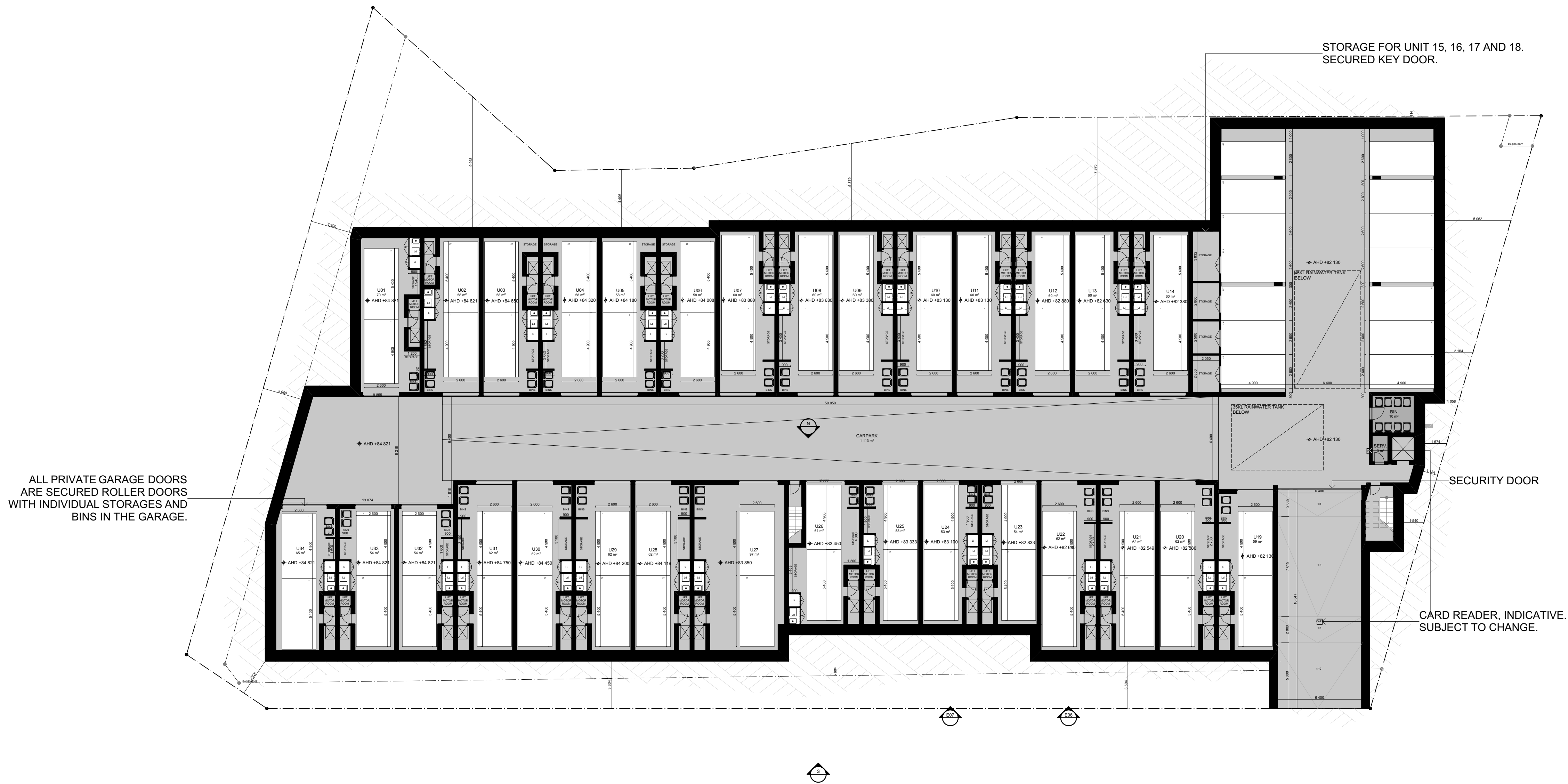


 **Subject Land** **Address:** 142-146 Andersons Creek Road DONCASTER EAST VIC, 3109

Whilst all care has been taken in the preparation of this cadastral base map, Manningham and the State of Victoria accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for Demonstration only.



Jan 20, 2017 9:14 AM



DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-

DATE	REVISION	BY	CHK	NO.

CONSULTANTS		
STRUCTURAL ENGINEER	#CONSULTANT 1-COMPANY NAME	T CONS. 1 PHONE
SERVICES ENGINEER	#CONSULTANT 2-COMPANY NAME	T CONS. 2 PHONE
BUILDING SURVEYOR	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE
FIRE ENGINEER	#CONSULTANT 4-COMPANY NAME	T CONS. 4 PHONE
ESD	#CONSULTANT 5-COMPANY NAME	T CONS. 5 PHONE



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Melbourne VIC 3004 Australia
ACN 091690336

PROJECT
**142-146 Andersons
Creek road,
Doncaster East VIC
3109**

DRAWING TITLE
BASEMENT PLAN

SCALE	DATE	DRAWN	CHECKED	JOB NO.	DRAWING NO.	REVISION
1:200 @A1	24/10/2016	SP	TC	12372	TP099	-

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N.B., VEGETATIONS TO BE REMOVED
(AS PER PREVIOUS ARBORIST REPORT AS PROVIDED)

- CHANGES**
- LEVEL DIMENSIONS NOTED
 - SCREENING/DOOR ADDED TO THE BUILDING SERVICES
 - EASTERN SIDE FENCE
 - EASTERN BOUNDARY SETBACK
 - VARIOUS REQUIRED ANNOTATIONS
 - LEVEL DIMENSIONS ADDED TO RETAINING WALLS
 - LEVEL DIMENSIONS ADDED TO TOP OF THE FENCES



PERMEABILITY 20%
SITE COVERAGE 47%
(SITE AREA 4042sqm)

NOTE
- REFER TO DRAWING 4.02 FOR PAVEMENT MATERIAL DETAILS.
- ALL EXISTING VEGETATIONS ARE TO BE REMOVED.

DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-
14/09/2016	TP RFI	SP	TC	1

DATE	REVISION	BY	CHK	NO.

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SERVICES ENGINEER	#CONSULTANT 2-COMPANY NAME	T CONS. 2 PHONE
BUILDING SURVEYOR	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE
FIRE ENGINEER	#CONSULTANT 4-COMPANY NAME	T CONS. 4 PHONE
ESD	#CONSULTANT 5-COMPANY NAME	T CONS. 5 PHONE



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PROJECT
**142-146 Andersons
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DRAWING TITLE
GROUND FLOOR PLAN

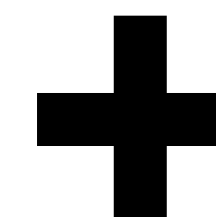
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DRAWN SP	DRAWN NO. 12372	DRAWING NO. TP100		



DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-

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BUILDING SURVEYOR	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE
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PROJECT
**142-146 Andersons
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DRAWING TITLE
LEVEL 01 PLAN

SCALE
1:200 @A1

DATE

24/10/2016

DRAWN

SP

CHECKED

TC

JOB NO.

12372

PLOT DATE

24/10/2016

CHECKED

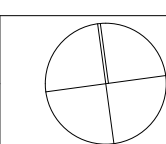
TC

DRAWING NO.

TP101

REVISION

-



ANDERSONS CREEK ROAD



REYNOLDS ROAD

DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-

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SERVICES ENGINEER	<input type="checkbox"/>	#CONSULTANT 2-COMPANY NAME	T CONS. 2 PHONE
BUILDING SURVEYOR	<input type="checkbox"/>	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE
FIRE ENGINEER	<input type="checkbox"/>	#CONSULTANT 4-COMPANY NAME	T CONS. 4 PHONE
ESD	<input type="checkbox"/>	#CONSULTANT 5-COMPANY NAME	T CONS. 5 PHONE

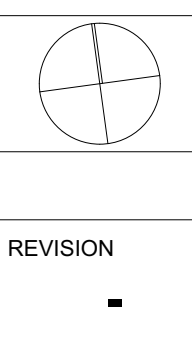


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PROJECT
142-146 Andersons Creek road, Doncaster East VIC 3109

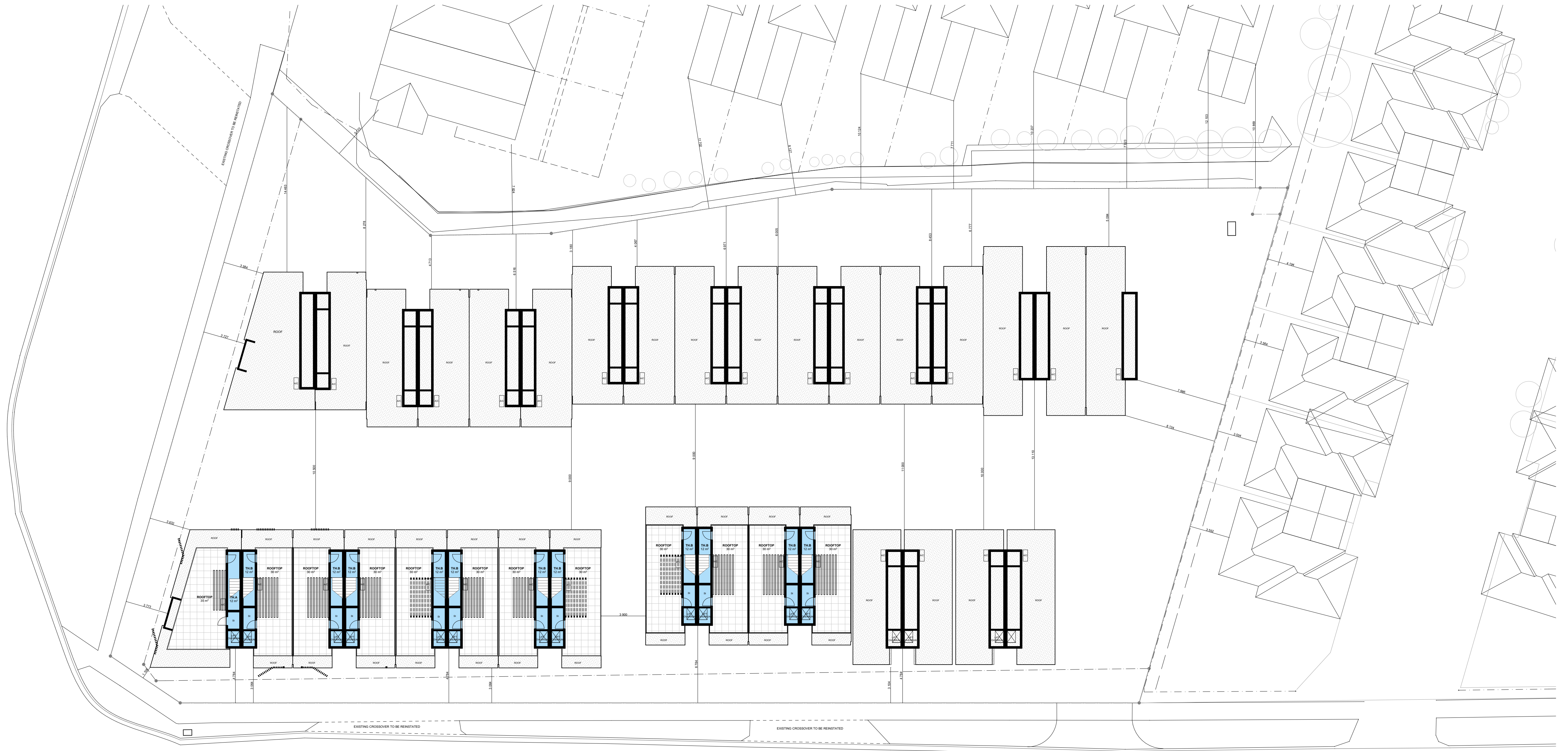
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LEVEL 02

SCALE 1:200 @A1	PLOT DATE 24/10/2016
DATE	CHECKED TC
DRAWN SP	REVISION
JOB NO. 12372	DRAWING NO. TP102



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ANDERSONS CREEK ROAD



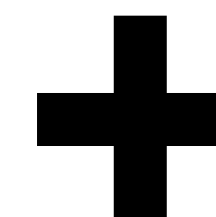
REYNOLDS ROAD

NO AMENDMENT MADE TO THE ROOF PLAN
 A/C CONDENSERS ARE ON THE ROOF,
 LOCATED SO IT IS NOT SHOWN FROM THE
 STREET LEVEL.

DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-

DATE	REVISION	BY	CHK	NO.

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BUILDING SURVEYOR	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE
FIRE ENGINEER	#CONSULTANT 4-COMPANY NAME	T CONS. 4 PHONE
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PROJECT
**142-146 Andersons
 Creek road,
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DRAWING TITLE
ROOF PLAN

SCALE
1:200 @A1

DATE
24/10/2016

DRAWN
SP

CHECKED
TC

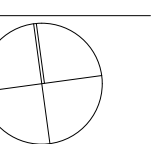
JOB NO.
12372

PLOT DATE

CHECKED

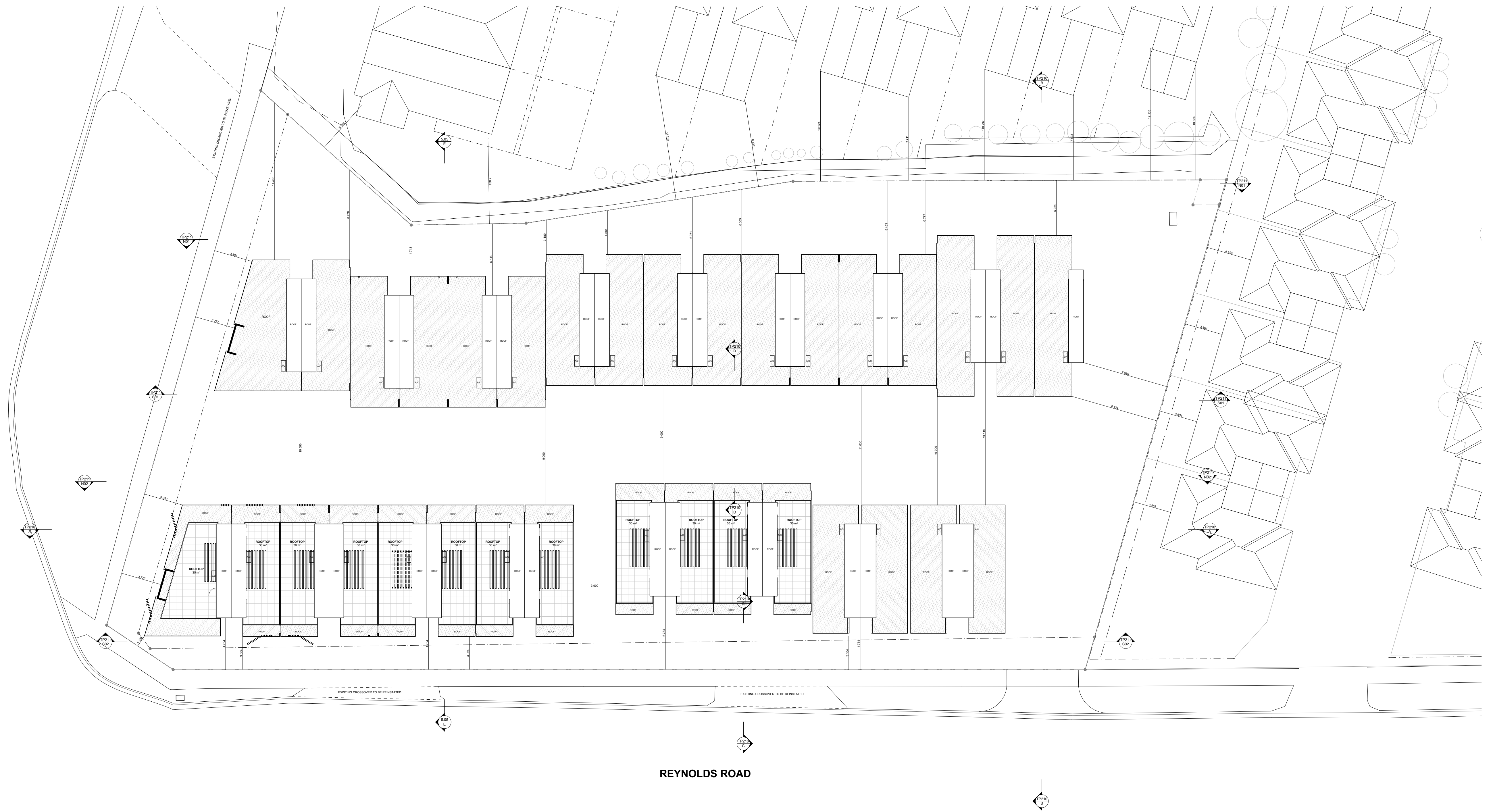
DRAWING NO.
TP103

REVISION
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ANDERSONS CREEK ROAD



REYNOLDS ROAD

NO AMENDMENT MADE TO THE ROOF PLAN
 A/C CONDENSERS ARE ON THE ROOF,
 LOCATED SO IT IS NOT SHOWN FROM THE
 STREET LEVEL.

DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-

DATE	REVISION	BY	CHK	NO.

