

Proposed Commercial & Residential Development

Attachment 1

Address: 121-125 James Street Templestowe Victoria 3106

Town Planning Application

Drawing Schedule

| Sheet No. | Title |
|-----------|-----------------------------------|
| 00 | Cover Page |
| 01 | Neighbourhood Character |
| 02 | Design Response |
| 03 | Trees Condition |
| 04 | Basement floor plan |
| 05 | Ground Floor Plan |
| 06 | First Floor Plan |
| 06 | First Floor Plan and Surroundings |
| 07 | Second Floor Plan |
| 08 | Third Floor Plan |
| 09 | Fourth Floor |
| 10 | Roof Plan |
| 11.1 | Elevations 1 |
| 11.2 | Elevations 2 |
| 12.1 | Sections A & B |
| 12.2 | Sections X & Z |
| 13 | Shadow Diagrams |
| 14.1 | Colour Elevations 1 |
| 14.2 | Colour Elevations 2 |
| 15 | Material Schedule - Details |
| 16 | Perspectives 1 |
| 17 | Perspectives 2 |
| 18 | Perspectives 3 |
| 19 | Perspective 4 |
| 20 | Street Elevation |
| 21 | First Floor Retaining Wall Levels |



DEVELOPMENT SUMMARY TABLE 121-125 JAMES STREET TEMPLESTOWE 3106

BUILDING AND SITE AREA ANALYSIS

| FLOOR | TOTAL AREA M ² | % Covered Area Ground Floor | % Covered Area First Floor |
|--|---------------------------|-----------------------------|----------------------------|
| Basement | 2,233 | N/A | N/A |
| Ground floor | 2,253 | N/A | N/A |
| First floor | 1,610 | 71.4% | N/A |
| Second floor | 1,476 | 65.5% | 90.5% |
| Third floor | 1,051 | 46.6% | 65.2% |
| Fourth floor | 497 | 22.0% | 30.86% |
| Total Site Area | | | 2505 Sq M |
| Site Coverage (First Floor/Total site area) | | | 64.2% |
| Total land scape or permeable (437m ² on First Floor) | | | 17.4% |

Commercial

| Commercial Permisses | Retail Area M ² | Type of Occupancy | Car Parking Required |
|----------------------|----------------------------|--------------------------------|----------------------|
| 1 | 120 | Food and Drink Premise (Cafe) | 4.8 |
| 2 | 110 | Take away | 4.4 |
| 3 | 103 | Retail | 4 |
| 4 | 139 | Retail | 4.8 |

| First Floor | | | |
|-------------|-----|---------------------------------|-----|
| 5 | 225 | Convenience Shop | 10 |
| 6 | 92 | Retail | 3.7 |
| 7 | 115 | Retail | 4.6 |
| 8 | 83 | Retail | 3.3 |
| Total | 987 | | 40 |
| Basement | | 14 bicycle Spaces for residents | |

RESIDENTIAL

| FLOOR | Dwelling No | Internal Area Sq M | POS or Balcony | No of Bed Room | No of Car Spaces | Car Space # |
|--------|-------------|--------------------|----------------|----------------|------------------|-------------|
| FIRST | 1 | 95 | 35.5 | 2 | 1 | B1 |
| | 2 | 88 | 33.3 | 2 | 1 | B2 |
| | 3 | 88 | 33.3 | 2 | 1 | B3 |
| | 4 | 88 | 33.3 | 2 | 1 | B4 |
| | 5 | 88 | 33.0 | 2 | 1 | B5 |
| | 6 | 88 | 33.0 | 2 | 1 | B6 |
| | 7 | 88 | 52.5 | 2 | 1 | B9 |
| | 8 | 88 | 15.3 | 2 | 1 | B12 |
| | 9 | 88 | 15.5 | 2 | 1 | B15 |
| SECOND | 10 | 95 | 8.2 | 2 | 1 | B28 |
| | 11 | 88 | 8.0 | 2 | 1 | B27 |
| | 12 | 88 | 8.0 | 2 | 1 | B26 |
| | 13 | 88 | 8.0 | 2 | 1 | B25 |
| | 14 | 88 | 8.0 | 2 | 1 | B24 |
| | 15 | 88 | 8.0 | 2 | 1 | B23 |
| | 16 | 78 | 9.0 | 2 | 1 | B22 |
| | 17 | 105 | 12.0 | 3 | 2 | B7 & B8 |
| | 18 | 72 | 8.0 | 2 | 1 | B49 |
| | 19 | 81 | 11.0 | 2 | 1 | B50 |
| | 20 | 75 | 11.0 | 2 | 1 | B51 |
| | 21 | 87 | 13.0 | 2 | 1 | B52 |
| | 22 | 88 | 11.0 | 2 | 1 | B21 |
| | 23 | 88 | 11.0 | 2 | 1 | B20 |

RESIDENTIAL

| FLOOR | Dwelling No | Internal Area | POS or Balcony | No of Bed Room | No of Car Spaces | Car Space # |
|--------|-------------|---------------|----------------|----------------|------------------|-------------|
| THIRD | 24 | 96 | 8.0 | 3 | 2 | B10 & B11 |
| | 25 | 81 | 8.0 | 2 | 1 | B19 |
| | 26 | 81 | 8.0 | 2 | 1 | B54 |
| | 27 | 81 | 8.0 | 2 | 1 | B55 |
| | 28 | 81 | 8.0 | 2 | 1 | B56 |
| | 29 | 45 | 8.0 | 1 | 1 | B53 |
| | 30 | 46 | 8.0 | 1 | 1 | B18 |
| | 31 | 80 | 8.0 | 2 | 1 | B48 |
| | 32 | 90 | 11.0 | 3 | 2 | B46 & B45 |
| | 33 | 79 | 8.0 | 2 | 1 | B57 |
| | 34 | 79 | 8.0 | 2 | 1 | B58 |
| FOURTH | 35 | 95 | 9.6 | 3 | 2 | B59 & B60 |
| | 36 | 95 | 13.8 | 3 | 2 | B13 & B14 |
| | 37 | 66 | 8.0 | 2 | 1 | B17 |
| | 38 | 69 | 9.1 | 2 | 1 | B16 |
| | 39 | 46 | 9.5 | 1 | 1 | B12 |

CARPARK ANALYSIS

| CARPARK REQUIRED | Car space Numbers | No of Car Spaces |
|-----------------------|-------------------|------------------|
| BASEMENT LEVEL | | |
| DISABLED SPACES | 39 & 40 | 2 |
| COMMERCIAL STAFF | 29 - 38 40 - 44 | 14 |
| RESIDENTS | 1 - 28 45 - 60 | 44 |
| TOTAL | | 60 |
| GROUND LEVEL | | |
| RESIDENTIAL VISITORS | 1 - 7 | 7 |
| COMMERCIAL CUSTOMERS | 8 - 33 | 26 |
| COMMERCIAL STAFF | 35 - 36 | 2 |
| DISABLED SPACES | 34 | 1 |
| TOTAL | | 36 |
| TOTAL PROVIDED | | 96 |

M U D H E R
ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

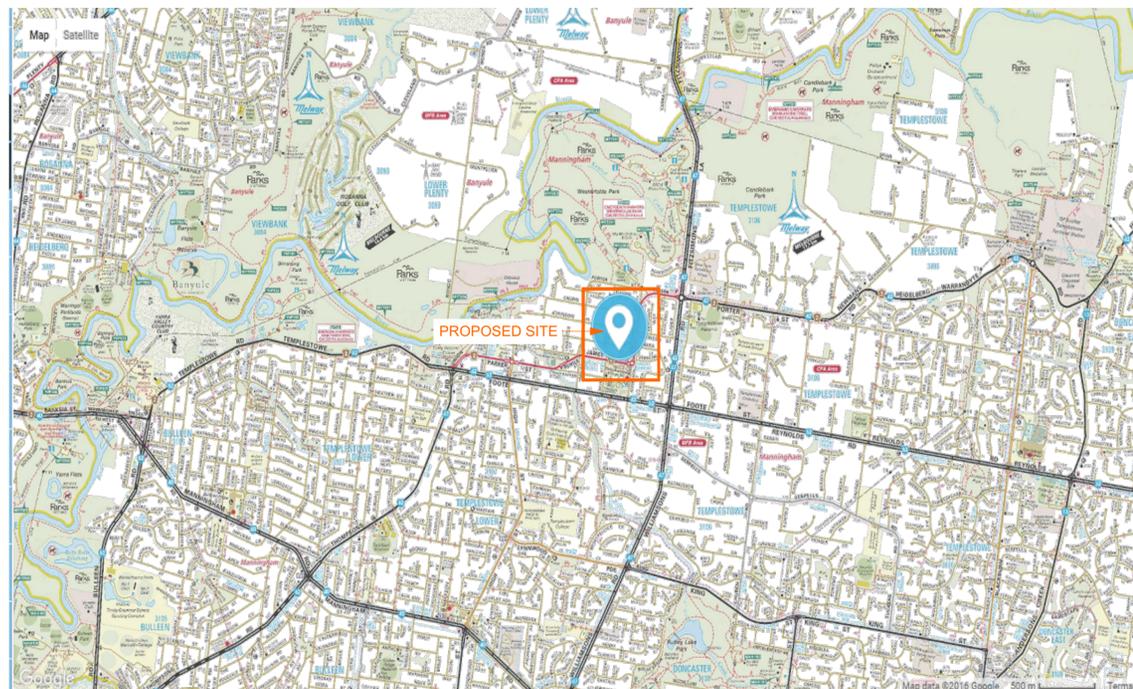
Address: 16 Mossdale Court
Templestowe
Victoria 3106

Submission Date: 17-Nov-16
REVISION K

Copyright © 2016 by Mudher Architects



NOT TO SCALE



NOT TO SCALE

SITE CONTEXT

Location:

The site located on the northern side of James Street, near the intersection with Anderson Street. The area is well served by an activity centre, public transport, schools and recreational facilities.

