\*\*

## 14 URGENT BUSINESS

### 14.1 Suburban Rail Loop Advocacy

Councillor Gough left the meeting at 9:44pm and returned at 9:45pm during discussion on Item 14.1.

#### COUNCIL RESOLUTION

**MOVED:** CR ANNA CHEN  
**SECONDED:** CR MIKE ZAFIROPOULOS

**That Council**

1. **Support in principle the Suburban Rail Loop proposal, and call on the State Government to:**
  - **Extend Phase 1 of the project from Cheltenham to Doncaster Hill or through to Heidelberg and a station in Doncaster (rather than terminate at Box Hill as currently proposed); and**
  - **Add an additional station within the suburb of Bulleen**
2. **Request the Major Transport Infrastructure Authority to provide Council with details on the design development, station location assessment and operational requirements developed to date and to work collaboratively with Council.**
3. **Writes to the Minister for Transport Infrastructure, Minister for Public Transport and State Premier Daniel Andrews seeking their urgent intervention to include Doncaster Hill in planning for Stage 1 of the project.**
4. **Writes to our local, state and federal members of parliament advising them of this motion.**

**CARRIED**

**14.2 Appointment of Authorised Officer - Planning and Environment Act 1987**

File Number: IN19/377  
Responsible Director: Chief Executive Officer  
Attachments: 1 Instrument of Appointment and Authorisation - Justin Richardson

**EXECUTIVE SUMMARY**

*In accordance with the Planning and Environment Act 1987(the Act), Council is required to authorise officers for the purpose of enforcing the provisions of the Act. It is proposed to appoint the Council officer detailed below as an Authorised Officer pursuant to Section 147(4) of the Act.*

**COUNCIL RESOLUTION**

**MOVED: CR MICHELLE KLEINERT**  
**SECONDED: CR SOPHY GALBALLY**

**In the exercise of the powers conferred by section 224 of the *Local Government Act 1989* and the other legislation referred to in the attached instrument of appointment and authorisation, Council resolves that:**

**A. the following Council Officer be appointed as an authorised officer:**

- **Justin Richardson**

**B. the instrument will come into force immediately upon execution and will remain in force until Council determines to vary or revoke the Instrument or the officer ceases their employment with Council; and**

**C. the instrument be signed and sealed.**

**CARRIED**

**2. BACKGROUND**

- 2.1 The Planning and Environment Act 1987 (the Act) regulates enforcement of the Act and is reliant on authorised officers acting on behalf of the Responsible Authority which is Council.
- 2.2 The Act, unlike the Local Government Act 1989, does not permit appointments to be made by the Chief Executive Officer and therefore in order for the officer to legally undertake the duties of their position under the Act, it is necessary for Council to make appointments by formal resolution.
- 2.3 The Instruments of Appointment and Authorisation have been prepared based on advice from Maddocks Lawyers and empower the relevant officer to exercise those powers granted in the Instrument.
- 2.4 The appointment will come into force immediately upon its execution under the Seal of Council and will remain in force until varied or revoked by Council or the officer ceases employment with Council.

- 2.5 In addition to the appointment under the Act, Council pursuant to Section 224 of the Local Government Act 1989, may appoint any person other than a Councillor to be an authorised officer for the purposes of the administration and enforcement of most other Acts, Regulations or Local Laws which relate to the functions and powers of Council. This broader Instrument of Appointment and Authorisation has already been carried out, in respect to the designated officer, under the delegated authority of the Chief Executive Officer as the first part of a dual appointment process.
- 2.6 The appointment form will be recorded in the Authorised Officers Register that is required to be kept by Council and is available for public inspection.

### **3. DECLARATIONS OF CONFLICT OF INTEREST**

No Officers involved in the preparation of this report have any direct or indirect conflict of interest in this matter.

**Instrument of Appointment and Authorisation  
(Planning and Environment Act 1987)**

In this instrument "officer" means -

**Justin Richardson**

**By this instrument of appointment and authorisation Manningham City Council -**

- 1. under section 147(4) of the *Planning and Environment Act 1987* - appoints the officer to be an authorised officer for the purposes of the *Planning and Environment Act 1987* and the regulations made under that Act; and
- 2. under section 232 of the *Local Government Act 1989* authorises the officer generally to institute proceedings for offences against the Acts and regulations described in this instrument.