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STRUCTURAL ENGINEER	#CONSULTANT 1-COMPANY NAME	T CONS. 1 PHONE
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BUILDING SURVEYOR	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE
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ESD	#CONSULTANT 5-COMPANY NAME	T CONS. 5 PHONE

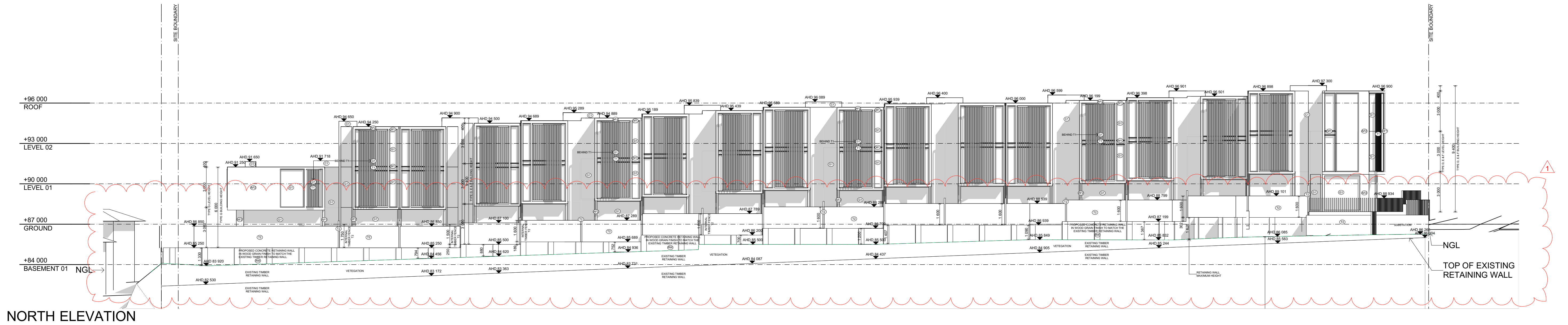


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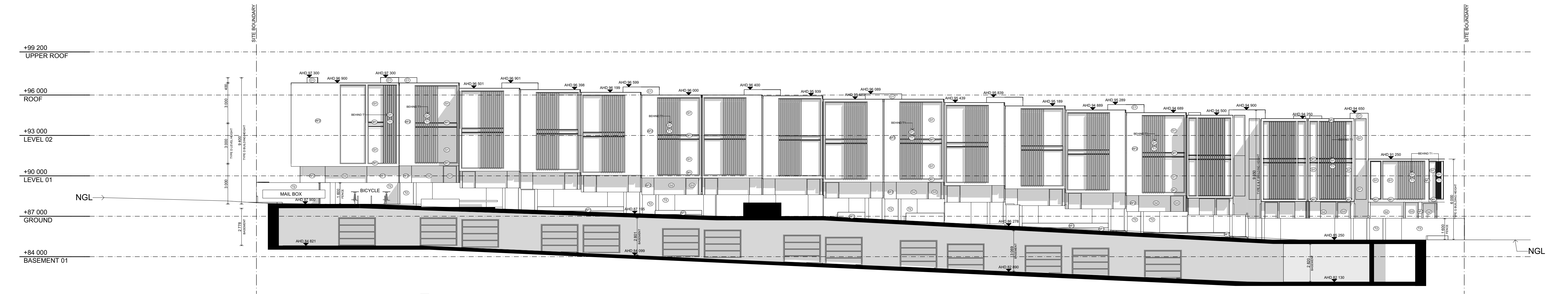
PROJECT
142-146 Andersons Creek road, Doncaster East VIC 3109

DRAWING TITLE
ROOF PLAN 02

SCALE 1:200 @A1	PLOT DATE 24/10/2016	
DATE	CHECKED TC	
DRAWN SP	DRAWING NO. 12372	REVISION -



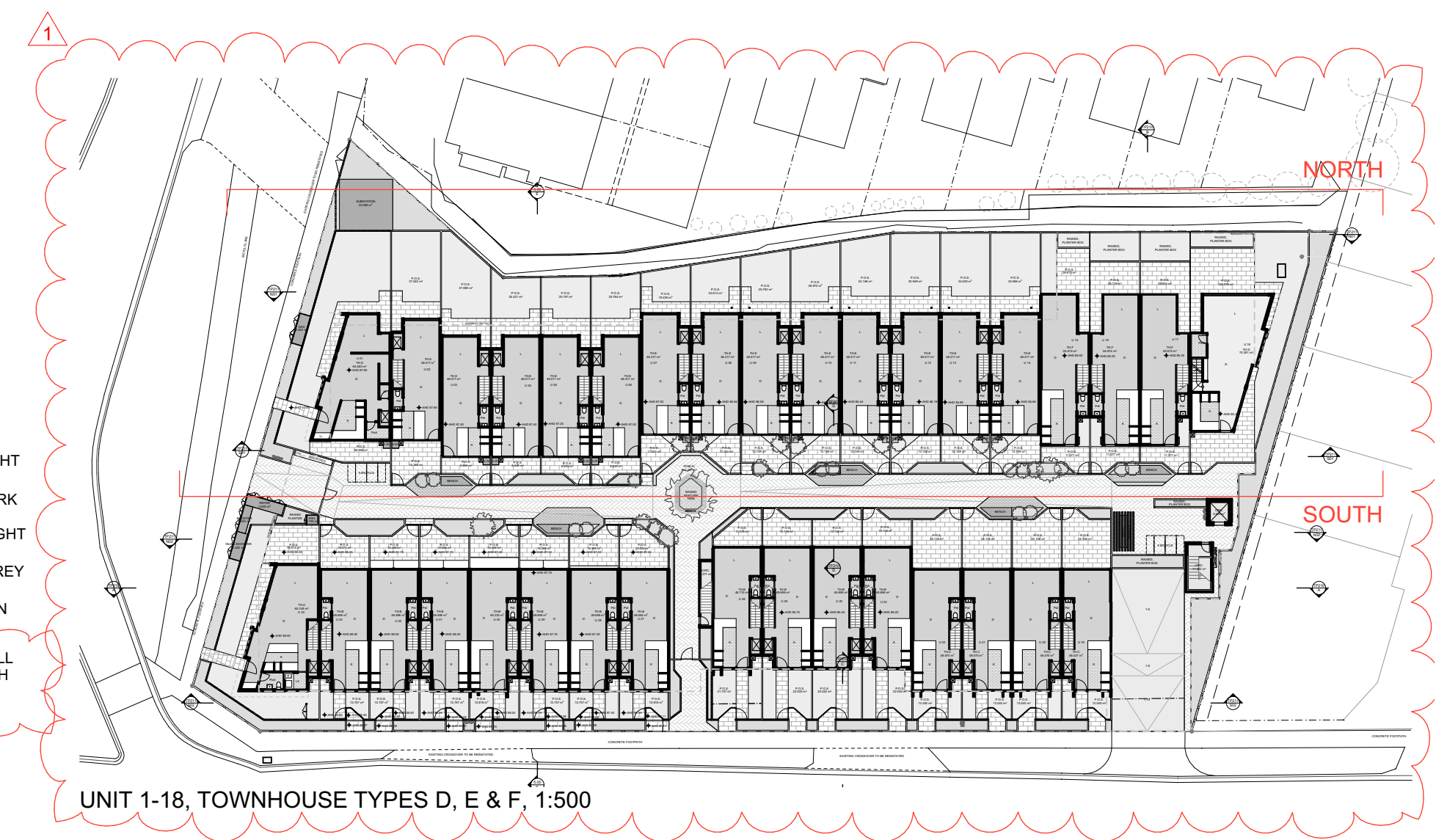
NORTH ELEVATION



SOUTH ELEVATION

- EXTERNAL FINISHES**
- AF1 APPLIED FINISH - LIGHT
 - AF2 APPLIED FINISH - GREY
 - AF3 APPLIED FINISH - DARK
 - M1 METAL - DARK
 - M2 METAL - COPPER
 - C1 CONCRETE BLOCK - LIGHT
 - G1 GLAZING - CLEAR
 - G2 GLAZING - DARK, TINTED
 - G3 GLASS DOOR - WHITE
 - T1 TIMBER APPEARANCE - LIGHT
 - T2 TIMBER APPEARANCE - DARK
 - P1 CONCRETE PAVEMENT - LIGHT
 - P2 CONCRETE PAVEMENT - GREY
 - P3 CONCRETE BRICK PATTERN PAVEMENT - GREY
 - RW CONCRETE RETAINING WALL - WOOD GRAIN FINISH

CHANGES
 - RETAINING WALL DETAIL ADDED
 - HEIGHT DIMENSIONS ADDED
 - RW MATERIAL ADDED
 - T3 MATERIAL REMOVED
 - MATERIAL CHANGE T2
 - KEY PLAN UPDATED



UNIT 1-18, TOWNHOUSE TYPES D, E & F, 1:500

DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-
14/09/2016	TP RFI	SP	TC	1

DATE	REVISION	BY	CHK	NO.

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STRUCTURAL ENGINEER	<input type="checkbox"/>	#CONSULTANT 1-COMPANY NAME	T CONS. 1 PHONE	
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FIRE ENGINEER	<input type="checkbox"/>	#CONSULTANT 4-COMPANY NAME	T CONS. 4 PHONE	
ESD	<input type="checkbox"/>	#CONSULTANT 5-COMPANY NAME	T CONS. 5 PHONE	



PROJECT
142-146 Andersons Creek road, Doncaster East VIC 3109

DRAWING TITLE
ELEVATION - NORTH + SOUTH

SCALE
1:150, 1:500 @A1

DATE
24/10/2016

DRAWN
SP

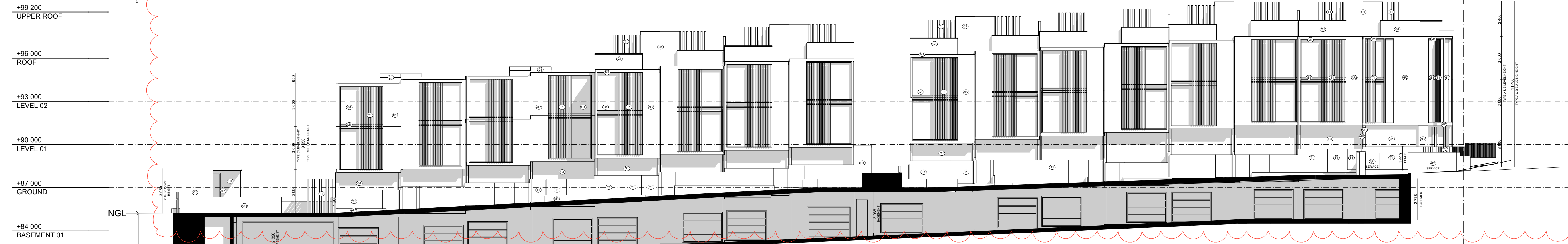
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JOB NO.
12372

DRAWING NO.
TP200

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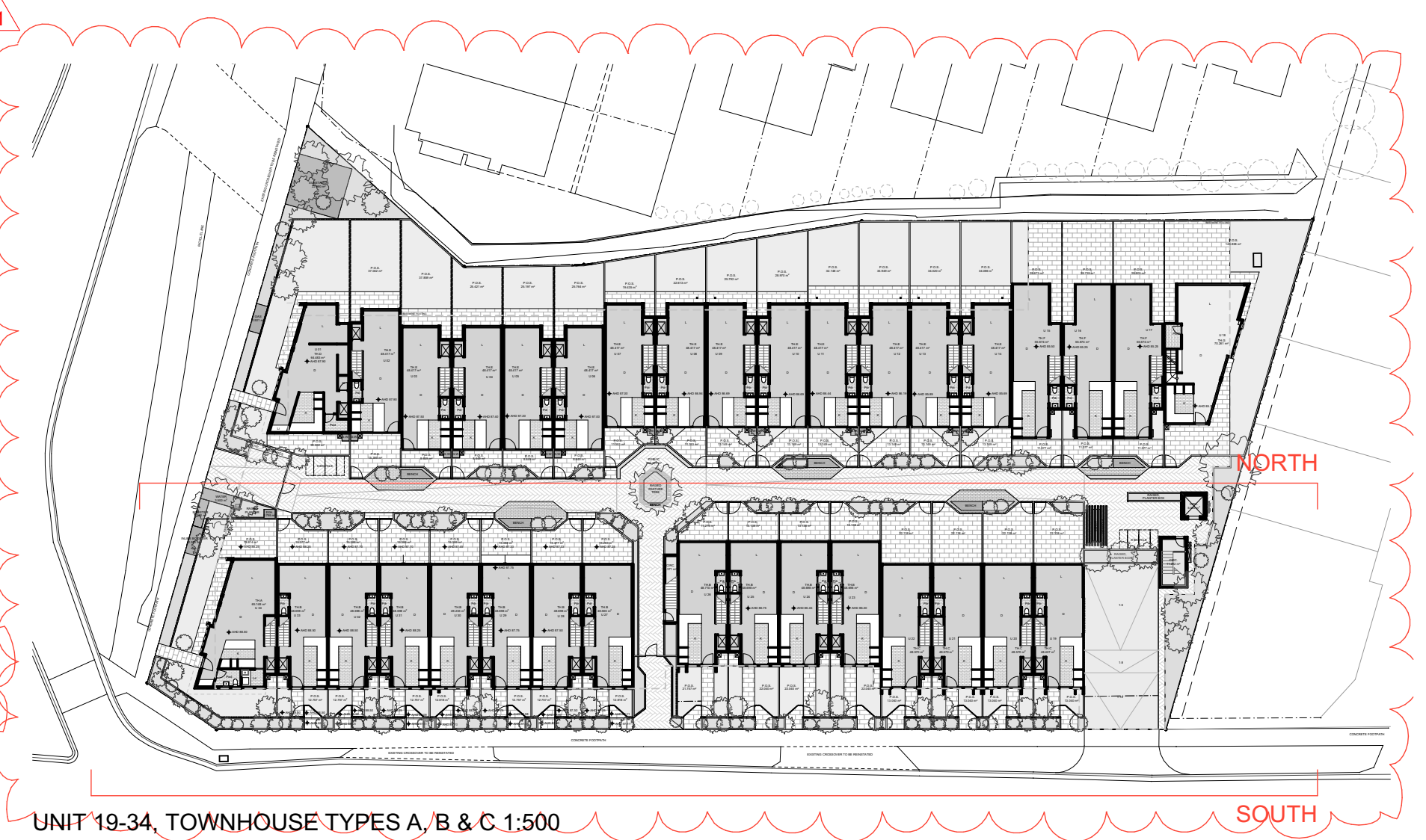
NORTH ELEVATION



SOUTH ELEVATION

- EXTERNAL FINISHES**
- AF1 APPLIED FINISH - LIGHT
 - AF2 APPLIED FINISH - GREY
 - AF3 APPLIED FINISH - DARK
 - M1 METAL - DARK
 - M2 METAL - COPPER
 - C1 CONCRETE BLOCK - LIGHT
 - G1 GLAZING - CLEAR
 - G2 GLAZING - DARK, TINTED
 - G3 GLASS DOOR - WHITE
 - T1 TIMBER APPEARANCE - LIGHT
 - T2 TIMBER APPEARANCE - DARK
 - P1 CONCRETE PAVEMENT - LIGHT
 - P2 CONCRETE PAVEMENT - GREY
 - P3 CONCRETE BRICK PATTERN PAVEMENT - GREY
 - RW CONCRETE RETAINING WALL - WOOD GRAIN FINISH

CHANGES
 - RW MATERIAL ADDED
 - T3 MATERIAL REMOVED
 - MATERIAL CHANGE T2
 - KEY PLAN UPDATED



UNIT 19-34, TOWNHOUSE TYPES A, B & C. 1:500

DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-

DATE	REVISION	BY	CHK	NO.

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BUILDING SURVEYOR	<input type="checkbox"/>	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE	
FIRE ENGINEER	<input type="checkbox"/>	#CONSULTANT 4-COMPANY NAME	T CONS. 4 PHONE	
ESD	<input type="checkbox"/>	#CONSULTANT 5-COMPANY NAME	T CONS. 5 PHONE	



PROJECT
142-146 Andersons Creek road, Doncaster East VIC 3109

DRAWING TITLE
ELEVATION - NORTH + SOUTH 02

SCALE
1:150, 1:500 @A1

DATE
24/10/2016

DRAWN
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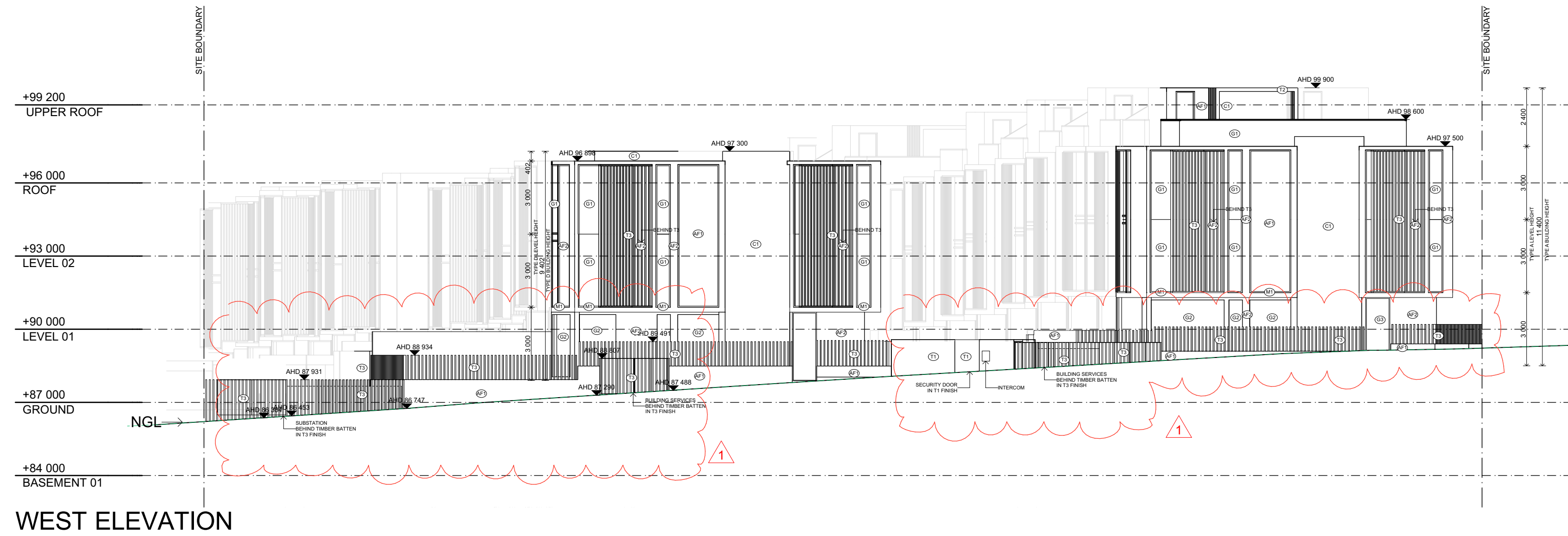
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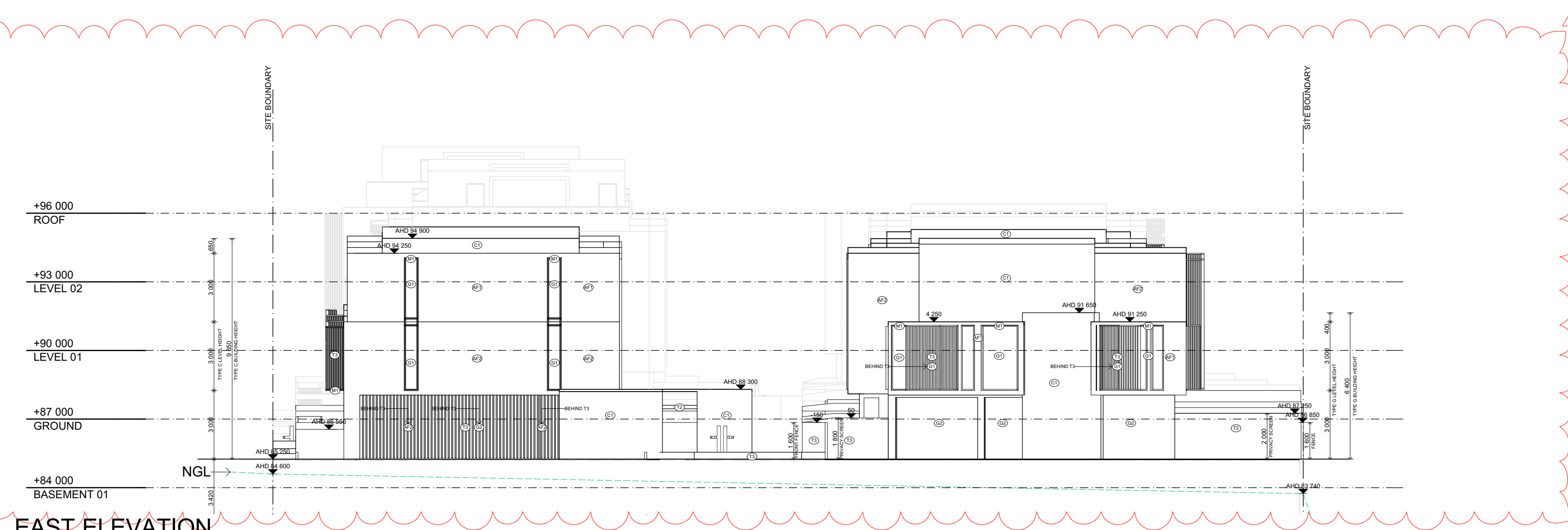
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REVISION
1