Public Transport

Bus Stop (James Street) 10m S
Bus Stop (Anderson Road) 150m SE

Shopping

Templestowe Village Shopping Centre 40m S
Bulleen Plaza Shopping Centre 4.2km SW

Schools/Education Facilities

St. Kevins Primary School 1.4km SW
Templestowe Park Primary 2.1km E
Templestowe College 2.7km S

Recreational Facilities/ Open Space

Templestowe Bowling Club 550m W
Westerfolds Sports Centre 650m W
Westerfolds Park 750m N
Templestowe Reserve 1.3km NE

Site Measurements

Consolidated site's length is 47m and 49m wide.
Site depths of 44.67m and 50.57m long.

Approx. total Site area: 2250 square metres

Features of site

The proposed development sits on two consolidated sites in 121 and 123 James Street.
Both sites front onto James Street and are in a south to north orientation.
A 1.83m wide drainage and sewage easement runs along the rear of the site.
121 James Street consists of a double storey brick building, currently used as a restaurant. The front of the dwelling is predominately paved with brick, while there is a bus stop directly outside the site.
123 James Street is a single storey brick dwelling with a tiled pitched roof.
A carpark is located along both the eastern and northern sides of 123 James Street.
There are a number of overgrown bushes and shrubs onsite - low value for retention.
Lot sizes in the general area are of similar shape and size, however many have been consolidated or subdivided to allow medium density developments.

Strategic location

The existing restaurant and car park site has been identified in Council strategy for inclusion into the commercial area by rezoning.
The surrounding residential area is zoned GR22, (Areas Surrounding Activity Centres and Along Main Roads) which support apartment development up to a height of 10 metres. (On sloping sites as define in planning scheme)
The site offers scope for a mixed-use development complementing a well performing shopping centre that is geographically removed from the network of other centres.

Features of surrounds - General Neighbourhood character

The proposed consolidated sites about commercial zones. - Both the sites are currently within the Templestowe Village structure plan study area. 123 James Street and the associated car park are also within the retail and commercial core precinct boundary of this structure plan, while 121 James Street sits just outside.
The activity centre includes some substantial buildings and the sloping terrain results in high built form throughout the centres often equivalent to 3 storeys in overall height.
It also includes one much larger Apartment complex - 5-6 level mixed-use development within the retail core.
There are a number of recreational facilities and public open space nearby, including MT Leisure Centre and Westerfold Park.
The land is located at the interface between a commercial and an established residential area comprising substantial town house developments.
The area is characterized by a streetscape of buildings most of which date from the 1960s till now.
The immediate area comprises large blocks of land, which has been progressively developed for 2 and 3 storey medium density infill developments and is not earmarked for apartment style development.
The older housing stock is predominately constructed from weatherboard or brick, however newer developments employ a variety of materials such as brick veneer, fibro and various lightweight cladding.
Roof types of the older housing stocks are predominately pitched and hipped and constructed from terracotta tiles.
Medium brick fences are most common along James Street.
Front setbacks are generally medium, with strong presence of vegetation within the front garden of dwellings
Surrounding the subject sites are a number of medium density developments ranging from 3-8 dwellings on a lot.
The surrounding lots have varied site coverage.
Overall a pattern of development that is emerging as the single detached dwellings are being replaced with medium density dwellings.
The area includes tall trees both in the residential area and the shopping centres including tall eucalypts.

Summary:

The site provides an opportunity to contribute to the enhancement of the commercial area and provision of a more urban lifestyle adding to housing diversity.

The site is generally located within an activity structure study area and abuts commercially zoned land.

The surrounding residential land is identified for multi level Apartment development. Sites within the activity centre are also proposed for much higher density development - In particular the opportunity for the redevelopment of the existing supermarket to a mixed-use multi-storey development with basement car park.

Also nearby are recreational open space, schools, public transport and other essential services and infrastructure.

The growing number of medium density developments within the area, which suggests that the current site is ideal for higher density development of the kind proposed incorporated in a mixed-use development.

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Neighbourhood Character

Drawing Status
TOWN PLANNING APPLICATION

Drawn by **SM & AH** Date 17-Nov-16

Checked by **SM**

Drawing Scale



Layout ID **TP01** Status **TP** Revision **K**



DESIGN RESPONSE

Strategic location

The surrounding residential area is covered by a DD08 overlay, (Areas Surrounding Activity Centres and Along Main Roads) which support apartment development up to a height of 11 metres. (On sloping sites and over minimum size conditions)

The site offers scope for a mixed-use development complementing a well-performing shopping centre that is geographically removed from the network of other centres.

Proposed development site is well served by public transport, schools, medical centres and shopping and recreational facilities.

Proposed development site is surrounded by multi units

Proposal enhances the character of an area undergoing change, and provides modern accommodation of a kind lacking in the neighbourhood and hence contributing to greater diversity in housing, appropriately located.

Site responsive design

The design responds to the site by providing a basement car park that is sunken into the ground and well concealed from the street. Upper levels step back from the west and north neighbours to facilitate solar access.

The upper level is recessive and reducing with graduated walls to minimize visual bulk.

The building height responds to the slope of the land and sits comfortably within the setting.

Design

The proposed development will provide 8 retail shops and 40 apartments over 4 floors with associated basement car parking.

The front setback has been reduced so that the ground and 1st floor retail premises create an active frontage with the footpath due to the incorporation of clear glazing and framing of the façade.

The development is not boundary-to-boundary and will feature minimal on-boundaries walls.

All dwellings offer good indoor-outdoor living environment, with open living plans providing appropriate interrelationship with outdoor/ balcony areas.

Dwellings are designed with a number of light voids and skylight and are well orientated to maximize utilisation of natural sunlight.

The scale of the built form is not usual - as a 5-6 mixed-use development currently exist within the retail core.

Basement provides 99 car parks and 15 'Ned Kelly' hanger style bicycle spaces.

Overall the design achieves a balance between minimizing amenity impacts to neighbours while achieving an acceptable presentation to the streetscape.

Character

The scale of the proposed development is similar to the mix-use building at 143-145 Parker Street. Furthermore, surrounding the development are sites that have a DD08-2 overlay, which allows building heights of up to 11 metres under certain conditions.

Window shapes are in a modern contemporary style of powdercoated aluminum. Walls are predominately rendered brick veneer. These and other building elements are commonly found within the area and reference existing built form character

Dwelling is well setback from the side and rear boundaries, providing good opportunities for planting of screening trees. To the rear, the development is also well setback from the easement, which will ensure opportunities for narrow canopy trees to be planted.

Development has acceptable site coverage for a mix use development and provides adequate area for landscaping, so the built form will be integrated into the landscape.

Visual Bulk

Design utilizes a number of techniques to minimize visual bulk including:

Employing various colours and materials to add visual interest.

Dwelling façade is well fenestrated with windows and glass frosting balcony walls. Space is provided for landscaping to soften building form and driveway paving.

Reduced and receding upper level stepping away from neighbours and street.

Overall building height is minimized - low floor to ceiling heights.

The built form is well articulated, incorporating a good mix of materials and finishes to break up the façade.

Overall the visual bulk of the building is acceptable and will sit comfortably within streetscape.

Overlooking/Overshadowing

Overlooking is addressed in the design with high sills or obscured glazing or screening that exceeds Rescode standards.

Windows of habitable room locations have been carefully considered to avoid overlooking and also to gain good solar access.

Existing side boundaries fences will be replaced with 2.0m timber piling fences to protect from overlooking

Shadow impact is acceptable and meets the Rescode B21 standard.

Design does not cause any unreasonable off-site amenity impact on adjacent properties.