**It is declared that** this instrument comes into force immediately upon its execution and remains in force until 31 August 2019.

This instrument is authorised by a resolution of the Manningham City Council on 28 May 2019.

The Common Seal of            )  
Manningham City Council        )  
was hereunto affixed            )  
in the presence of:                )

Mayor .....

Chief Executive Officer .....

Date: .....

## 15 COUNCILLORS' QUESTION TIME

### 15.1 Question - Councillor Gough

Councillor Gough asked if Council was aware that the Open Space and Street Scape Advisory Committee had last night passed a motion that supported active sports grounds and uses to be incorporated into any land developed along Templestowe Road in the Bulleen area?

Further, Councillor Gough asked what is Council doing to ensure that Daniel Andrews and the state government give Council back all of the developable land Council now need to ensure we can provide for the needs of the AFL, soccer and other sporting facilities now and into the future on sites such as the driving range and other sites along the offsets?

*The Chief Executive, Mr Andrew Day responded that he was not aware that this issue had been raised last night, however he advised that this is very much in line with Council's views in terms of the desires as it relates to the Yarra River Corridor and Council's adopted Yarra River Corridor Concept Plan.*

*Mr Day further advised that Council will be representing a range of different views including the sporting needs of our community as a result of the impacts of the North East Link project in our municipality in a detailed submission to the Environmental Effects Statement due on the 7<sup>th</sup> June. Mr Day took this opportunity to highlight that Council have a community forum on tomorrow night in the Council Chamber at 6:30pm and would invite community members to come along to express their views to both Councillors and Officers and to encourage the community to put in a submission.*

---

### 15.2 Question - Councillor Gough

Councillor Gough asked if Council was aware of a recent VCAT determination in relation to 196-198 Serpells Road, Templestowe for a 130 place child care facility in a low density residential area? Cr Gough requested a report from Council Officers on how Council can utilise the findings of this determination to firm up Council's position on the LDRZ as well as strengthen Council's policy around this. Cr Gough recommended his fellow councillors read the full VCAT determination.

*The Chief Executive Officer, Mr Andrew Day responded that Council is aware of the VCAT determination and officers have provided some information to Councillors already in relation to this issue. Mr Day advised he would list this matter at a future briefing session for information and discussion with Councillors.*

---

### 15.3 Question - Councillor Haynes

Councillor Haynes made a brief statement and asked a question in relation to the 2019/20 Annual Budget on behalf of a local resident who was unable to attend the Council Meeting. The resident, via Councillor Haynes, expressed their disappointment in the proposed timing of two Council Projects namely the Koonung Creek Linear Park Management Plan and the Harold Link Development. The resident asked if these two projects could be brought forward and made a priority so the work could begin sooner?

*The Chief Executive Officer, Mr Andrew Day responded that as the resident's question related to the 2019/20 Annual Budget, he would ensure the resident's comments and question would be referred as a budget submission for Council's consideration.*

### 15.4 Question - Councillor Chen

Councillor Chen referenced two recent Council resolutions regarding public transport, one relating to the bus lane on Fitzsimons Lane and the other relating to the Suburban Rail Loop. Councillor Chen asked if a copy of these resolutions and any other relevant information could be forward to the following advocacy groups in which Council participates: the Eastern Transport Coalition, Metropolitan Transport Forum and the Eastern Region Group of Councils.

*The Chief Executive Officer, Mr Andrew Day advised that Council would forward the relevant information to each of those bodies.*

## 16 CONFIDENTIAL REPORTS

### COUNCIL RESOLUTION

**MOVED: CR MICHELLE KLEINERT**  
**SECONDED: CR ANDREW CONLON**

**That the Council consider the confidential reports in a closed Council Meeting session as public disclosure may be prejudicial to the interests of the Council and/or other parties.**

**CARRIED**

*The Meeting was closed to the public at 10:00pm to consider the following report and was reopened at 10:06pm.*



**16.1 Maternal and Child Health Service Model - Future Directions**

This information has been designated in writing as confidential information by the Chief Executive Officer pursuant to S77(2)(c) of the Local Government Act 1989. The relevant grounds applying are S89(2)(c) and (h) of the Act concerning industrial matters and Any other matter which the Council or special committee considers would prejudice the Council or any person.

The meeting concluded at 10:06pm

---

Chairperson  
CONFIRMED THIS 25 June 2019