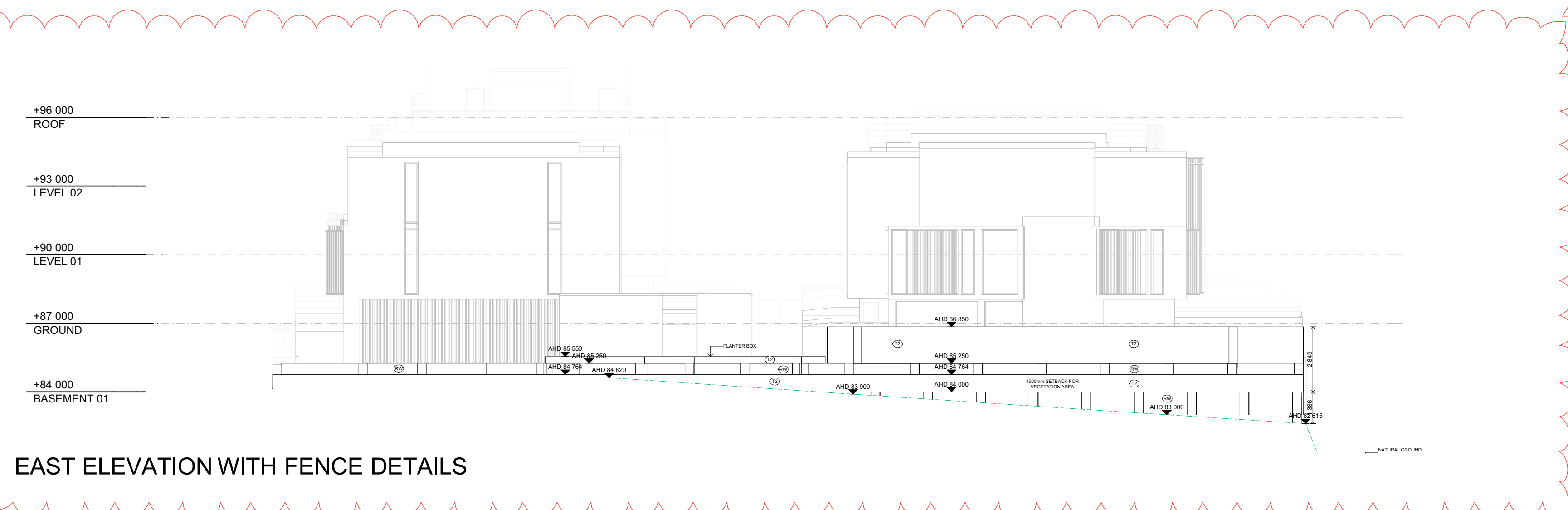
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WEST ELEVATION



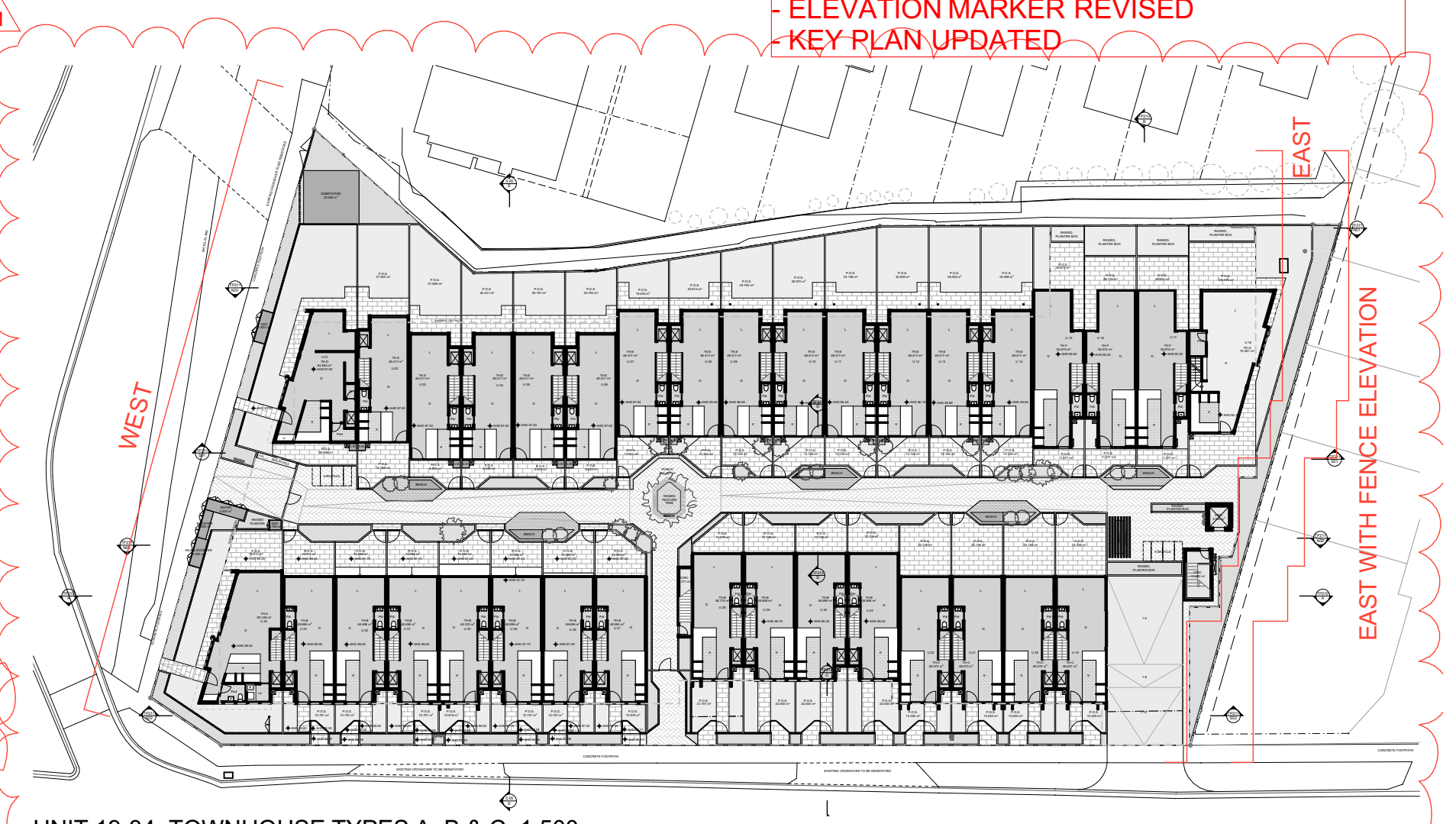
EAST ELEVATION



EAST ELEVATION WITH FENCE DETAILS

CHANGES
 SCREENING DETAIL ADDED TO SERVICES
 EAST ELEVATION WITH FENCE DETAIL ADDED
 RW MATERIAL ADDED
 T3 MATERIAL REMOVED
 MATERIAL CHANGE T2
 KEY PLAN UPDATED
 MORE TAGS ADDED
 ELEVATION MARKER REVISED
 KEY PLAN UPDATED

- EXTERNAL FINISHES**
- AF1 APPLIED FINISH - LIGHT
 - AF2 APPLIED FINISH - GREY
 - AF3 APPLIED FINISH - DARK
 - M1 METAL - DARK
 - M2 METAL - COPPER
 - C1 CONCRETE BLOCK - LIGHT
 - G1 GLAZING - CLEAR
 - G2 GLAZING - DARK, TINTED
 - G3 GLASS DOOR - WHITE
 - T1 TIMBER APPEARANCE - LIGHT
 - T2 TIMBER APPEARANCE - GREY
 - T3 TIMBER APPEARANCE - DARK
 - P1 CONCRETE PAVEMENT - LIGHT
 - P2 CONCRETE PAVEMENT - GREY
 - P3 CONCRETE BRICK PATTERN PAVEMENT - GREY
 - RW CONCRETE RETAINING WALL - WOOD GRAIN FINISH



UNIT 19-34, TOWNHOUSE TYPES A, B & C. 1:500

DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-					
14/09/2016	TP RFI	SP	TC	1					

DATE	REVISION	BY	CHK	NO.

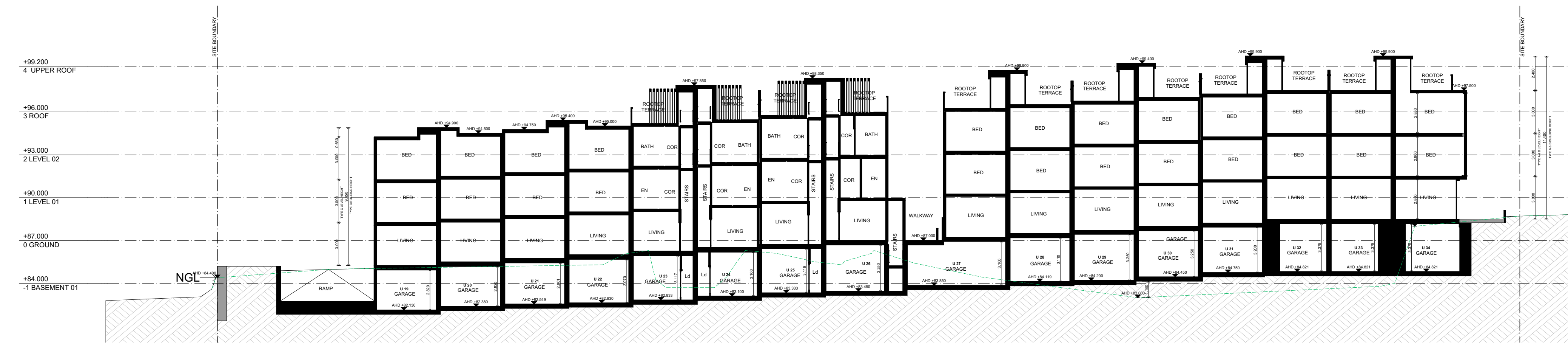
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SERVICES ENGINEER	#CONSULTANT 2-COMPANY NAME	T CONS. 2 PHONE
BUILDING SURVEYOR	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE
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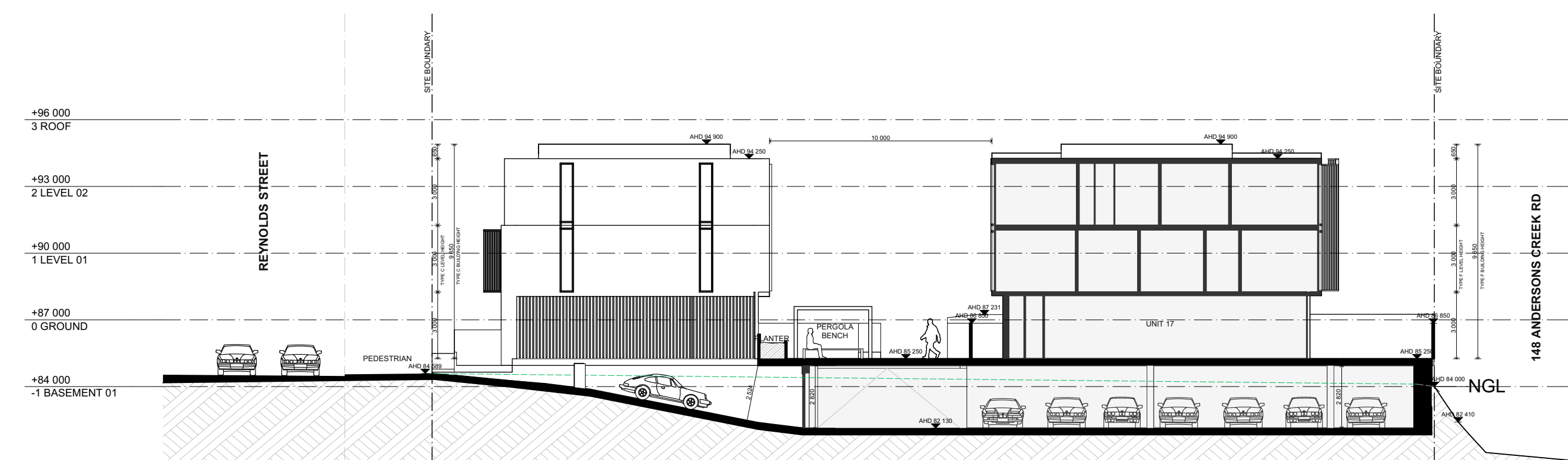
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PROJECT 142-146 Andersons Creek road, Doncaster East VIC 3109	DRAWING TITLE ELEVATION - EAST + WEST
SCALE 1:150, 1:500 @A1	
DATE	PLOT DATE 24/10/2016
DRAWN SP	CHECKED TC
JOB NO. 12372	DRAWING NO. TP201
	REVISION 1

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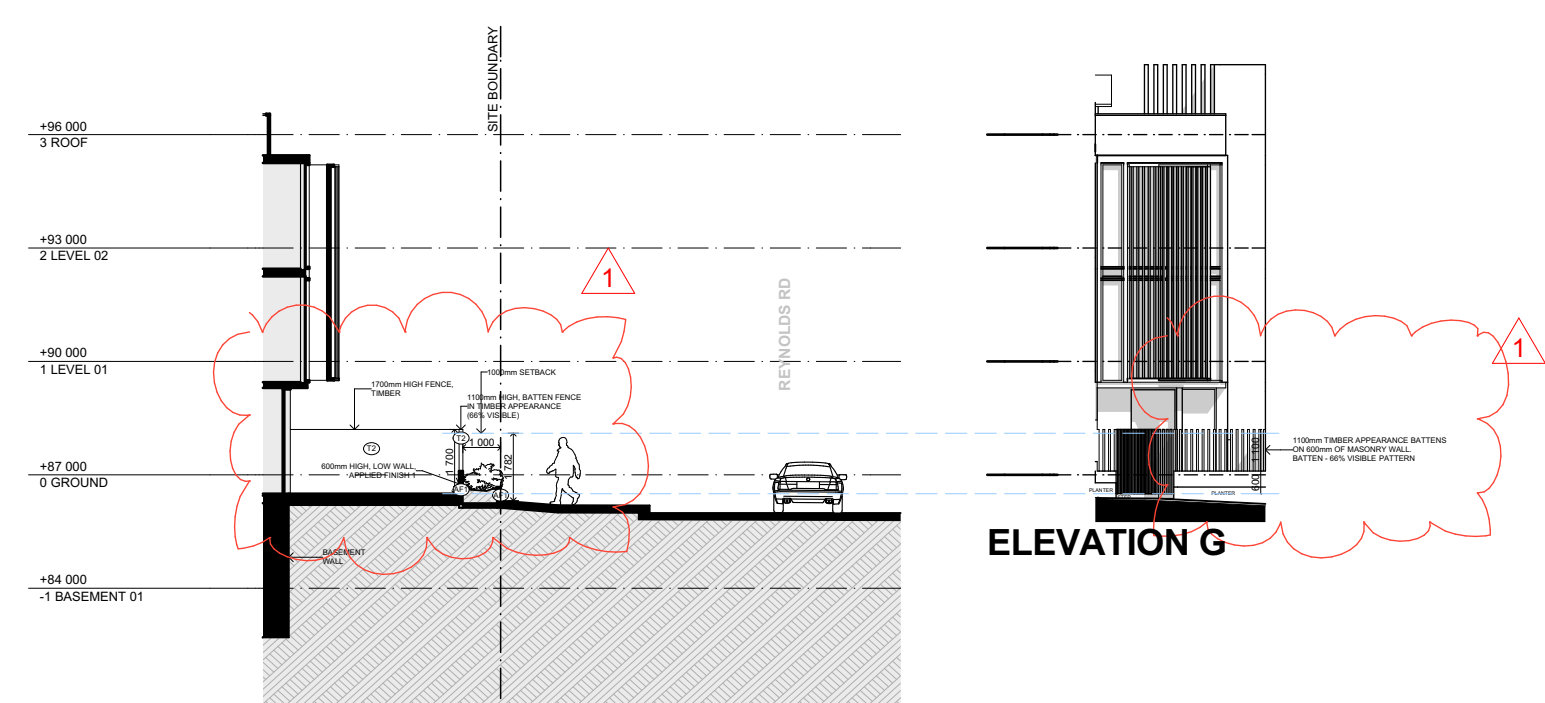