Good opportunities have been provided to the rear of the site for the planting of vegetation to further screen from overlooking.

Summary:

The proposed mix use development provides further retail shops that compliment the existing commercial space found within the activity centre. The shop fronts will be glazed and create an active street frontage along James Street.

The upper level residential dwellings will address the need for greater diversity in housing choices within the area. Hence the design responds to changing household demands in accordance to State and Local Planning Provisions.

The building itself is low profile, has clean simple form and is well articulated, thus enhancing and contributing to the emerging future neighbourhood character. The proposal has addressed the fundamental design issues well, including access, setbacks, built form and amenity. Overall, the resulting design is responsive to the constraints of the site and will result in a positive outcome for the area.

Summary:

The proposed mix use development provides further retail shops that compliment the existing commercial space found within the activity centre. The shop fronts will be glazed and create an active street frontage along James Street.

The upper level residential dwellings will address the need for greater diversity in housing choices within the area. Hence the design responds to changing household demands in accordance to State and Local Planning Provisions.

The building itself is low profile, has clean simple form and is well articulated, thus enhancing and contributing to the emerging future neighbourhood character. The proposal has addressed the fundamental design issues well, including access, setbacks, built form and amenity.

Overall, the resulting design is responsive to the constraints of the site and will result in a positive outcome for the area.

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title

Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name

Design Response

Drawing Status

TOWN PLANNING APPLICATION

Drawn by
SM & AH

Date 17-Nov-16

Checked by
SM



Drawing Scale
1:200 @A1

Layout ID
TP02

Status
TP

Revision
K

PLANNING APPLICATION

LEGEND



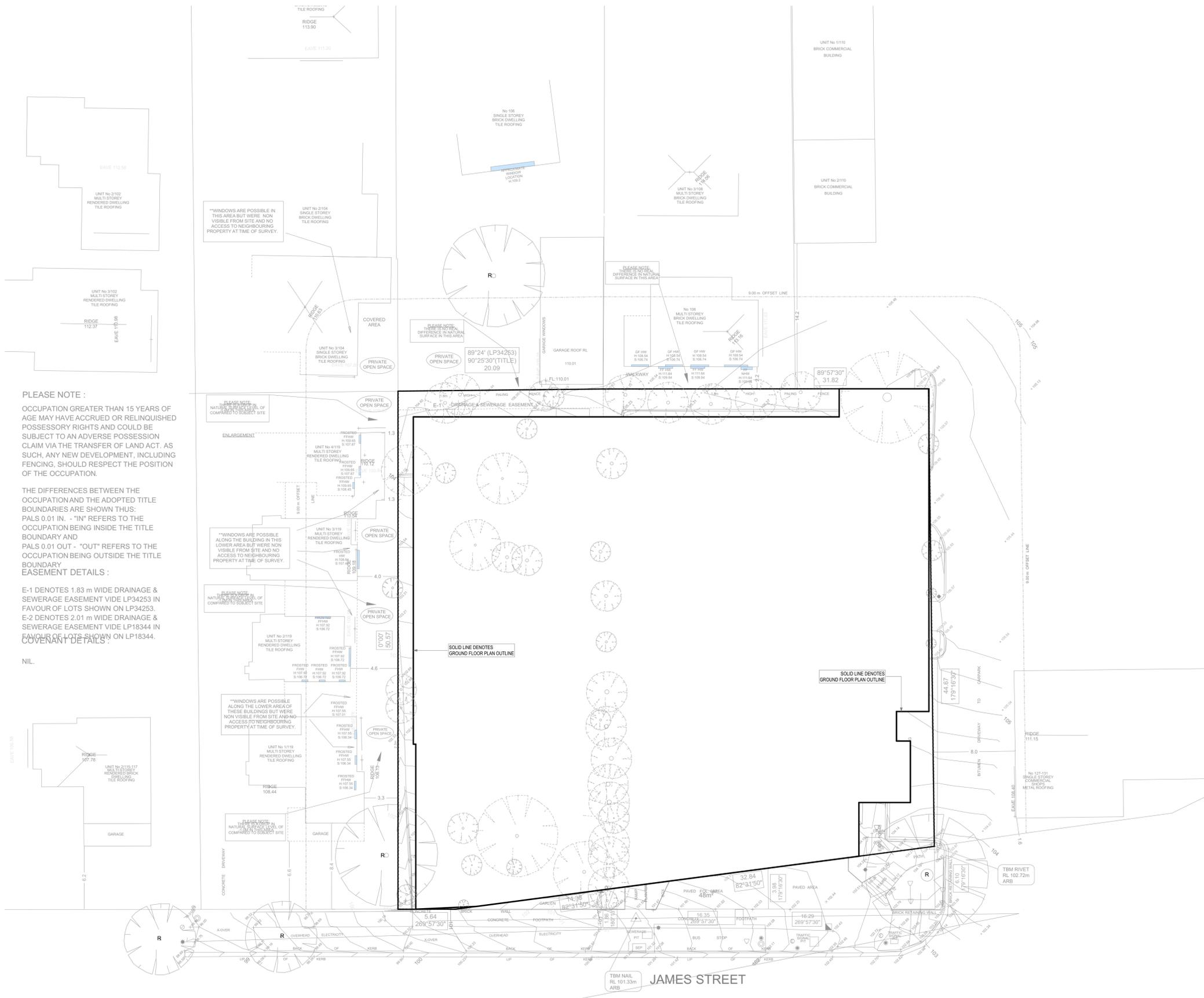
EXISTING TREE TO REMAIN
See Arborist's Report



EXISTING TREE TO BE REMOVED
See Arborist's Report



PROPOSED TREE



PLEASE NOTE :

OCCUPATION GREATER THAN 15 YEARS OF AGE MAY HAVE ACCRUED OR RELINQUISHED POSSESSORY RIGHTS AND COULD BE SUBJECT TO AN ADVERSE POSSESSION CLAIM VIA THE TRANSFER OF LAND ACT. AS SUCH, ANY NEW DEVELOPMENT, INCLUDING FENCING, SHOULD RESPECT THE POSITION OF THE OCCUPATION.

THE DIFFERENCES BETWEEN THE OCCUPATION AND THE ADOPTED TITLE BOUNDARIES ARE SHOWN THUS:
PALS 0.01 IN. - "IN" REFERS TO THE OCCUPATION BEING INSIDE THE TITLE BOUNDARY AND
PALS 0.01 OUT - "OUT" REFERS TO THE OCCUPATION BEING OUTSIDE THE TITLE BOUNDARY

E-1 DENOTES 1.83 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP34253 IN FAVOUR OF LOTS SHOWN ON LP34253.
E-2 DENOTES 2.01 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP18344 IN FAVOUR OF LOTS SHOWN ON LP18344.

NIL.

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street: 16 MOSSDALE COURT
City: TEMPLESTOWE
State: VICTORIA
Postal Code: 3106

Job Title:
Commercial & Residential Development

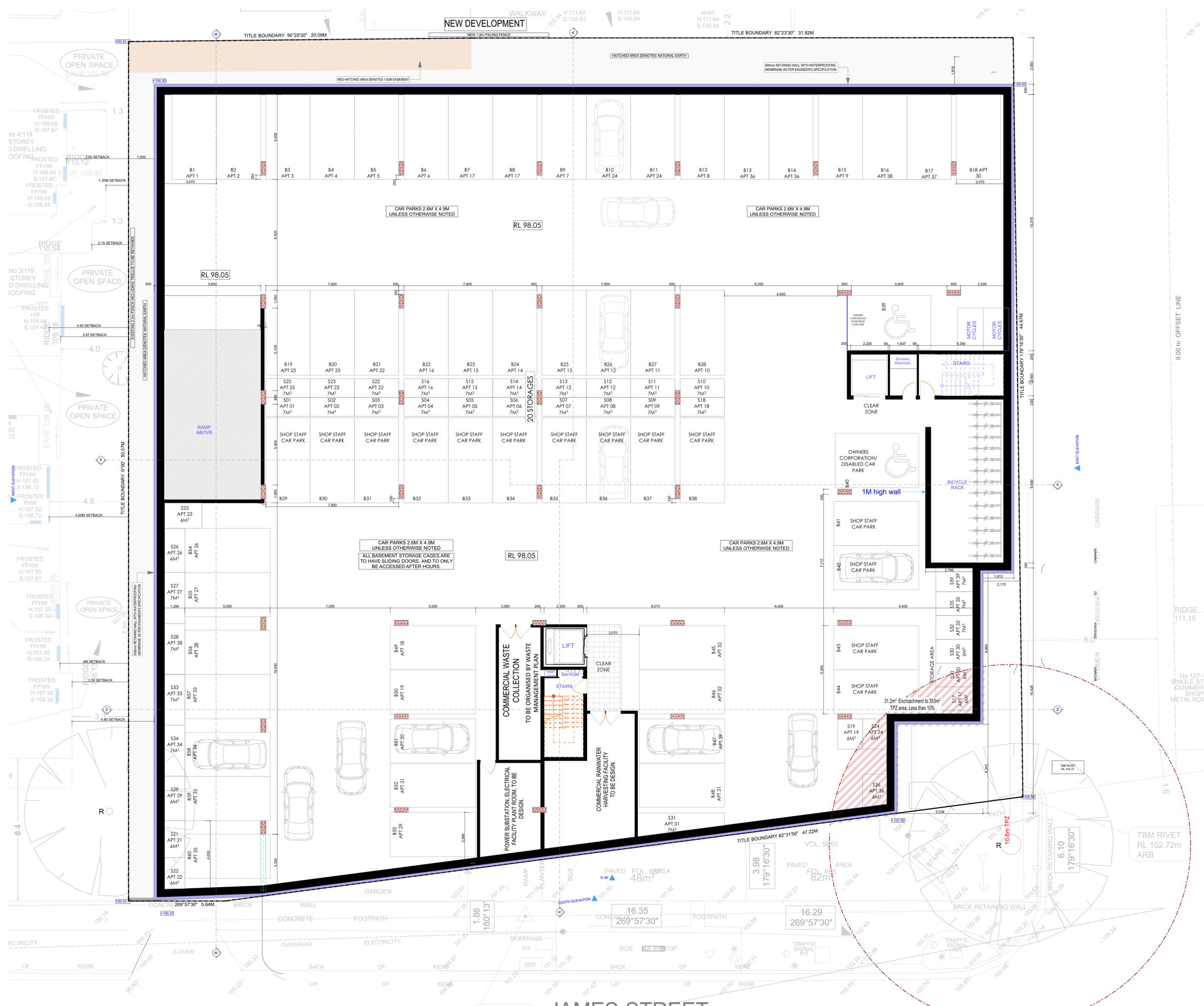
Street: 121 - 125 JAMES STREET,
City: TEMPLESTOWE,
State: VICTORIA
Post code: 3108

Drawing Name:
Trees Condition

Drawing Status:
TOWN PLANNING APPLICATION

| | |
|-----------------------------------|-------------------|
| Drawn by SM & AH | Date 17-Nov-16 |
| Checked by SM | APPROX. NORTH |
| Drawing Scale 1:200 @A1 | |

| | | |
|--------------------------|---------------------|----------------------|
| Layout ID TP03 | Status TP | Revision K |
|--------------------------|---------------------|----------------------|



- LEGEND**
- SECLUDED PRIVATE OPEN SPACE
 - PRIVATE OPEN SPACE OPPORTUNITIES
 - CONCRETE DRIVEWAY
Light Grey
 - PERMEABLE CONCRETE DRIVEWAY
Dark Grey
 - EXISTING TREE TO REMAIN
See Arborist's Report
 - EXISTING TREE TO BE REMOVED
See Arborist's Report
 - PROPOSED TREE
 - RWT 2000L RAINWATER TANK
 - A/C AIR CONDITIONER
 - WM WATER METER
 - GM GAS METER
 - BIN GARBAGE AND RECYCLING BINS
 - HWS HOT WATER SYSTEM
 - BL BOLLARD LIGHT
 - CL CLOTHESLINE
 - F.O.G. FIX OPAQUE GLASS
 - RETAINING WALL
 - HABITABLE WINDOW

| CAR PARK ANALYSIS | NUMBERS |
|-------------------|-----------------|
| RESIDENTS PARK | 1-29 & 40-60 |
| COMMERCIAL STAFF | 29-38, |
| DISABLED PARK | 60, 53, 47 & 41 |
| | 39-40 |

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Basement floor plan

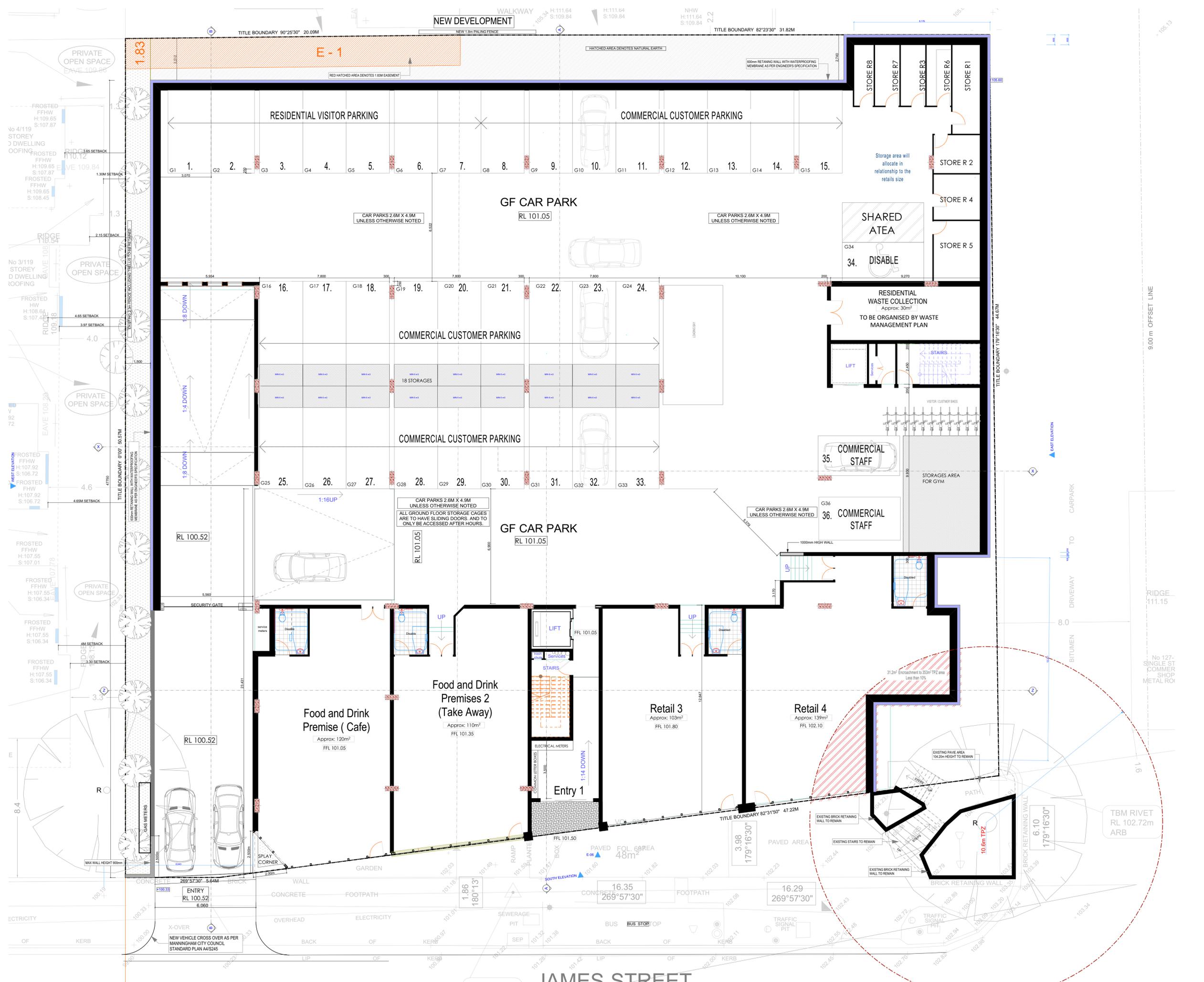
Drawing Status
TOWN PLANNING APPLICATION

Drawn by SM & AH Date 17-Nov-16

Checked by SM

Drawing Scale
1:100 @A1

Layout ID TP04 Status TP Revision K



- LEGEND**
- SECLUDED PRIVATE OPEN SPACE
 - PRIVATE OPEN SPACE OPPORTUNITIES
 - CONCRETE DRIVEWAY
Light Grey
 - PERMEABLE CONCRETE DRIVEWAY
Dark Grey
 - EXISTING TREE TO REMAIN
See Arborist's Report
 - EXISTING TREE TO BE REMOVED
See Arborist's Report
 - PROPOSED TREE
 - RWT 2000L RAINWATER TANK
 - A/C AIR CONDITIONER
 - WM WATER METER
 - GM GAS METER
 - BIN GARBAGE AND RECYCLING BINS
 - HWS HOT WATER SYSTEM
 - BL BOLLARD LIGHT
 - CL CLOTHESLINE
 - F.O.G FIX OPAQUE GLASS
 - RETAINING WALL
 - HABITABLE WINDOW

| CAR PARK ANALYSIS | | NUMBERS |
|----------------------|---------|---------|
| RESIDENTIAL VISITORS | 1 - 7 | |
| COMMERCIAL STAFF | 35 & 36 | |
| COMMERCIAL CUSTOMERS | 8 - 33 | |
| DISABLED PARK | 34 | |

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
 City TEMPLESTOWE
 State VICTORIA
 Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
 City TEMPLESTOWE,
 State VICTORIA
 Post code 3108

Drawing Name
Ground Floor Plan

Drawing Status
TOWN PLANNING APPLICATION

| | | |
|-----------------------------------|---------------------|----------------------|
| Drawn by SM & AH | Date 17-Nov-16 | |
| Checked by SM | APPROX. NORTH | |
| Drawing Scale 1:100 @A1 | | |
| Layout ID TP05 | Status TP | Revision K |

PLANNING APPLICATION

PLEASE NOTE :
 OCCUPATION GREATER THAN 15 YEARS OF AGE MAY HAVE ACCRUED OR RELINQUISHED POSSESSORY RIGHTS AND COULD BE SUBJECT TO AN ADVERSE POSSESSION CLAIM VIA THE TRANSFER OF LAND ACT. AS SUCH, ANY NEW DEVELOPMENT, INCLUDING FENCING, SHOULD RESPECT THE POSITION OF THE OCCUPATION.