SECTION A

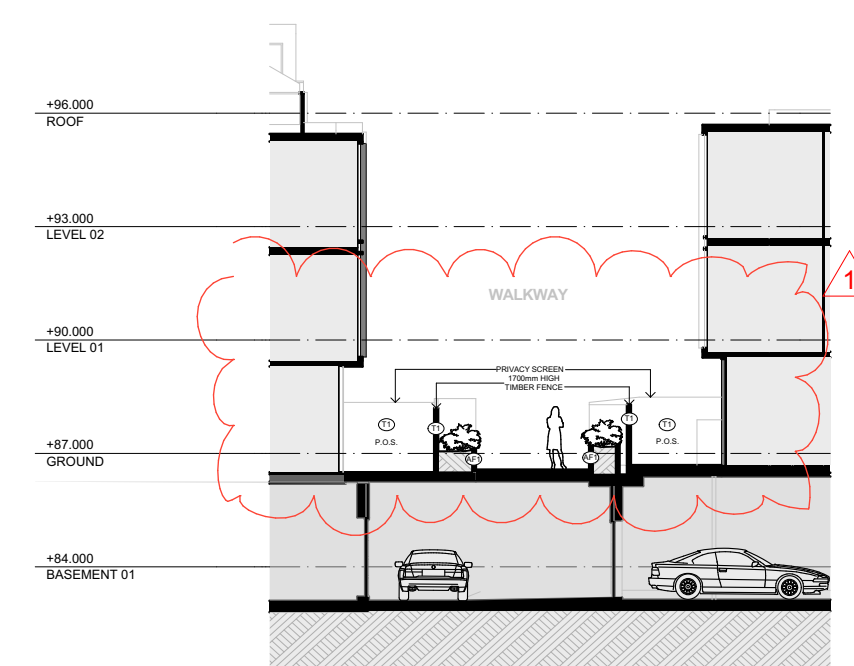


SECTION B

REYNOLDS ROAD FRONT FENCE DETAIL

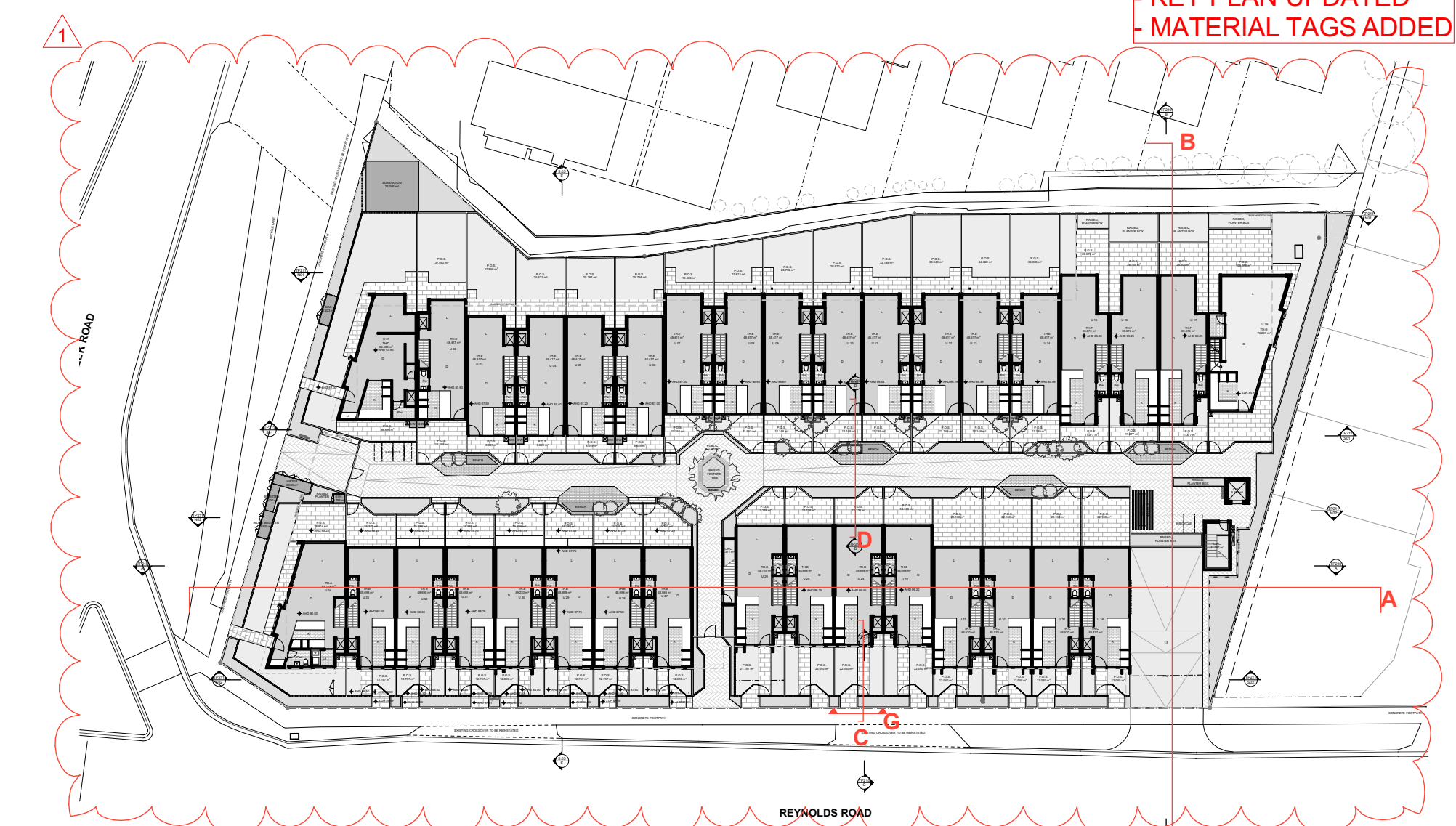


SECTION C
REYNOLDS ROAD FRONT FENCE



SECTION D
FENCES AND PRIVACY SCREENS IN BETWEEN
TWO TOWN HOUSE BLOCKS.

CHANGES
- FENCE HEIGHT
- KEY PLAN UPDATED
- MATERIAL TAGS ADDED



KEYPLAN 1:500

DATE	REVISION	BY	CHK	NO.
16/08/2016	TP RFI	SP	TC	-
14/09/2016	TP RFI	SP	TC	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS			
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SERVICES ENGINEER	#CONSULTANT 2-COMPANY NAME	T CONS. 2	PHONE
BUILDING SURVEYOR	#CONSULTANT 3-COMPANY NAME	T CONS. 3	PHONE
FIRE ENGINEER	#CONSULTANT 4-COMPANY NAME	T CONS. 4	PHONE
ESD	#CONSULTANT 5-COMPANY NAME	T CONS. 5	PHONE



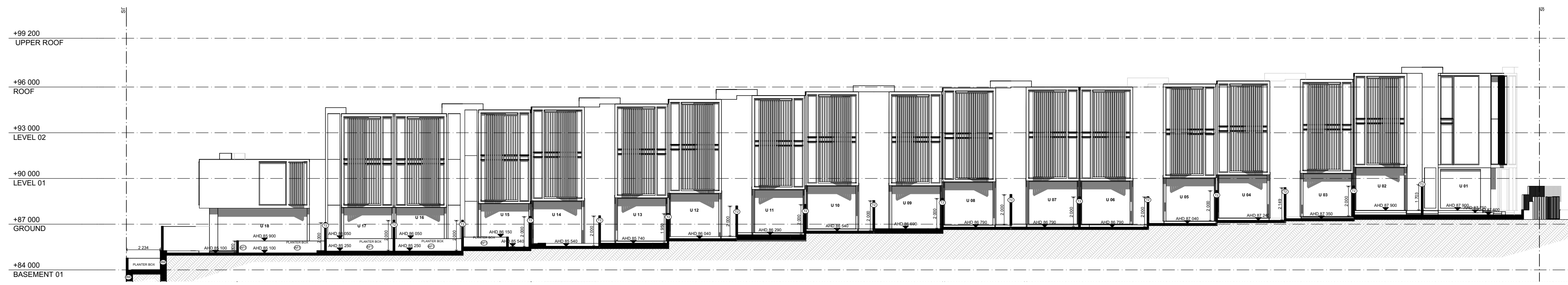
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PROJECT
**142-146 Andersons
Creek road,
Doncaster East VIC
3109**

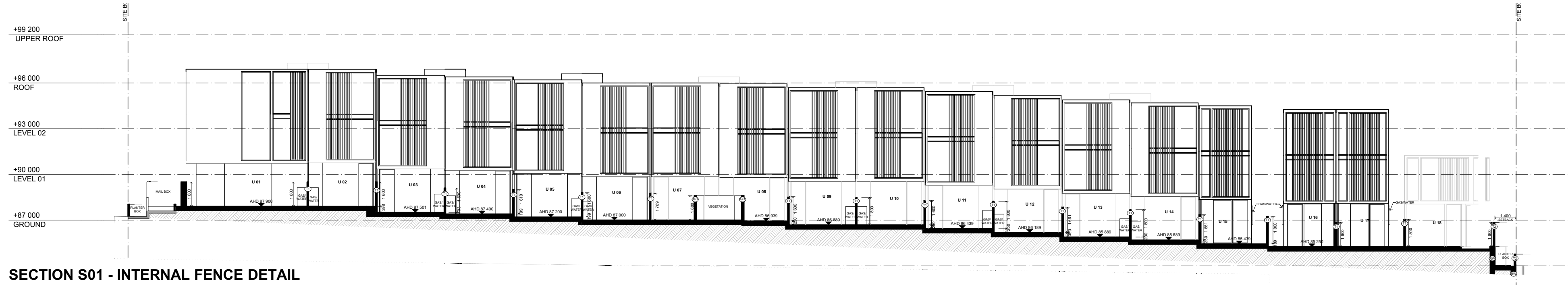
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SECTION

SCALE	1:200, 1:500, 1:100 @A1
DATE	PLOT DATE 24/10/2016
DRAWN SP	CHECKED TC
JOB NO. 12372	DRAWING NO. TP210
	REVISION 1

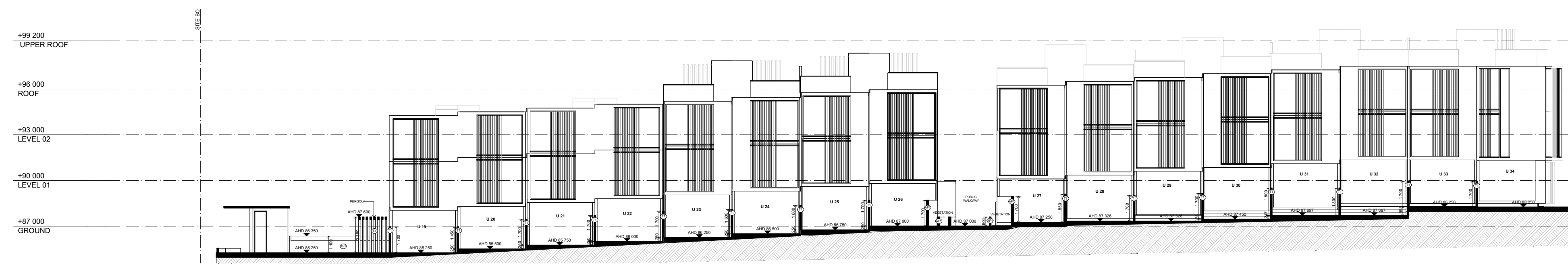
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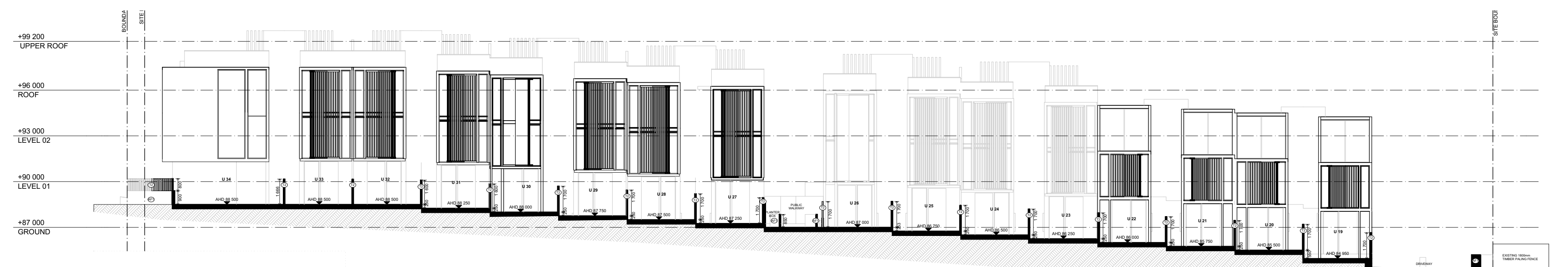
SECTION N01 - INTERNAL FENCE DETAIL



SECTION S01 - INTERNAL FENCE DETAIL

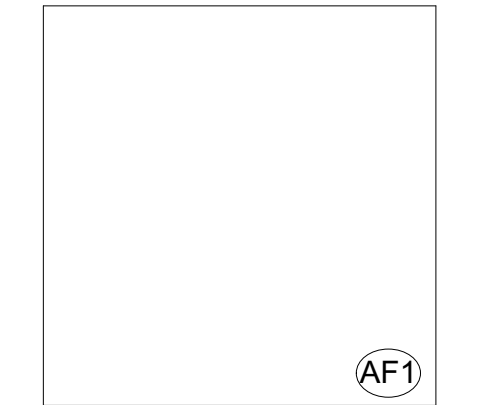


SECTION N02 - INTERNAL FENCE DETAIL



SECTION S02 - INTERNAL FENCE DETAIL

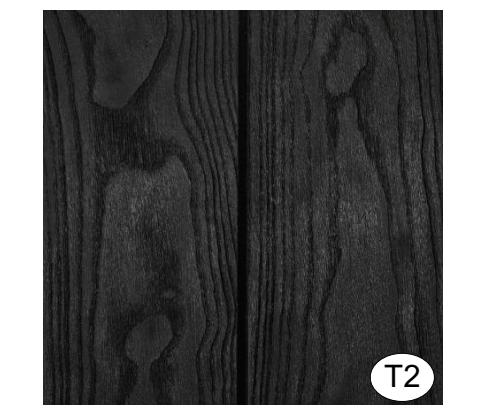
MATERIAL SCHEDULE FOR FRONT FENCE



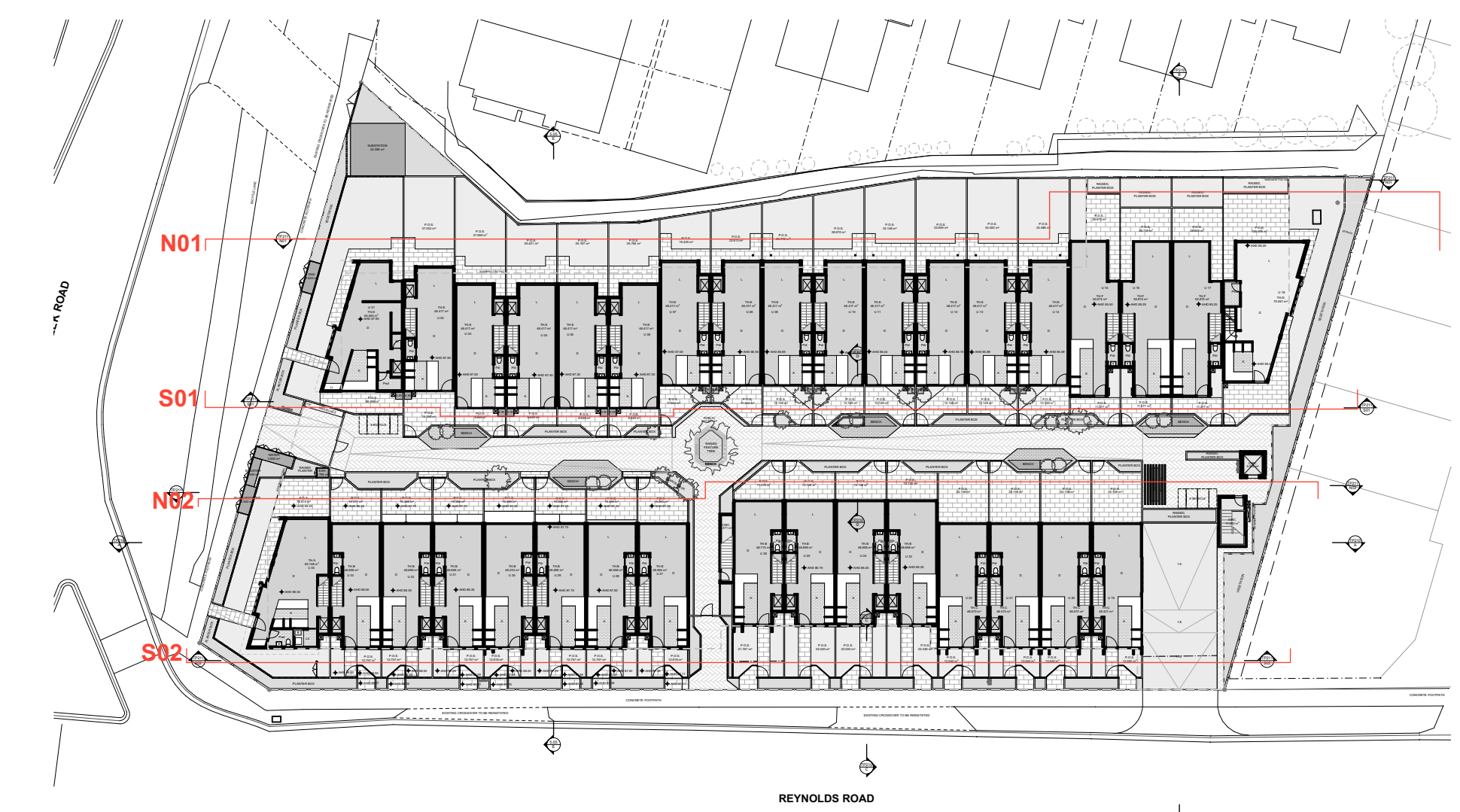
CONCRETE WITH LIGHT APPLIED FINISH



TIMBER APPEARANCE - LIGHT



TIMBER APPEARANCE - DARK



KEYPLAN 1:500

DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.