THE DIFFERENCES BETWEEN THE OCCUPATION AND THE ADOPTED TITLE BOUNDARIES ARE SHOWN THUS:
 PALS 0.01 IN - "IN" REFERS TO THE OCCUPATION BEING INSIDE THE TITLE BOUNDARY AND
 PALS 0.01 OUT - "OUT" REFERS TO THE OCCUPATION BEING OUTSIDE THE TITLE BOUNDARY
 EASEMENT DETAILS :

E-1 DENOTES 1.83 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP34253 IN FAVOUR OF LOTS SHOWN ON LP34253.
 E-2 DENOTES 2.01 m WIDE DRAINAGE & SEWERAGE EASEMENT VIDE LP18344 IN FAVOUR OF LOTS SHOWN ON LP18344.
 COVENANT DETAILS :

NIL.





- SECLUDED PRIVATE OPEN SPACE
- PRIVATE OPEN SPACE OPPORTUNITIES
- CONCRETE DRIVEWAY
Light Grey
- PERMEABLE CONCRETE DRIVEWAY
Dark Grey
- EXISTING TREE TO REMAIN
See Arborist's Report
- EXISTING TREE TO BE REMOVED
See Arborist's Report
- PROPOSED TREE
- RWT 2000L RAINWATER TANK
- A/C AIR CONDITIONER
- WM WATER METER
- GM GAS METER
- BN GARBAGE AND RECYCLING BINS
- HWS HOT WATER SYSTEM
- BL BOLLARD LIGHT
- CL CLOTHESLINE
- F.O.G. FIX OPAQUE GLASS
- RETAINING WALL
- HABITABLE WINDOW

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

| | |
|-------------|-------------------|
| Street | 16 MOSSDALE COURT |
| City | TEMPLESTOWE |
| State | VICTORIA |
| Postal Code | 3106 |

Job Title

Commercial & Residential Development

| | |
|-----------|-------------------------|
| Street | 121 - 125 JAMES STREET, |
| City | TEMPLESTOWE, |
| State | VICTORIA |
| Post code | 3108 |

Drawing Name

Second Floor Plan

Drawing Status

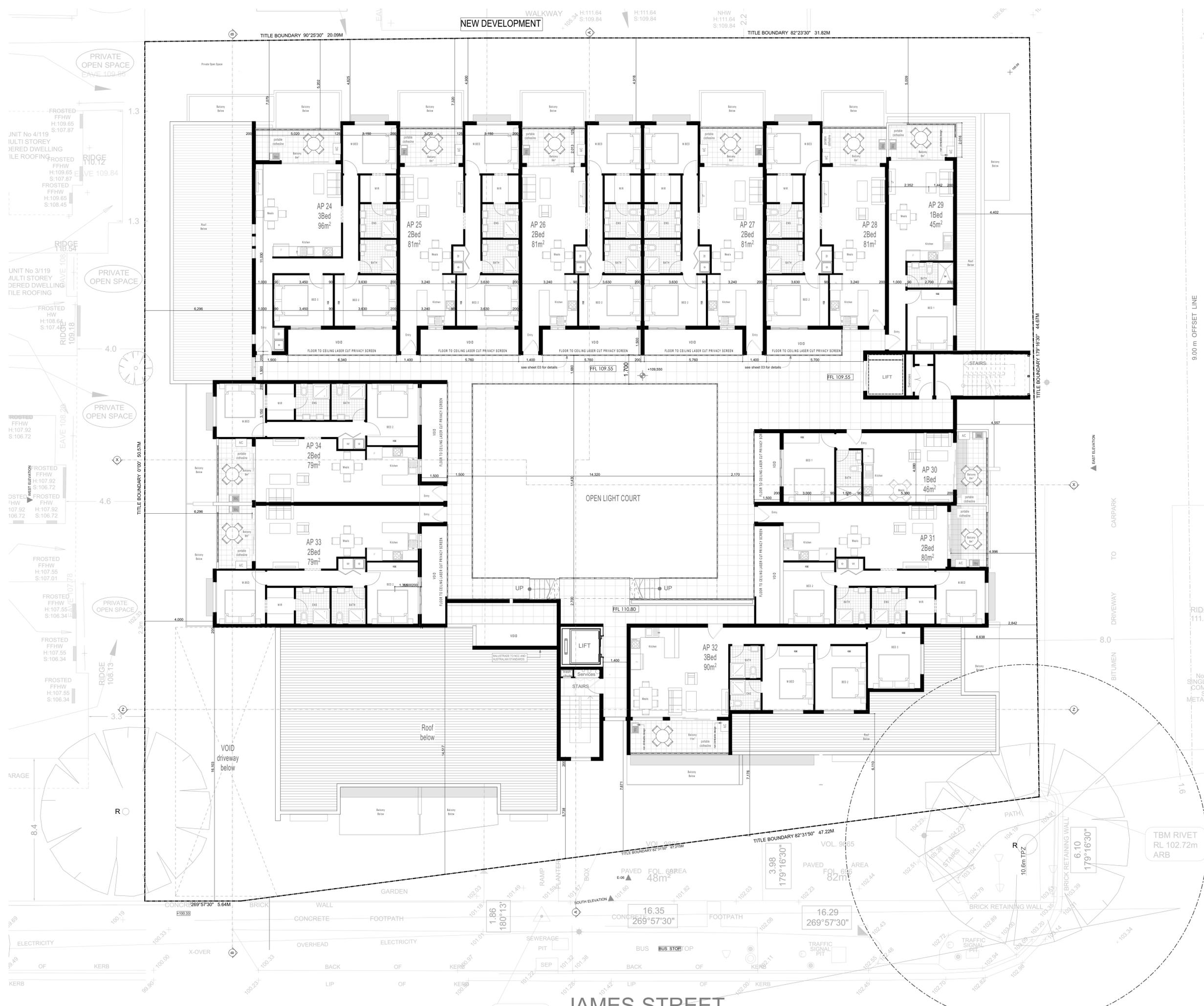
TOWN PLANNING APPLICATION

| | |
|--------------------------------|--|
| Drawn by SM & AH | Date 17-Nov-16 |
| Checked by SM | <div style="border: 1px solid black; width: 20px; height: 20px; margin: 0 auto;"></div> <p style="font-size: 8px; text-align: center;">APPROX. NORTH</p> |

| | | | |
|-----------------------------------|--------------------------|---------------------|----------------------|
| Drawing Scale 1:100 @A1 | Layout ID TP07 | Status TP | Revision K |
|-----------------------------------|--------------------------|---------------------|----------------------|

THE BUILDING FLOOR LEVEL IS LOCATED ABOVE THE GROUND AND THEREFORE NO INTRUSION INTO THE TPZ. ANY COLUMN AND SUPPORT STRUCTURE WITHIN THE TPZ TO BE DESIGNED AND LOCATED UNDER SUPERVISION OF AN ARBORIST TO SATISFACTION OF AUTHORITIES AND MINIMISING IMPACT ON THE TREE ROOTS.

JAMES STREET



- SECLUDED PRIVATE OPEN SPACE
- PRIVATE OPEN SPACE OPPORTUNITIES
- CONCRETE DRIVEWAY
Light Grey
- PERMEABLE CONCRETE DRIVEWAY
Dark Grey
- EXISTING TREE TO REMAIN
See Arborist's Report
- EXISTING TREE TO BE REMOVED
See Arborist's Report
- PROPOSED TREE
- RWT 2000L RAINWATER TANK
- A/C AIR CONDITIONER
- WM WATER METER
- GM GAS METER
- BIN GARBAGE AND RECYCLING BINS
- HWS HOT WATER SYSTEM
- BL BOLLARD LIGHT
- CL CLOTHESLINE
- F.O.G. FIX OPAQUE GLASS
- RETAINING WALL
- HABITABLE WINDOW

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Third Floor Plan

Drawing Status
TOWN PLANNING APPLICATION

Drawn by SM & AH Date 17-Nov-16

Checked by SM

Drawing Scale
1:100 @A1

Layout ID TP08 Status TP Revision K





- SECLUDED PRIVATE OPEN SPACE
- PRIVATE OPEN SPACE OPPORTUNITIES
- CONCRETE DRIVEWAY
Light Grey
- CONCRETE DRIVEWAY
Dark Grey
- PERMEABLE CONCRETE DRIVEWAY
Dark Grey
- R EXISTING TREE TO REMAIN
See Arborist's Report
- X EXISTING TREE TO BE REMOVED
See Arborist's Report
- T PROPOSED TREE
- RWT 2000L RAINWATER TANK
- A/C AIR CONDITIONER
- WM WATER METER
- GM GAS METER
- BIN GARBAGE AND RECYCLING BINS
- HWS HOT WATER SYSTEM
- BL BOLLARD LIGHT
- CL CLOTHESLINE
- F.O.G. FIX OPAQUE GLASS
- RETAINING WALL
- HABITABLE WINDOW

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

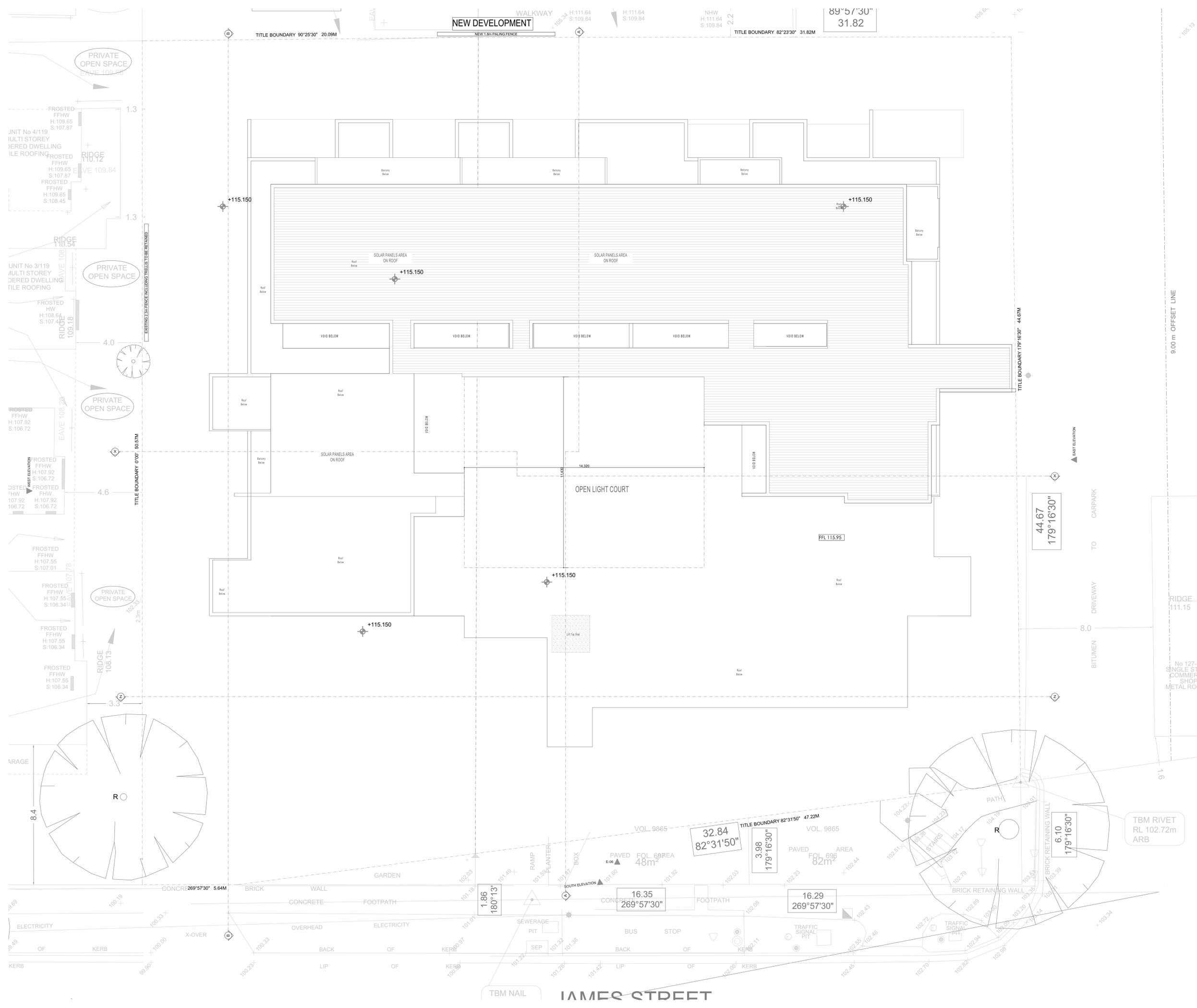
Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Fourth Floor

Drawing Status
TOWN PLANNING APPLICATION

| | |
|-----------------------------------|-------------------|
| Drawn by SM & AH | Date 17-Nov-16 |
| Checked by SM | APPROX. NORTH |
| Drawing Scale 1:100 @A1 | |

| | | |
|--------------------------|---------------------|----------------------|
| Layout ID TP09 | Status TP | Revision K |
|--------------------------|---------------------|----------------------|



- SECLUDED PRIVATE OPEN SPACE
- PRIVATE OPEN SPACE OPPORTUNITIES
- CONCRETE DRIVEWAY
Light Grey
- PERMEABLE CONCRETE DRIVEWAY
Dark Grey
- R EXISTING TREE TO REMAIN
See Arborist's Report
- X EXISTING TREE TO BE REMOVED
See Arborist's Report
- T PROPOSED TREE
- RWT 2000L RAINWATER TANK
- A/C AIR CONDITIONER
- WM WATER METER
- GM GAS METER
- BIN GARBAGE AND RECYCLING BINS
- HWS HOT WATER SYSTEM
- BL BOLLARD LIGHT
- CL CLOTHESLINE
- F.O.G. FIX OPAQUE GLASS
- RETAINING WALL
- HABITABLE WINDOW

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

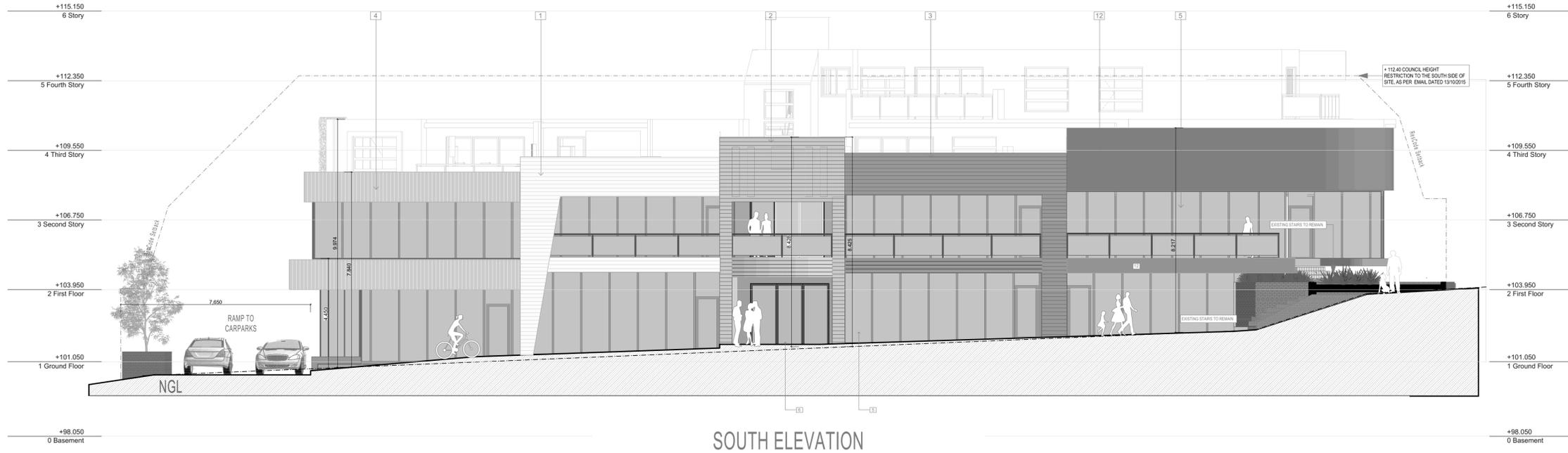
Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Roof Plan