CONSULTANTS		
STRUCTURAL ENGINEER	#CONSULTANT 1-COMPANY NAME	T CONS. 1 PHONE
SERVICES ENGINEER	#CONSULTANT 2-COMPANY NAME	T CONS. 2 PHONE
BUILDING SURVEYOR	#CONSULTANT 3-COMPANY NAME	T CONS. 3 PHONE
FIRE ENGINEER	#CONSULTANT 4-COMPANY NAME	T CONS. 4 PHONE
ESD	#CONSULTANT 5-COMPANY NAME	T CONS. 5 PHONE



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PROJECT
142-146 Andersons Creek road, Doncaster East VIC 3109

DRAWING TITLE
SECTION - INTERNAL FENCE

SCALE
1:500, 1:200, 1:127, 1:3.02 @A1

DATE
24/10/2016

DRAWN SP
12372

JOB NO.
12372

DRAWING NO.
TP211

REVISION
-

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PLANT SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	DE/NE*	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
TREES						
ApO	<i>Acer palmatum</i> 'Osakazuki'	Japanese Maple 'Osakazuki'	DEx	5 x 4m	50cm/2.0mH	9
CBS	<i>Corymbia ficifolia</i> 'Baby Scarlet'	Baby Scarlet Flow ering Gum	EN	3 x 3m	50cm/2.0mH	3
BR	<i>Eucalyptus leucocylon</i> 'Roseat'	Red Flow ering Yellow Gum	EN	8 x 5m	50cm/2.0mH	3
Ep	<i>Eucalyptus polyanthemos</i>	Red Box	EN	7-15 x 5-12	30cm/1.5mH	2
EPD	<i>Elaeocarpus reticulatus</i> 'Prima Donna'	Prnk Flow ering Blueberry Ash	EN	5-8 x 3m	50cm/2.0mH	10
Lt	<i>Lagerstroemia indica</i> x <i>L. lauriei</i> 'Tuscarora'	Tuscarora Crepe Myrtle	DEx	6 x 4m	50cm/2.0mH	9
MgA	<i>Magnolia grandiflora</i> 'Alta'	Alta Bull Bay Magnolia	EBx	9 x 4m	50cm/2.0mH	4
MgLG	<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	EBx	4-5 x 2-3m	50cm/2.0mH	3
Pc	<i>Pistacia chinensis</i>	Chinese Pistachio	DEx	8 x 7m	50cm/2.0mH	3
PcA	<i>Pyrus calleryana</i> 'Aristocrat'	Aristocrat Callery Pear	DEx	12 x 6m	50cm/2.0mH	7
Qp	<i>Quercus palustris</i> 'Pringle'	Fastigate Frn Oak	DEx	14 x 3m	50cm/2.0mH	5
SIS	<i>Syzygium floribundum</i> 'Sw eeper'	Sw eeper Weeping Lilly-pilly	EN	10 x 5-8m	50cm/2.0mH	1
TOTAL						61
SHRUBS						
Ca	<i>Correa alba</i>	White Correa	EN	1-1.5 x 1-1.5m	140mm pot	
QGL	<i>Correa glabra</i> 'Ivory Lantern'	Compact Rock Correa	EN	0.5 x 0.5m	140mm pot	
BeBB	<i>Banksia ericifolia</i> 'Bull Baby'	Bull Baby Heath Banksia	EN	1.2 x 1m	140mm pot	
HFL	<i>Hymenocarpus flavius</i> 'Luscious'	Dw arf Native Frangipani	EN	0.4-0.6 x 1-1.5m	140mm pot	
MpM	<i>Murraya paniculata</i> 'Min-a-mit'	Dw arf Orange Jasminum	EBx	1 x 1m	140mm pot	
PrP	<i>Phytolacca myoporoides</i> 'Profusion'	Wax Flow er Profusion	EN	1 x 1m	140mm pot	
ROP	<i>Rhiphoplepis indica</i> 'Oriental Pearl'	Oriental Pearl Indian Haw thorn	EBx	1 x 1m	140mm pot	
SaBC	<i>Syzygium australe</i> 'Bush Christmas'	Bush Christmas Lilly-pilly	EN	1.5 x 0.7m Clipped Hedge	200mm pot	
WGB	<i>Westringia 'Grey Box'</i>	Native Box	EN	0.3-0.5 x 0.3-0.5m	140mm pot	
TOTAL						
GROUNDCOVERS & GRASSES						
AcLB	<i>Arthropodium cirratum</i> 'Matapouri Bay'	Renga Lily	EBx	0.6 x 0.6m	140mm pot	
As	<i>Austrostipa stipoides</i>	Prickly Spear-grass	EN	0.8 x 0.8m	50mm tube	
C	<i>Carpobrotus rosali</i>	Karkalla	EN	Spreading	140mm pot	
Cr	<i>Correa reflexa</i> var. <i>nummularifolia</i>	Prstrate Correa	EN	0.2-0.5 x 1-2m	140mm pot	
Co	<i>Cotyledon orbiculata</i>	Pig's Ear	EBx	0.5 x 0.5m	140mm pot	
DcCB	<i>Dianella caerulea</i> 'Cassa Blue'	Cassa Blue Flax Lily	EN	0.5 x 0.4m	140mm pot	
DEA	<i>Dianella tasmanica</i> 'Emerald Arch'	Emerald Arch Flax Lily	EN	0.45 x 0.45m	140mm pot	
En	<i>Euphorbia myrsinites</i>	Creeping Spurge	EBx	0.1 x 0.25m	140mm pot	
Fn	<i>Ficinia nodosa</i>	Knobby Cub-rush	EN	0.5-1.5 x 0.5-1m	50mm tube	
HFE	<i>Hardenbergia violacea</i> 'Sea of Purple'	Sea of Purple Coral Pea	EN	0.15-0.3 x 1.5m	140mm pot	
Lp	<i>Limnolobos perzli</i>	Sea Lavender	EBx	0.6 x 0.6m	140mm pot	
LNR	<i>Liriope muscari</i> 'Just Right'	Just Right Evergreen Giant	EN	0.5 x 0.5m	140mm pot	
LT	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mt-rush	EN	0.50-0.6 x 0.65m	140mm pot	
MpY	<i>Mysoporum paniculatum</i> 'Y areena'	Creeping Boobialya 'Y areena'	EN	0.1 x 1m	140mm pot	
PcC	<i>Poa polytrich</i> 'Courtney'	Courtney Tussock Grass	EN	0.5 x 0.5m	140mm pot	
Sm	<i>Senecio mandraliscae</i>	Blue Chalk Sticks	EBx	0.3 x 1m	140mm pot	
Ta	<i>Trachelospermum asiaticum</i>	Yellow Star Jasmine	EBx	0.2 x Spreading	140mm pot	
Vh	<i>Viola hederacea</i>	Native Violet	EN	0.15 x Spreading	140mm pot	
TOTAL						
CLIMBERS						
SYM	Botanical name 'Cultivar'	Common Name	EBx	Climbing	140mm pot	
SYM	Botanical name 'Cultivar'	Common Name	DEx	Climbing	140mm pot	
SYM	Botanical name 'Cultivar'	Common Name	EBx	Climbing	140mm pot	
TOTAL						

*DE = Deciduous/Evergreen NE = Native/Exotic

SPECIFICATION NOTES

Soil Preparation
Crushed rock, concrete spillage and any other material restrictive to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-advanced trees. All trees to be removed shall be stump ground and all rubbish/vegetative spoil is to be removed from site. Existing top soil in planting areas is to be preserved so that it does not receive additional compaction from site machinery and so that no rubble or building supplies are stored in these areas. No imported top soil is to be used within the root zones of trees to be protected. Any preparation of existing soil for planting within these areas is to be done by hand only. Holes (e.g. as the result of plant removal) and uneven soil levels may be patched using topsoil as specified below.

Weed Removal
All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately disposed of off site in a manner which will not allow their re-establishment elsewhere. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety procedures. Care must be taken to ensure that all trees to be retained are not damaged during weed removal. This also implies that any herbicides used are suitable for use around the vegetation to be retained.

Planting
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked through immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely. All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root curl or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.

Lawn - Turf
'Sapphire' Soft Leaf Buffalo turf (or similar) is to be supplied to lawn areas as shown. Turf is to be supplied by a specialist grower and is not to be allowed to dry out between cutting and laying. Turf should be laid in a stretcher pattern so that joints are staggered and is to be lightly tamped following laying. All lawn areas are to be thoroughly watered after planting and fertilised with an appropriate lawn starter at the quantities recommended by the manufacturer.

Mulch
Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or hardwood with not more than 5% fines content by volume (preferably zero fines). The average size of the woodchip must be approximately 10mm x 20mm x 5mm and the maximum length is not to exceed 30mm. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. Mulch is to be kept back 100mm from the stems of all plants to prevent collar rot.

Steppers in Pebble Mulch
Paving steppers (to later selection) are to be laid within a 30mm layer of pebble mulch (7mmØ Torquay Pebbles or similar) where shown at grade. This is to allow minimal compaction to tree roots and provide permeability. Provide 75 x 25mm plantation pine edges to all borders between pebble mulch paths and garden beds using 75x25x300mm long plantation pine stakes at 1200mm maximum centres. An additional stake is to be provided at joins in the plinth.

Timber Edges
Provide 75 x 25mm treated pine edges to all borders between gravel mulch paths and garden beds using 75x25x300mm long treated pine stakes at 1200mm maximum centres. An additional stake is to be provided at joins in the plinth.

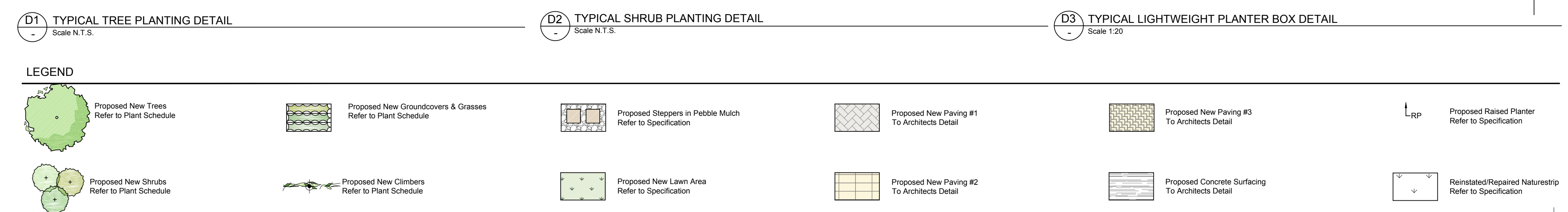
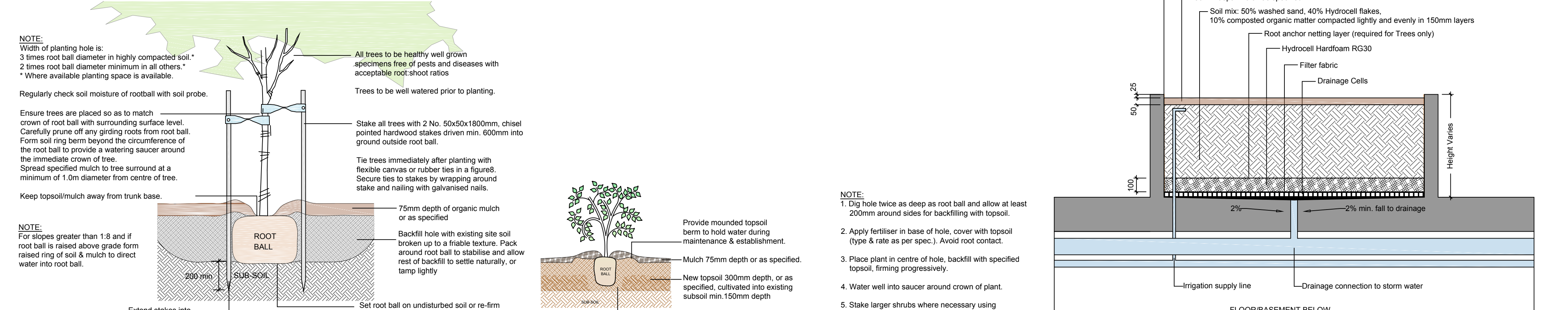
Irrigation
An approved drip irrigation system is to be supplied to all planter boxes & garden beds. It is the responsibility of the contractor to ensure that all irrigation meets manufacturers specifications. The system is to be connected to mains supply and include a rain-shut off device.

Raised Planter Boxes
Raised planter construction is to include, but not necessarily be limited to, the supply and installation of agricultural drains, drainage cells at base, filter fabric, planting medium, mulch and irrigation. Planter boxes must be effectively tanked and lined with corrugate to prevent leaking. Drainage cells are to be provided at the base of the planter and are to be covered with a layer of filter fabric and a 100mm deep layer of Hydrocell Hardfoam RG30. Provide root anchor netting over Hardfoam layer if trees are to be planted. A drainage outlet is to be installed in the base of the planter with the floor of the planter sloped towards it. Supply and spread evenly a soil mix comprising of 50% washed sand, 40% Hydrocell flakes, and 10% composted organic matter. Compact lightly and evenly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished surface that is graded evenly and ready for planting. Allow for 50mm layer of specified mulch to top of beds and a finished level 25-50mm below the planter rim. Drip irrigation as specified is to be installed beneath the mulch layer.

Repair/Restoration of damaged Nature-strips
Nature strips are to be restored to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 150mm layers. Areas are then to be re-seeded using an appropriate and matching turf type and the area fenced off to allow the re-establishment of lawn. Re-seeded areas are to be well irrigated and the area supplied with a slow release fertiliser at the quantities recommended by the manufacturer.



TYPICAL PLANTING DETAILS



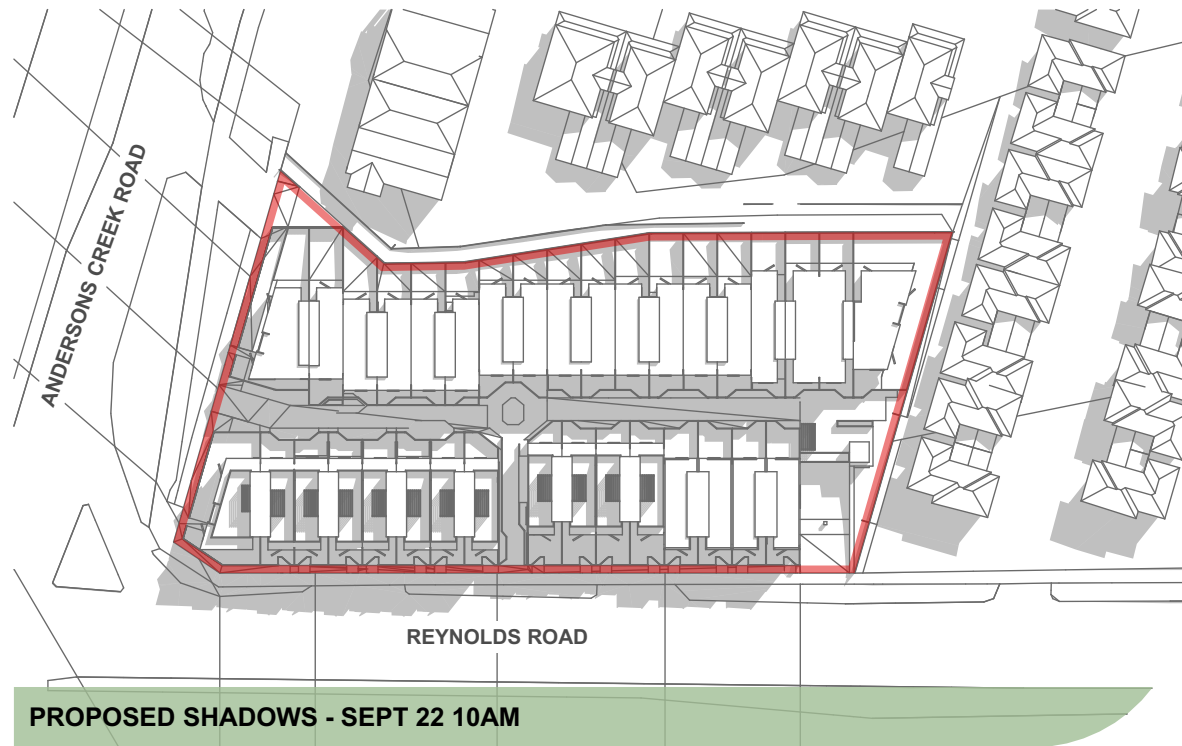
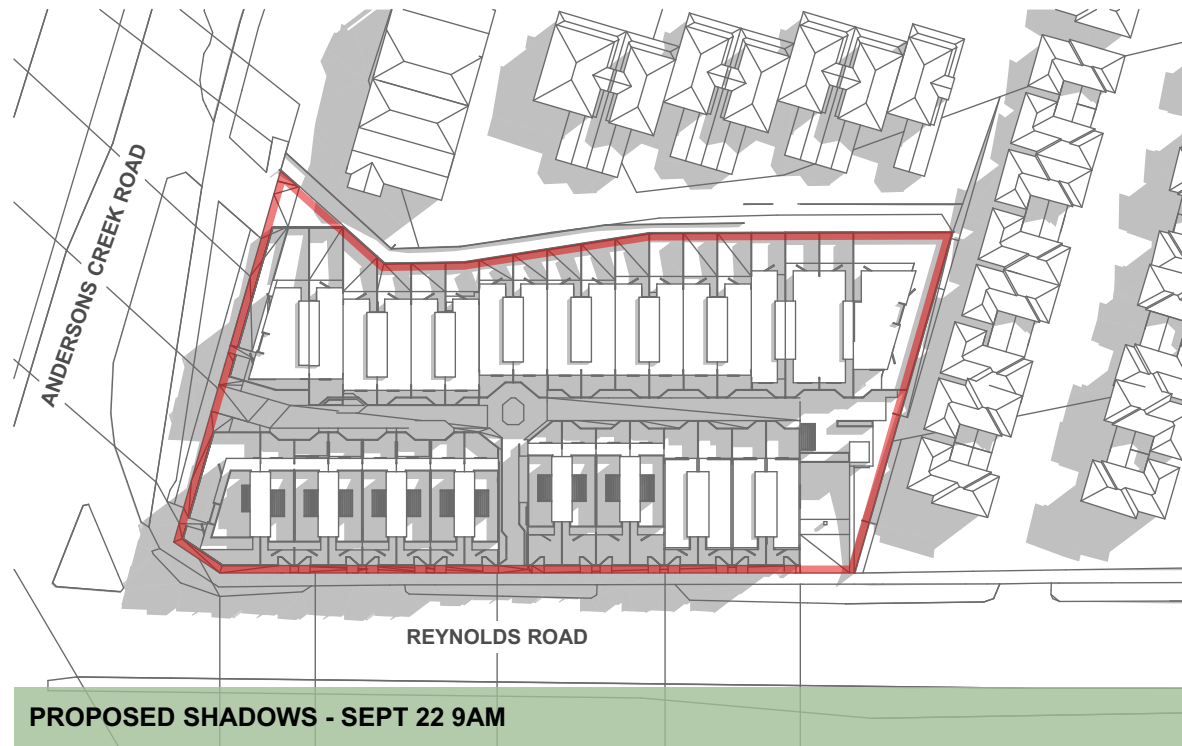
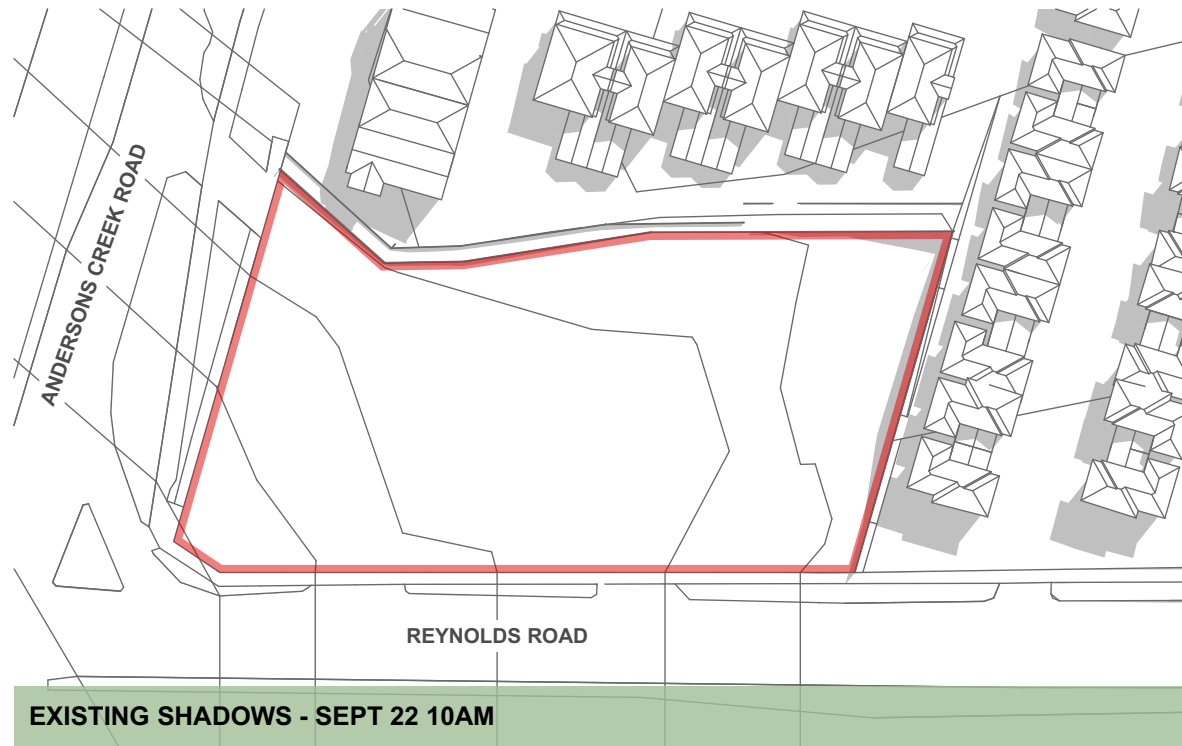
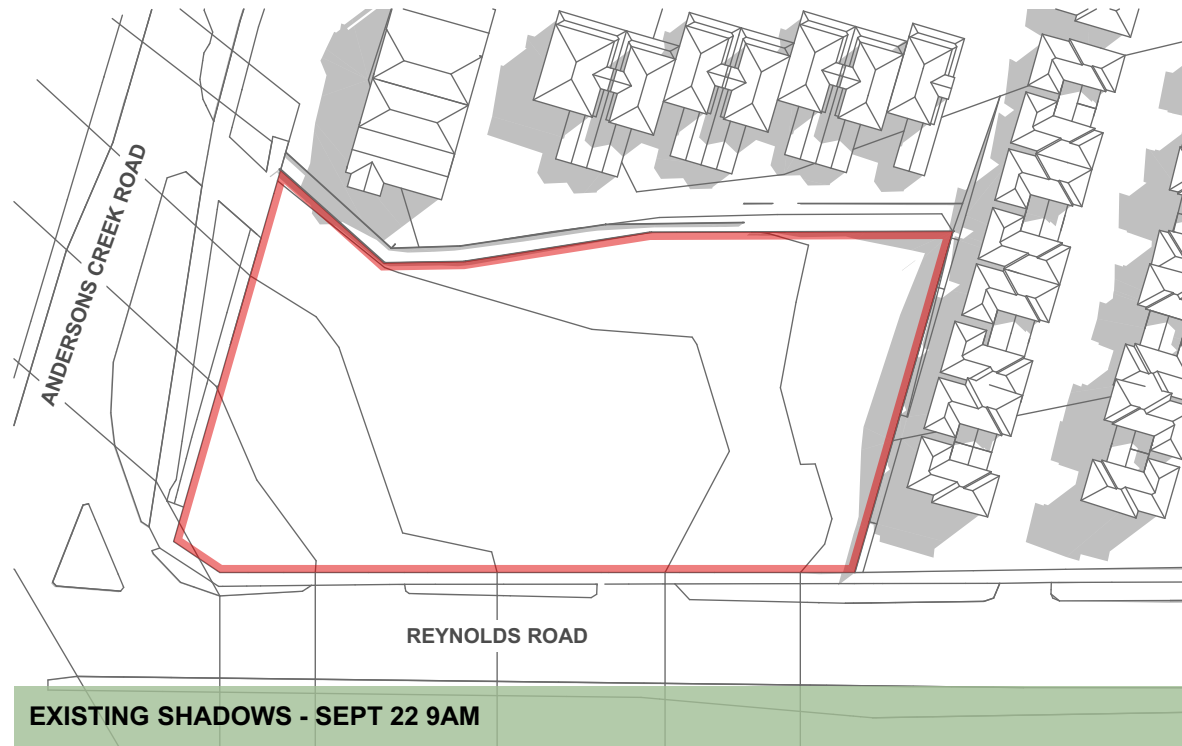
DRAFT
DATE: 16-08-2016

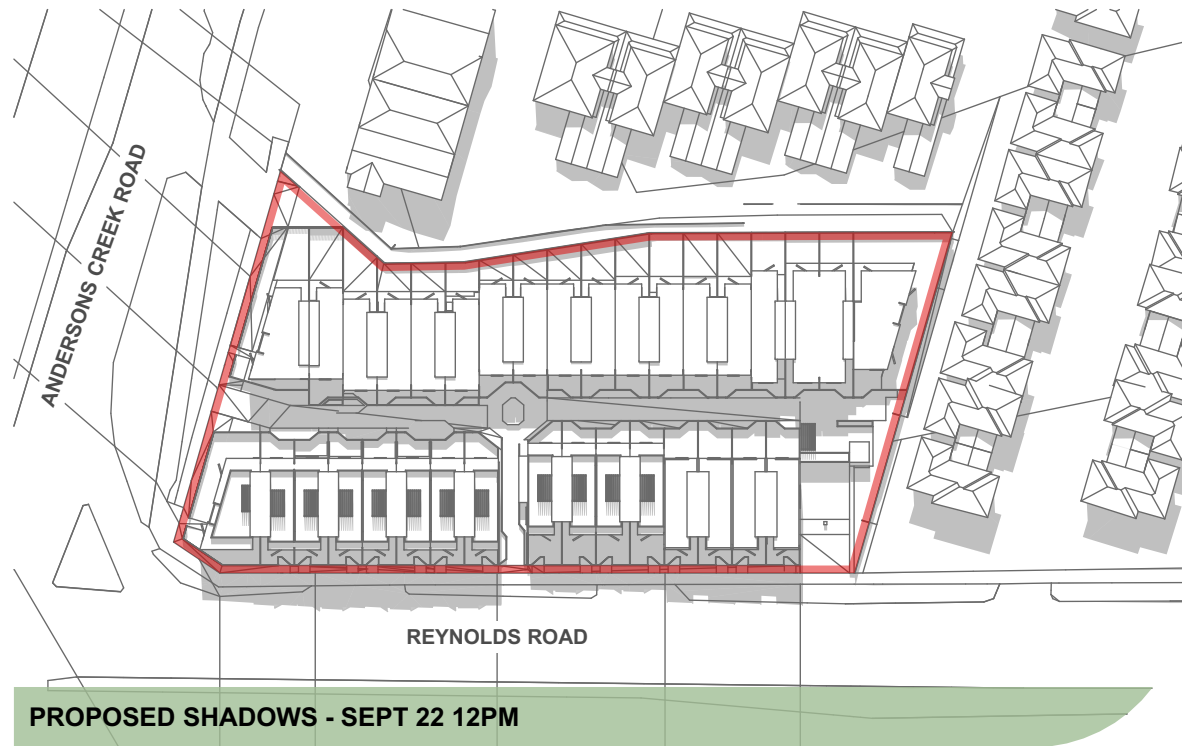
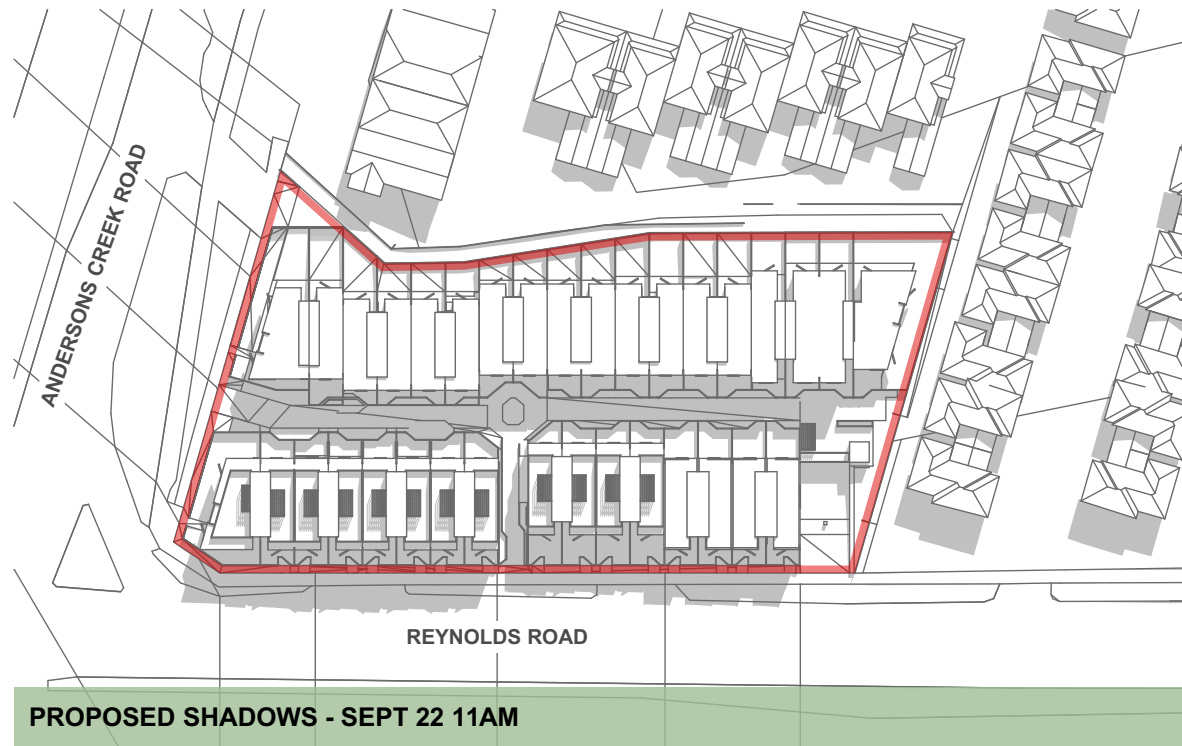
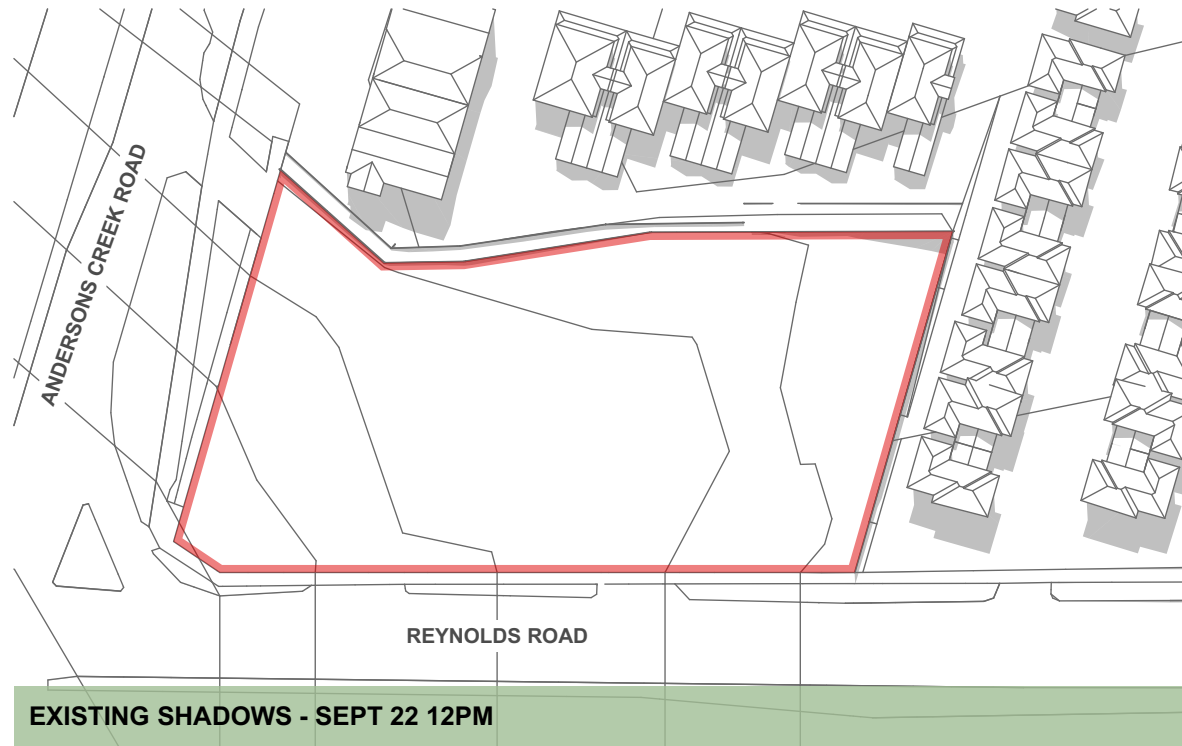
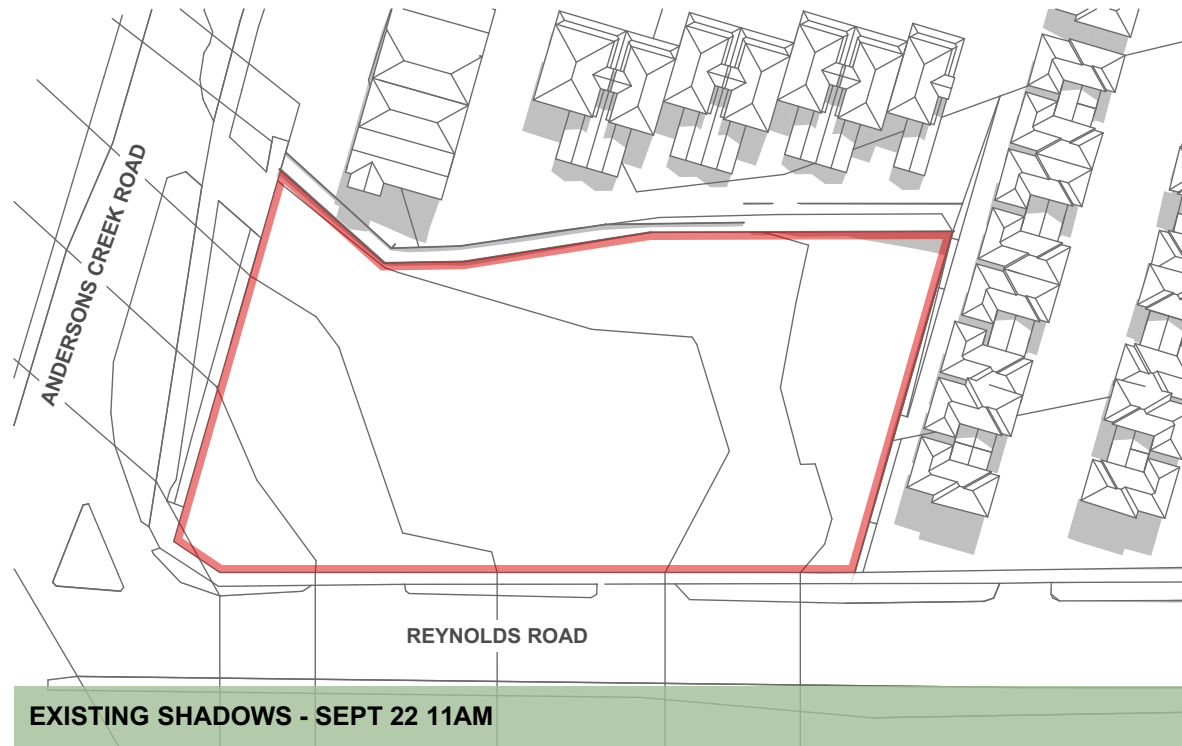
JOHN PATRICK LANDSCAPE ARCHITECTS PTY LTD
324 Victoria Street, Richmond, VIC 3121
T +61 3 9429 4855
F +61 3 9429 8211
admin@johnpatrick.com.au
www.johnpatrick.com.au