Drawing Status
TOWN PLANNING APPLICATION

| | |
|-----------------------------------|-------------------|
| Drawn by SM & AH | Date 17-Nov-16 |
| Checked by SM | APPROX. NORTH |
| Drawing Scale 1:100 @A1 | |

| | | |
|--------------------------|---------------------|----------------------|
| Layout ID TP10 | Status TP | Revision K |
|--------------------------|---------------------|----------------------|



BUILDING MATERIAL

| | |
|----|--|
| 11 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Classic Cream' |
| 12 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Whitehaven' |
| 13 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Windspay' |
| 14 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Shalegrey' |
| 15 | ALUMINIUM CURTAIN WALL BLUE GLAZING |
| 16 | ALUMINIUM GLASS FEATURE ENTRY DOOR GREY GLAZING |
| 17 | ALUMINIUM DOOR & WINDOW FRAMES NATURAL ANODISED COLOUR, COLORBOND 'DESKAU' |
| 18 | BRICK 'ULTRA SMOOTH JAZZ_FUSION' |
| 19 | BOUNDARY TIMBER FENCE |
| 20 | CLEAR GLASS - WINDOW GLAZING / BALUSTRADE PANEL |
| 21 | FIX OPAQUE GLASS - WINDOW GLAZING / BALUSTRADE PANEL FIX GLASS |
| 22 | COLORBOND - MATCH TO BRICK COLOUR |
| 23 | ALUMINIUM PERFORATED BALUSTRADE LOOKER GROUP 'MIDNIGHT COLOUR' |
| 24 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Gully' |
| 25 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Evening Haze' |

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD
 SOLE DIRECTOR
 SURJEET MUDHER
 REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
 City TEMPLESTOWE
 State VICTORIA
 Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
 City TEMPLESTOWE,
 State VICTORIA
 Post code 3108

Drawing Name
Elevations 1

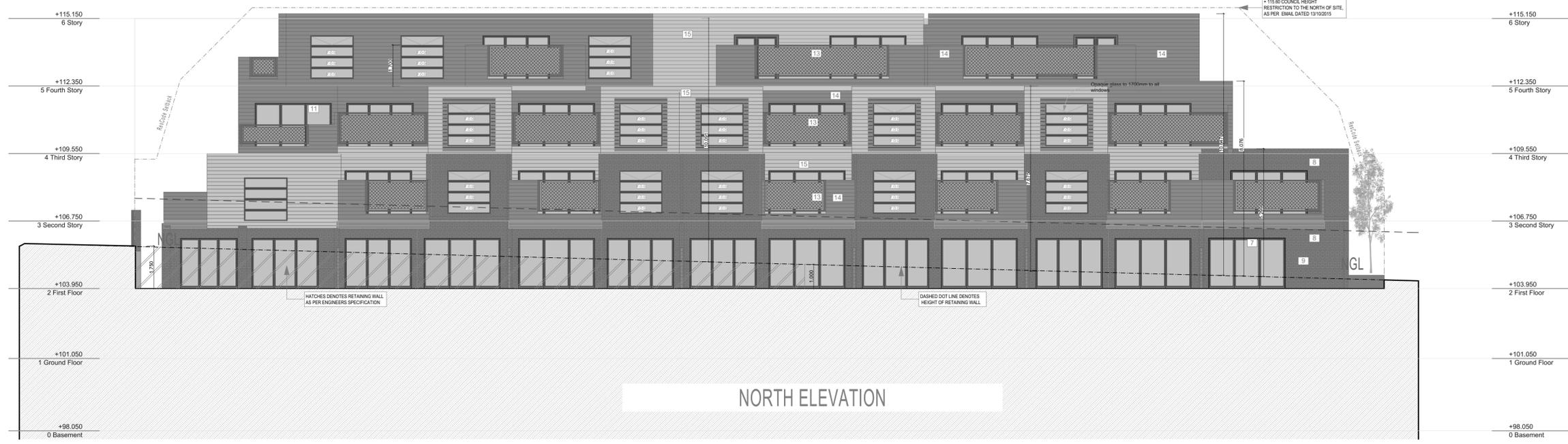
Drawing Status
TOWN PLANNING APPLICAT

Drawn by
SM & AH Date 17-Nov-16

Checked by
SM

Drawing Scale
1:100 @A1

| | | |
|----------------------------|---------------------|----------------------|
| Layout ID TP11.1 | Status TP | Revision K |
|----------------------------|---------------------|----------------------|





BUILDING MATERIAL

| | |
|----|--|
| 11 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Classic Cream' |
| 12 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Whitehaven' |
| 13 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Windspay' |
| 14 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Shale grey' |
| 15 | ALUMINUM CURTAIN WALL BLUE GLAZING |
| 16 | ALUMINUM GLASS FEATURE ENTRY DOOR GREY GLAZING |
| 17 | ALUMINUM DOOR & WINDOW FRAMES NATURAL ANODISED COLOUR, COLORBOND 'DESKAU' |
| 18 | BRICK 'ULTRA SMOOTH JAZZ_FUSION' |
| 19 | BOUNDARY TIMBER FENCE |
| 20 | CLEAR GLASS - WINDOW GLAZING / BALUSTRADE PANEL |
| 21 | FIX OPAQUE GLASS - WINDOW GLAZING / BALUSTRADE PANEL FIX GLASS |
| 22 | COLORBOND - MATCH TO BRICK COLOUR |
| 23 | ALUMINUM PERFORATED BALUSTRADE LOOKER GROUP 'MOVEMENT COLOUR' |
| 24 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Gully' |
| 25 | LIGHTWEIGHT CLADDING SELFLK ECOGROOVE 150 mm Smooth Colorbond 'Evening Haze' |

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD
SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