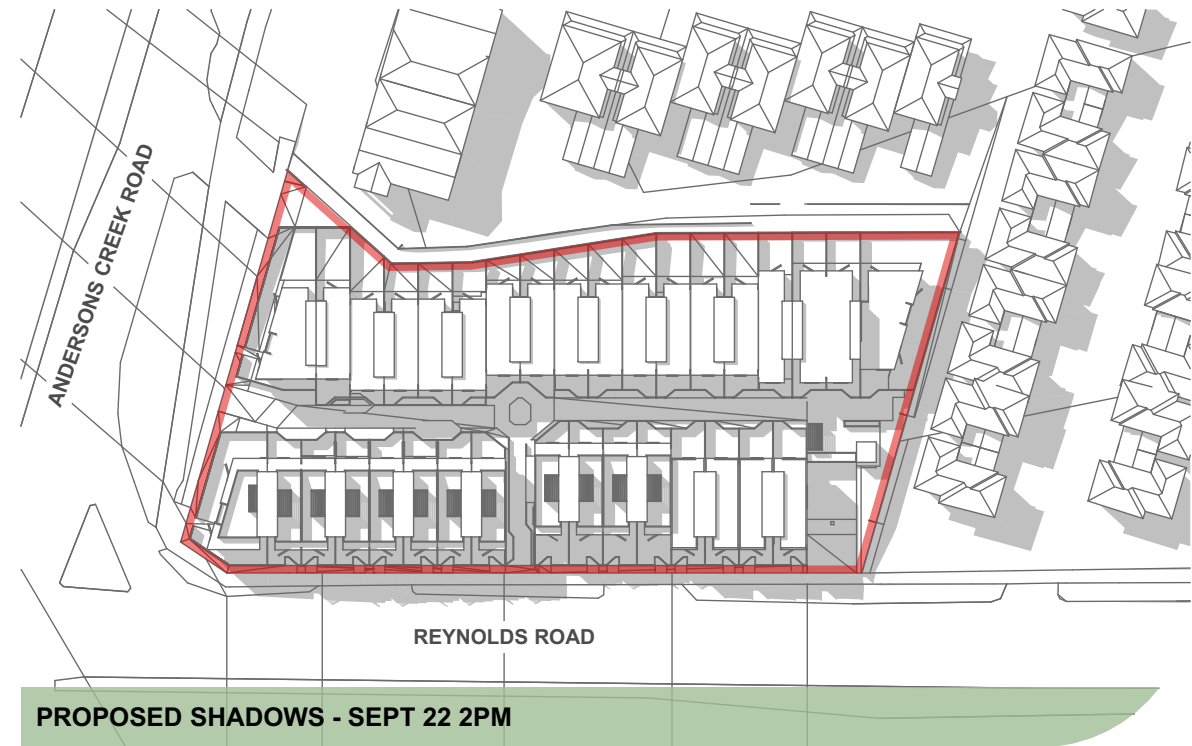
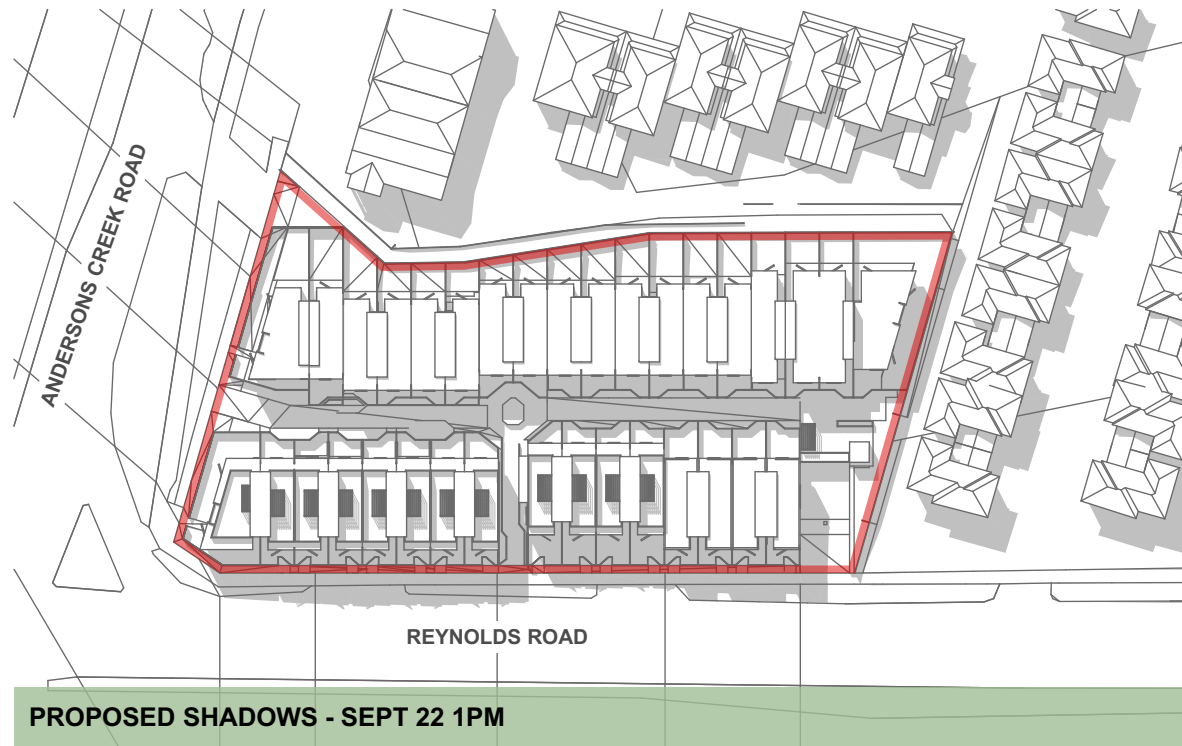
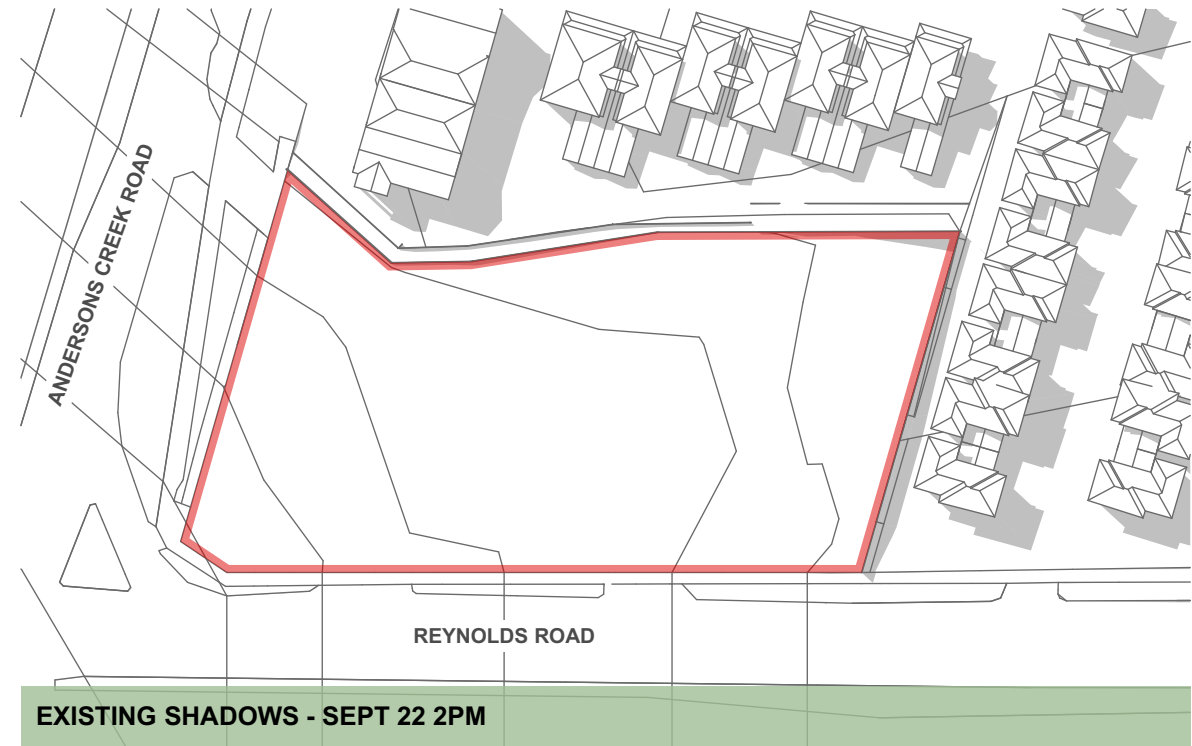
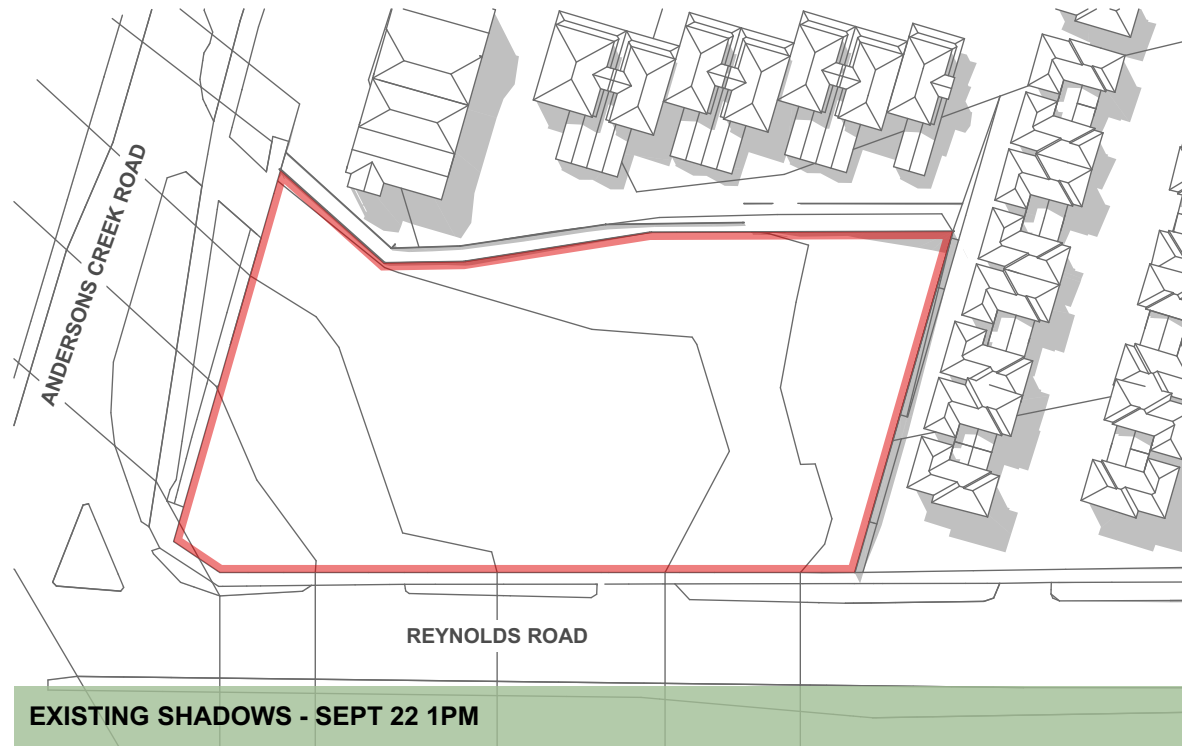
REVISION DATE BY
CLIENT: 888 DEVELOPMENTS PTY LTD
DRAWING: LANDSCAPE PLAN FOR TOWN PLANNING
PROJECT: APARTMENT DEVELOPMENT
142-146 ANDERSON CREEK ROAD, DONCASTER EAST

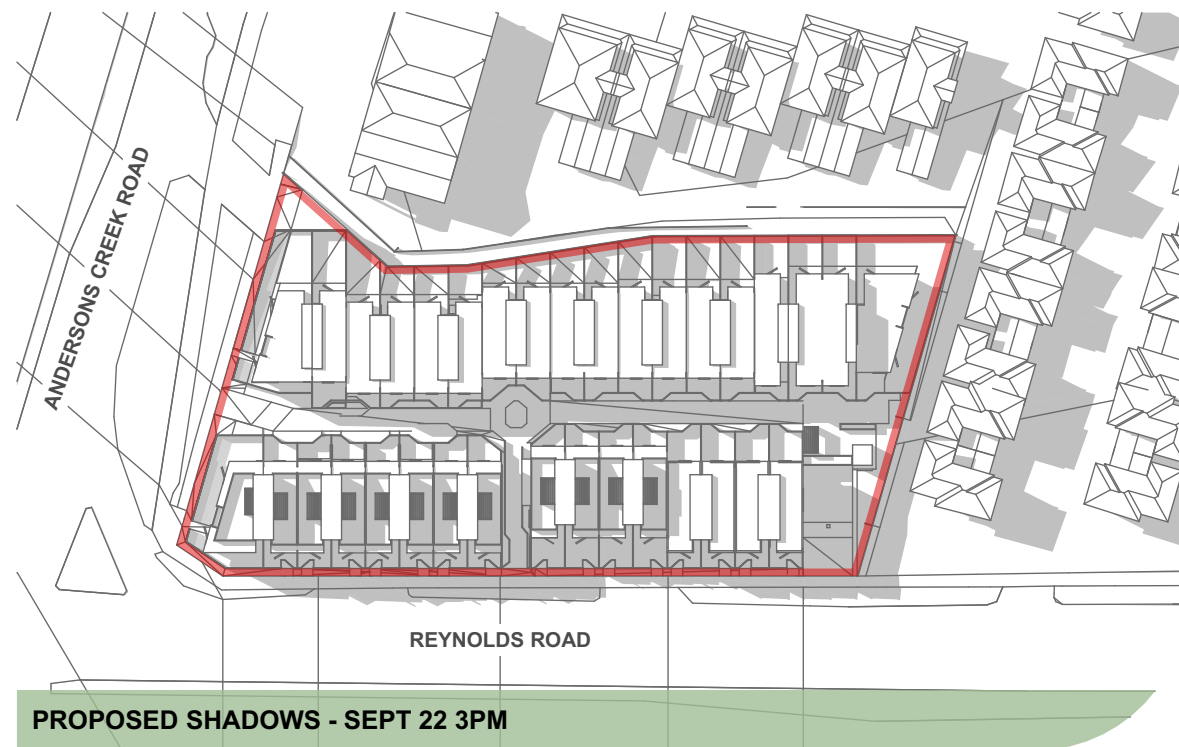
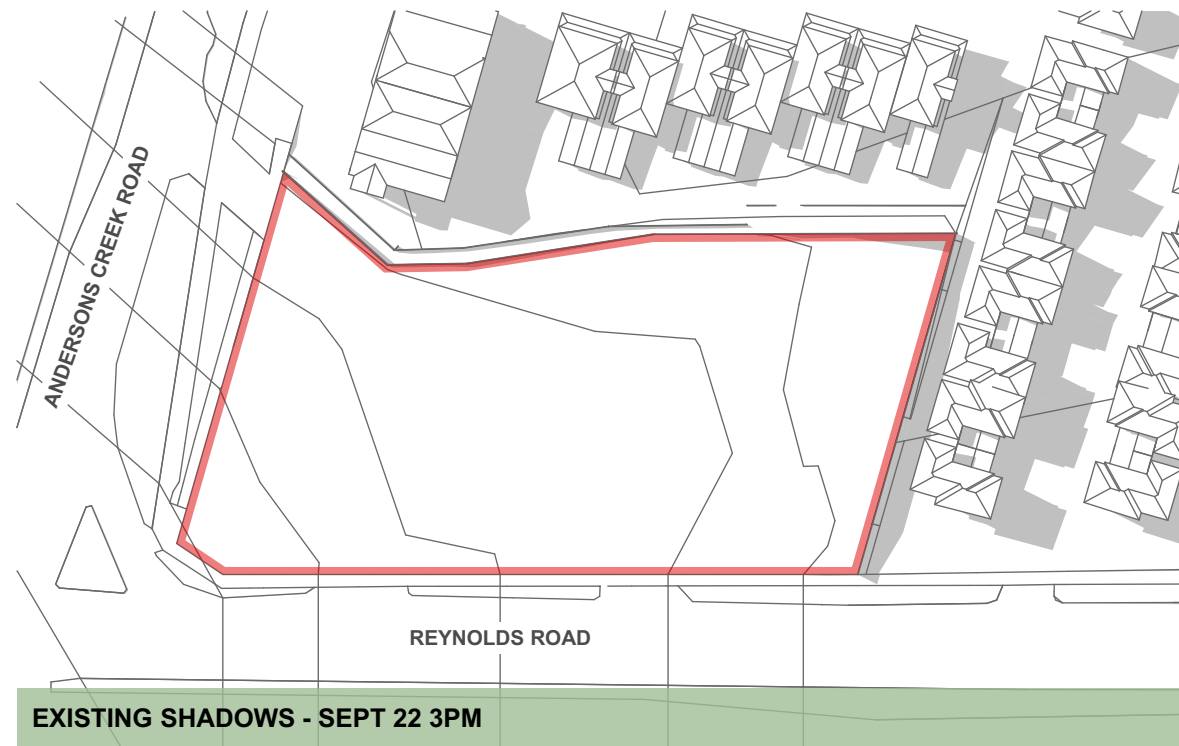
SCALE: 1:200 @ A1
DATE: AUGUST 2016
DRAWN: JA
CHECKED: BM
JOB NO: 16-645
DWS NO: L-TP01
CAD FILE: 16-645-L-TP01

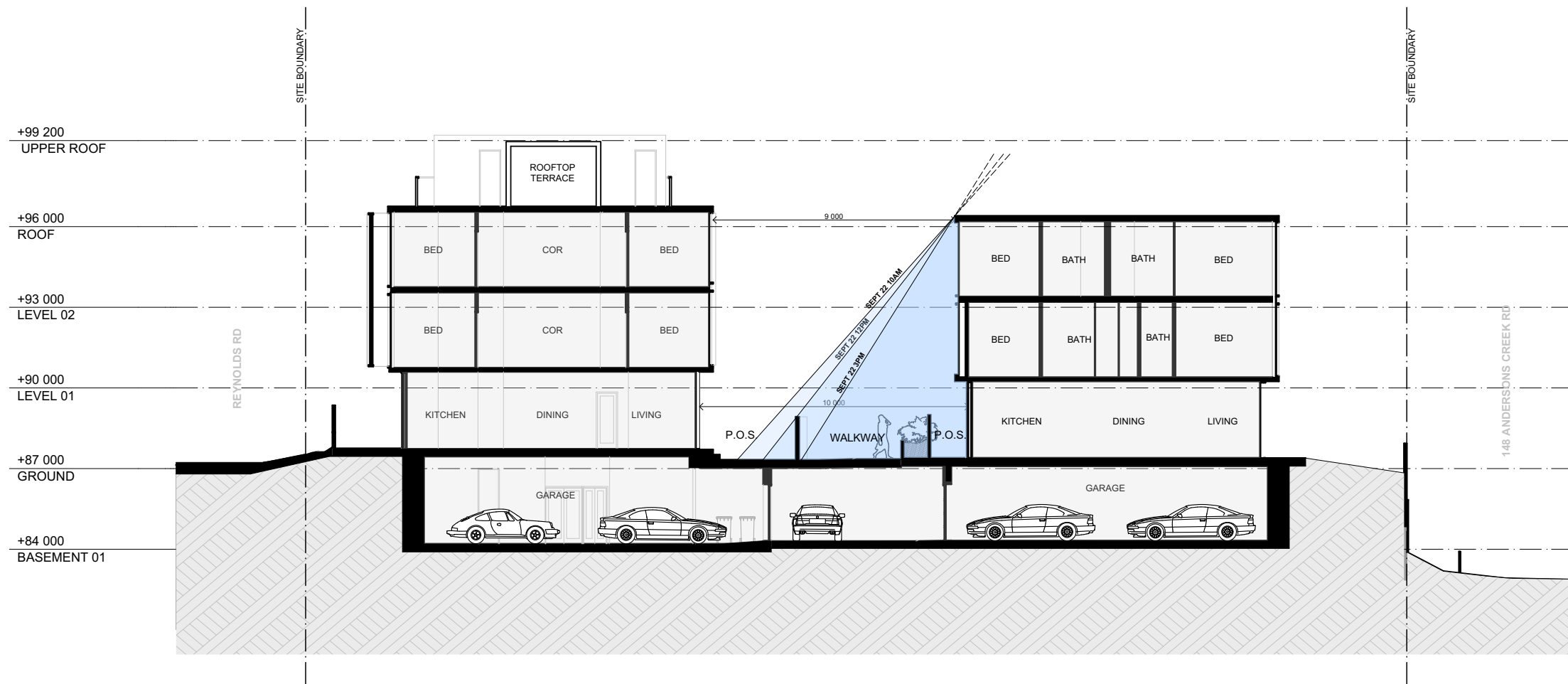
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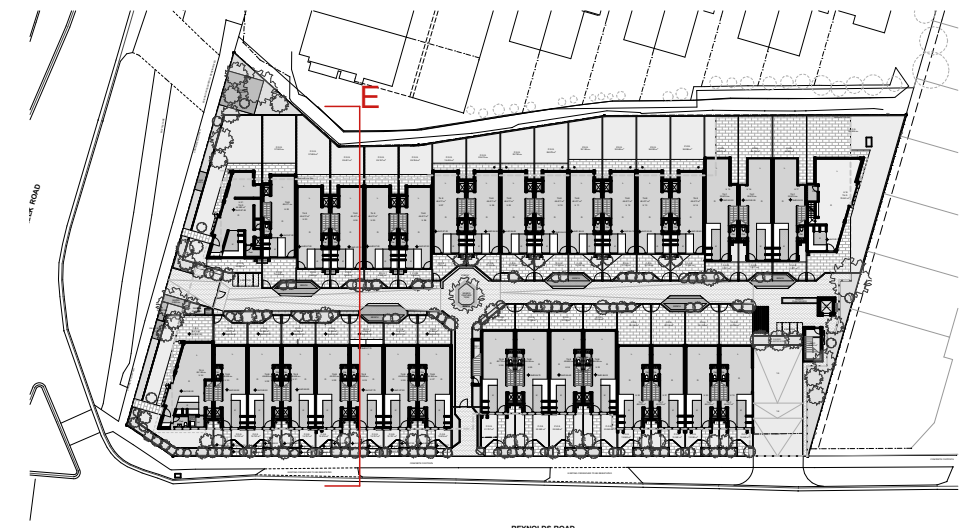








SECTION E 1:200 @A3
SHADOW STUDIES BETWEEN TWO TOWNHOUSES

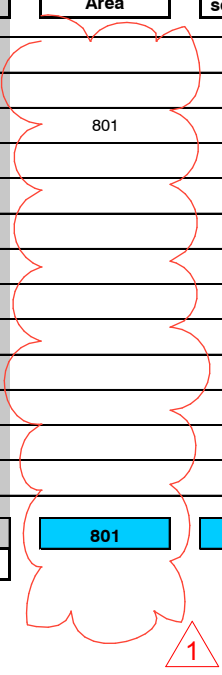


KEYPLAN

**142-146 Andersons Creek rd, Doncaster East.
DEVELOPMENT SCHEDULE**

Job Number 12372
 File K:\12300\12372\Administration\12 Schedules\12.6.01 Development Density
 Date 19/09/2016

Area	RESIDENTIAL MIX							TOTAL APTS/FLOOR	SERVICES/CIRC Area	RETAIL Area (GFA)	COMMERCIAL Area (GFA)	CARPARK		PUBLIC Area	AREA PER LEVEL (EXCLUDING BALCONIES)		FLOOR EFFICEINCY (EX CARS & BALCONIES) %	
	219sqm TH.A	165sqm TH.B	152sqm TH.C	208sqm TH.D	152sqm TH.E	174sqm TH.F	149sqm TH.G					NO	Area		sellable sqm	GFA		
Basement 01	1824	1	11	4	1	13		30	13			74	1113		1824	2950	99.29%	
Ground Floor	1726					3	1	4	59					801	1726	1785	96.69%	
Level 01	1855							0							1855	1855	100.00%	
Level 02	1772							0							1772	1772	100.00%	
Roof	144							0							144	144	100.00%	
								0							0	0	-	
								0							0	0	-	
								0							0	0	-	
								0							0	0	-	
								0							0	0	-	
								0							0	0	-	
								0							0	0	-	
Totals	7321	1	11	4	1	13	3	1	72	0	0	74	1113	801	7321	8506		
TOTAL TOWNHOUSES = 34																		
		3%	32%	12%	3%	38%	9%	3%										
												sqm/car = 15.0						



TYPICAL TOWNHOUSE TYPES

	TYPE A	TYPE B	TYPE C	TYPE D	TYPE E	TYPE F	TYPE G
GROUND	65	49	49	64	48	56	70
LEVEL 01	71	52	52	72	52	59	79
LEVEL 02	71	52	51	72	52	59	
ROOF	12	12					
TOTAL	219	165	152	208	152	174	149

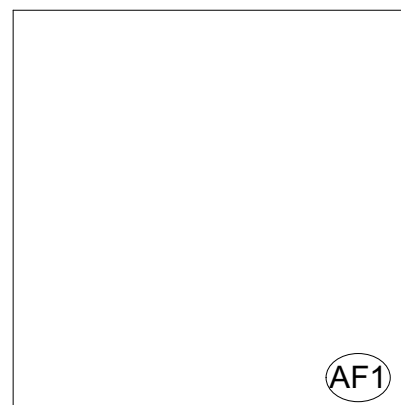
*PRIVATE OPEN SPACES AND BASEMENTS VARY,
 PLEASE SEE BASEMENT, GROUND FLOOR AND ROOF PLAN FOR AREA.

PERMEABILITY 20%
 SITE COVERAGE 47%
 (SITE AREA 4042sqm)

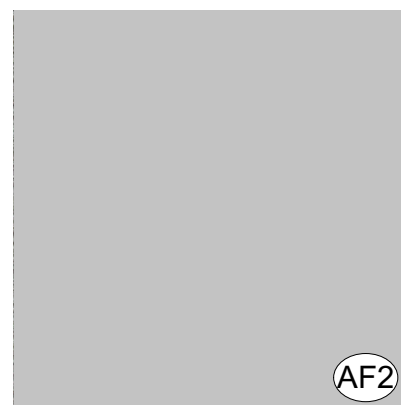
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CHANGES
 - PUBLIC GREEN AREA INCREASE

7.01

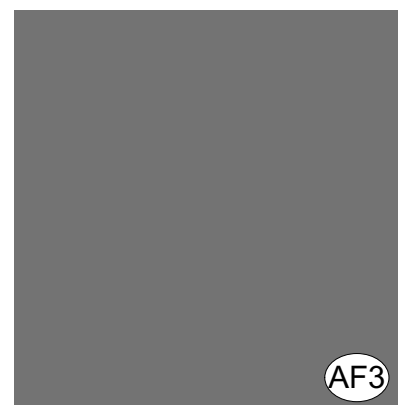
MATERIAL SCHEDULE



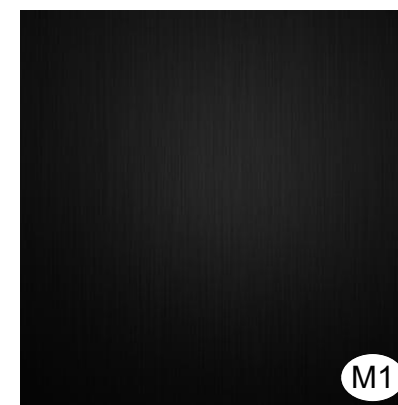
APPLIED FINISH - LIGHT



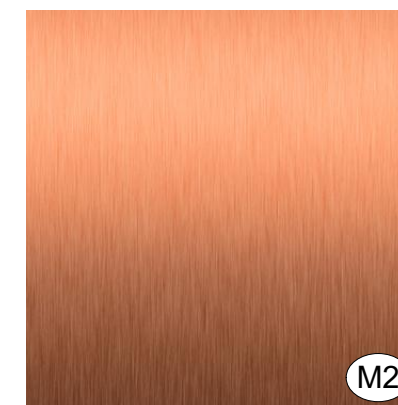
APPLIED FINISH - GREY



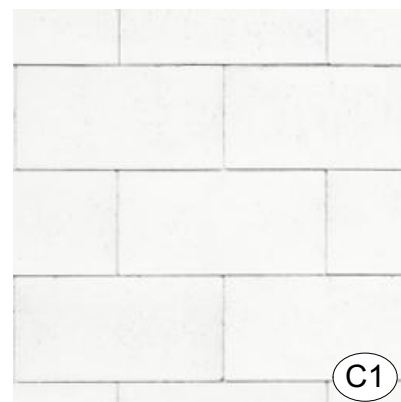
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METAL - DARK



METAL - COPPER



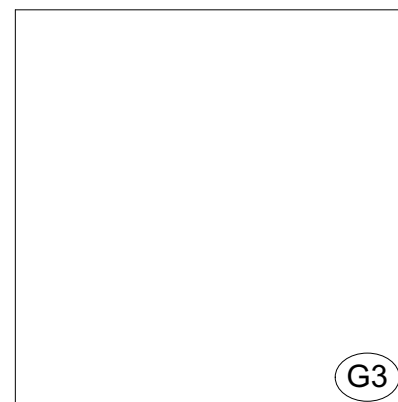
CONCRETE BLOCK - LIGHT



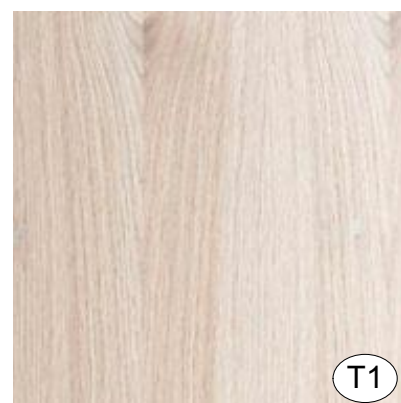
GLAZING - CLEAR



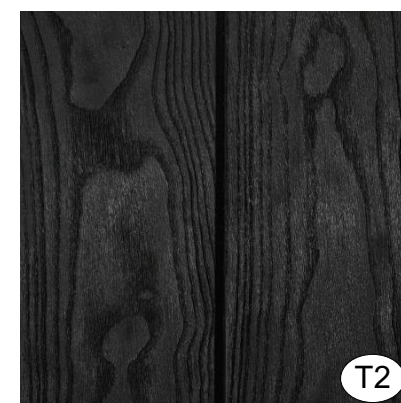
GLAZING - DARK TINTED



GLASS DOOR - WHITE



TIMBER APPEARANCE - LIGHT



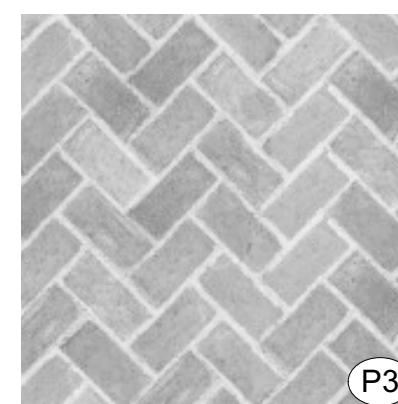
TIMBER APPEARANCE - DARK



CONCRETE PAVEMENT - LIGHT
(PUBLIC AREA)



CONCRETE PAVEMENT - GREY
(PUBLIC AREA)



BRICK PAVEMENT - GREY
(PRIVATE AREA)



CONCRETE RETAINING WALL
- WOOD GRAIN FINISH

CHANGES
- RW MATERIAL ADDED
- T3 MATERIAL REMOVED
- MATERIAL CHANGE T2
- KEY PLAN UPDATED

EXTERNAL FINISHES

- (AF1) APPLIED FINISH - LIGHT
- (AF2) APPLIED FINISH - GREY
- (AF3) APPLIED FINISH - DARK
- (M1) METAL - DARK
- (M2) METAL - COPPER
- (C1) CONCRETE BLOCK - LIGHT
- (G1) GLAZING - CLEAR
- (G2) GLAZING - DARK, TINTED
- (G3) GLASS DOOR - WHITE
- (T1) TIMBER APPEARANCE - LIGHT
- (T2) TIMBER APPEARANCE - DARK
- (P1) CONCRETE PAVEMENT - LIGHT
- (P2) CONCRETE PAVEMENT - GREY
- (P3) CONCRETE BRICK PATTERN PAVEMENT - GREY
- (RW) CONCRETE RETAINING WALL - WOOD GRAIN FINISH

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.07 Residential Growth Zone, Schedule 2
- Clause 43.02 Design and Development Overlay, Schedule 9
- Clause 52.06 Car Parking
- Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

Zone

Clause 32.07 Residential Growth Zone, Schedule 2

The purpose of the Residential Growth Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activities areas.*
- *To encourage a scale of development that provides a transition between areas of more intensive use and development and areas of restricted housing growth.*
- *To allow educational, recreational, religious, community and a limited range of other non residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot within this zone.

An assessment for buildings and works for two or more dwellings is required under the provisions of Clause 55 of the Manningham Planning Scheme.

The purpose of Clause 55 is generally to provide well designed dwellings with considered regard to internal amenity, while at the same time, maintaining the amenity and character of the locality, with particular emphasis on the amenity of adjoining residents.

Overlay(s)

Clause 43.02 Schedule 9 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around The Pines Activity Centre.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To encourage apartment style developments on larger lots which address the street frontage.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive.*
- *To implement the building form of The Pines Activity Centre Structure Plan 2011.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the associated building.*
- *To ensure the design of basement car parks complement the design of the building, minimises unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To provide built form and landscape outcomes that provide for a transition between the subject site and abutting residential properties.*

Building Height & Setbacks

- Development should comply with the preferred height of 14 metres in Area B.

A Planning Permit is required to construct a building or construct or carry out works under this overlay.

State Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01-1 Urban design

The objective of this policy is:

- *To create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.*

Clause 15.01-2 Urban design principles

The objective of this policy is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

Clause 15.01-4 Design for safety

The objective of this policy is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

Policy guidelines

Planning must consider as relevant:

- *Safer Design Guidelines for Victoria (Crime Prevention Victoria and Department of Sustainability and Environment, 2005).*

Clause 15.01-5 Cultural identity and neighbourhood character

The objective of this policy is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

Clause 15.02-1 Energy and resource efficiency

The objective of this policy is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

Clause 16.01-1 Integrated housing

The objective of this policy is:

- *To promote a housing market that meets community needs.*

Clause 16.01-2 Location of residential development

The objective of this policy is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

Clause 16.01-4 Housing diversity

The objective of this policy is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 16.01-5 Housing affordability

The objective of this policy is:

- *To deliver more affordable housing closer to jobs, transport and services.*

Local Planning Policy Framework (LPPF)

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

The site is within “Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads”.

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The area around The Pines Activity Centre (shown on Manningham Planning Scheme maps as DDO9) is an area where development ranging in height from 11 metres to 16 metres is encouraged in designated areas, as identified in The Pines Activity Centre Structure Plan (2011).

Development in Precinct 2 should:

- *Provide for contemporary architecture*
- *Achieve high design standards*
- *Provide visual interest and make a positive contribution to the streetscape*
- *Provide a graduated building line from side and rear boundaries*
- *Minimise adverse amenity impacts on adjoining properties*
- *Use varied and durable building materials*
- *Incorporate a landscape treatment that enhances the overall appearance of the development.*
- *Integrate car parking requirements into the design of buildings and landform.*

Clause 21.05-2 Housing

The relevant objectives of this policy are:

- *To accommodate Manningham’s projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.*
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- *To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.*
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*
- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality’s population.*
- *Promote the consolidation of lots to provide for a diversity of housing types and design options.*
- *Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.*

- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

Clause 21.05-4 Built form and neighbourhood character

The objective of this policy is:

- *To ensure that residential development enhances the existing or preferred neighbourhood character of the residential character precincts as shown on Map 1 to this Clause.*

The strategies to achieve this objective include:

- *Require residential development to be designed and landscaped to make a positive contribution to the streetscape and the character of the local area.*
- *Ensure that where development is constructed on steeply sloping sites that any development is encouraged to adopt suitable architectural techniques that minimise earthworks and building bulk.*
- *Ensure that development is designed to provide a high level of internal amenity for residents.*
- *Require residential development to include stepped heights, articulation and sufficient setbacks to avoid detrimental impacts to the area's character and amenity.*

Local Planning Policy

Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Particular Provisions

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings
- 1 visitor space to every 5 dwellings for developments of 5 or more dwellings

Clause 52.06-8 outlines various design standards for parking areas that should be achieved.

Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road

The purpose of this clause is:

- *To ensure appropriate access to identified roads.*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Road Zone, Category 1. A permit is required to create or alter access to land in a Public Acquisition Overlay if the purpose of acquisition is for a Category 1 road.

Clause 52.34 Bicycle Facilities

No bicycle spaces are required to be provided as the development is less than 4 storeys.

Clause 55 Two more dwellings on a lot and residential buildings

The development of two or more dwellings on a lot must meet the requirements of this clause.

General Provisions

Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- The State Planning Policy Framework and the Local Planning Policy *Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*

5.3 OTHER RELEVANT LEGISLATION AND POLICY

None applicable.