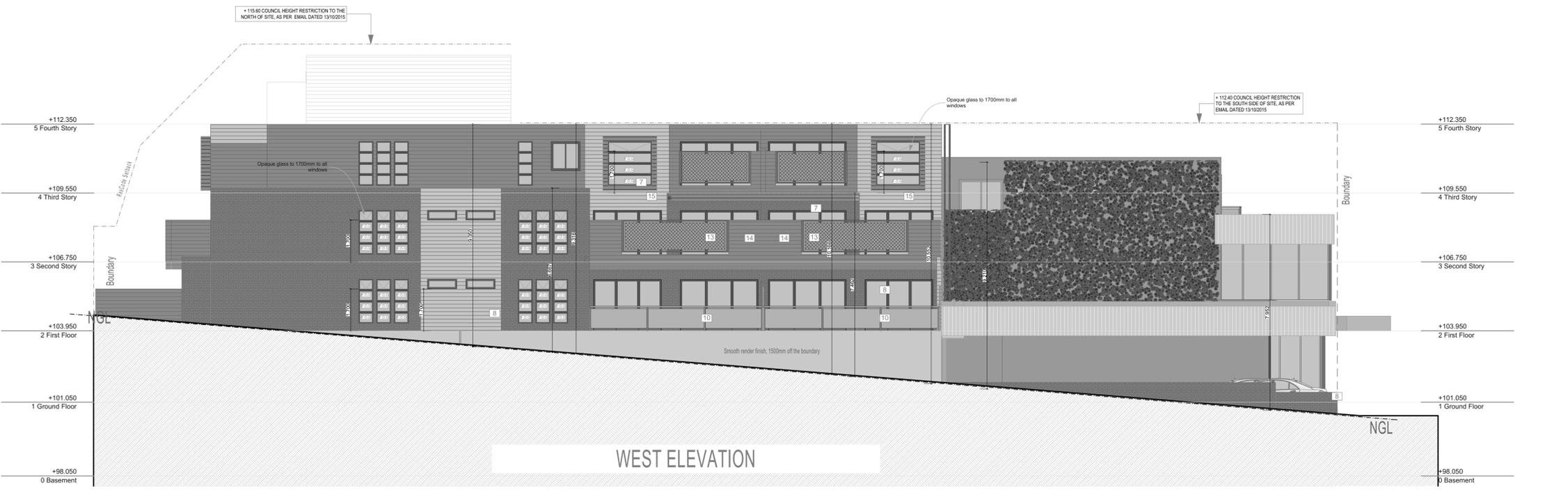
Drawing Name
Elevations 2

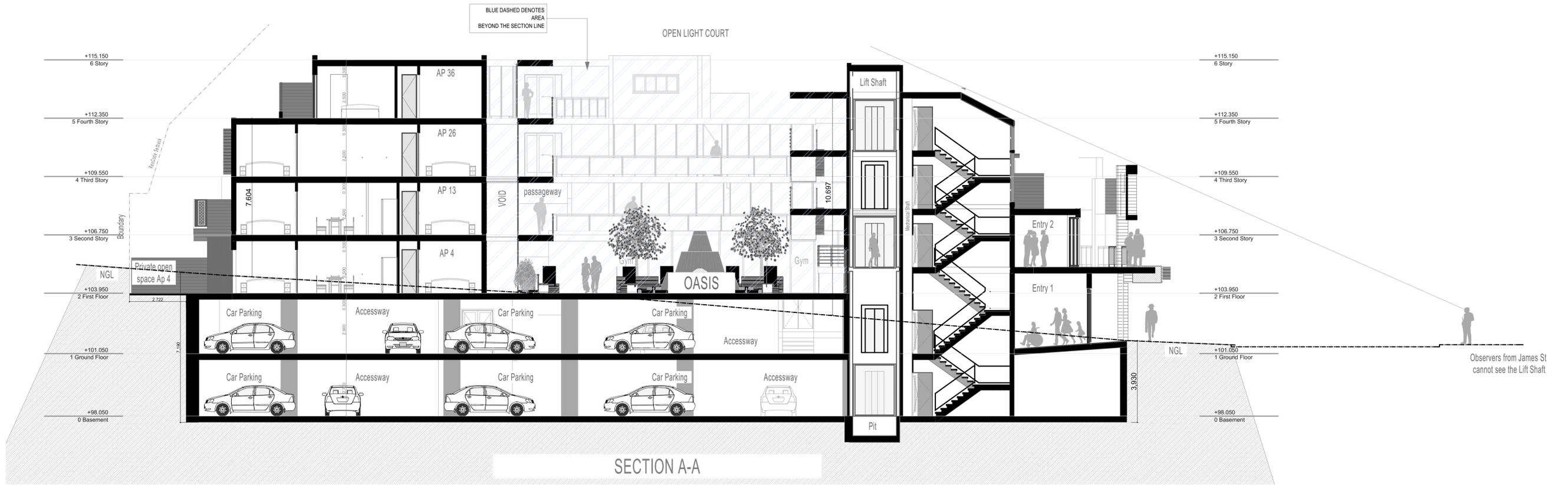
Drawing Status
TOWN PLANNING APPLICAT

Drawn by **SM & AH** Date 17-Nov-16
Checked by **SM**

Drawing Scale
1:100 @A1

| | | |
|----------------------------|---------------------|----------------------|
| Layout ID TP11.2 | Status TP | Revision K |
|----------------------------|---------------------|----------------------|





SECTION A-A

AT ANY POINT BUILDING HIGHT IS NO MORE 11 METERS ABOVE NATURAL GROUND LEVEL AS PER SURVEY - AS ILLUSTRATED BY SECTIONS

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Sections A & B

Drawing Status
TOWN PLANNING APPLICATION

Drawn by SM & AH Date 17-Nov-16

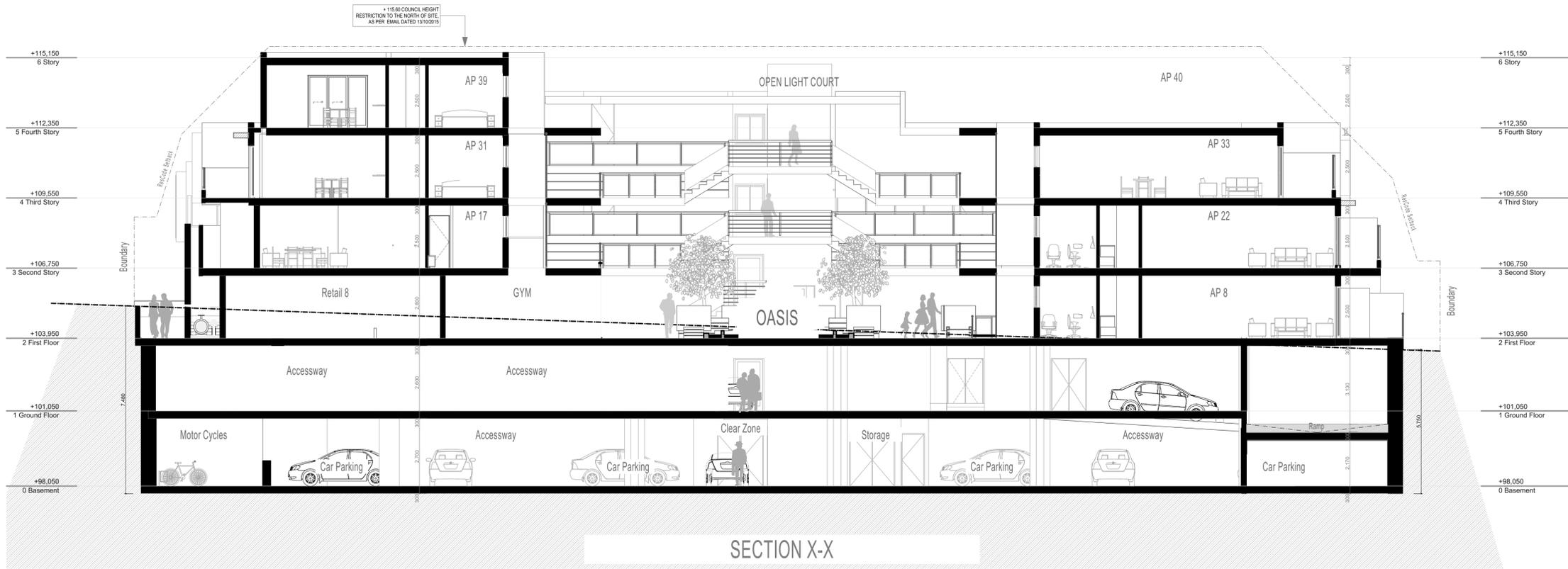
Checked by SM

Drawing Scale
1:100 @A1

Layout ID TP12.1 Status TP Revision K

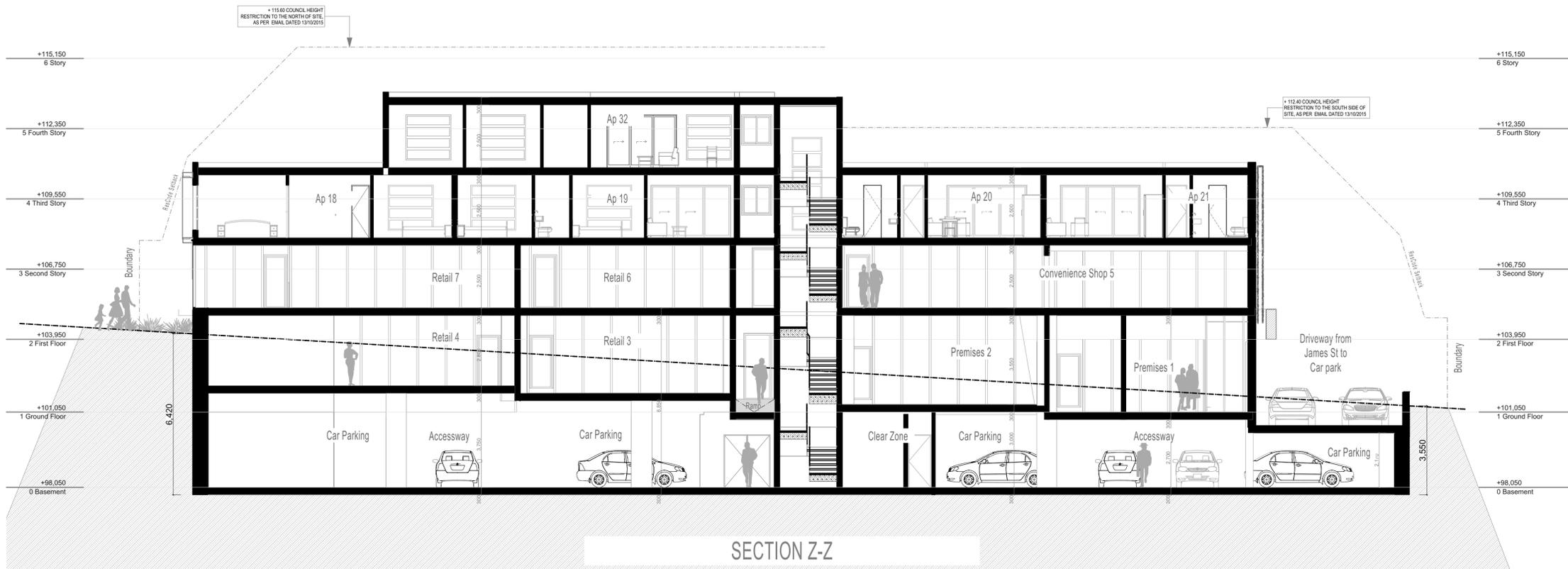


SECTION B-B



SECTION X-X

AT ANY POINT BUILDING HIGHT IS NO MORE 11 METERS ABOVE NATURAL GROUND LEVEL AS PER SURVEY - AS ILLUSTRATED BY SECTIONS



SECTION Z-Z

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Sections X & Z

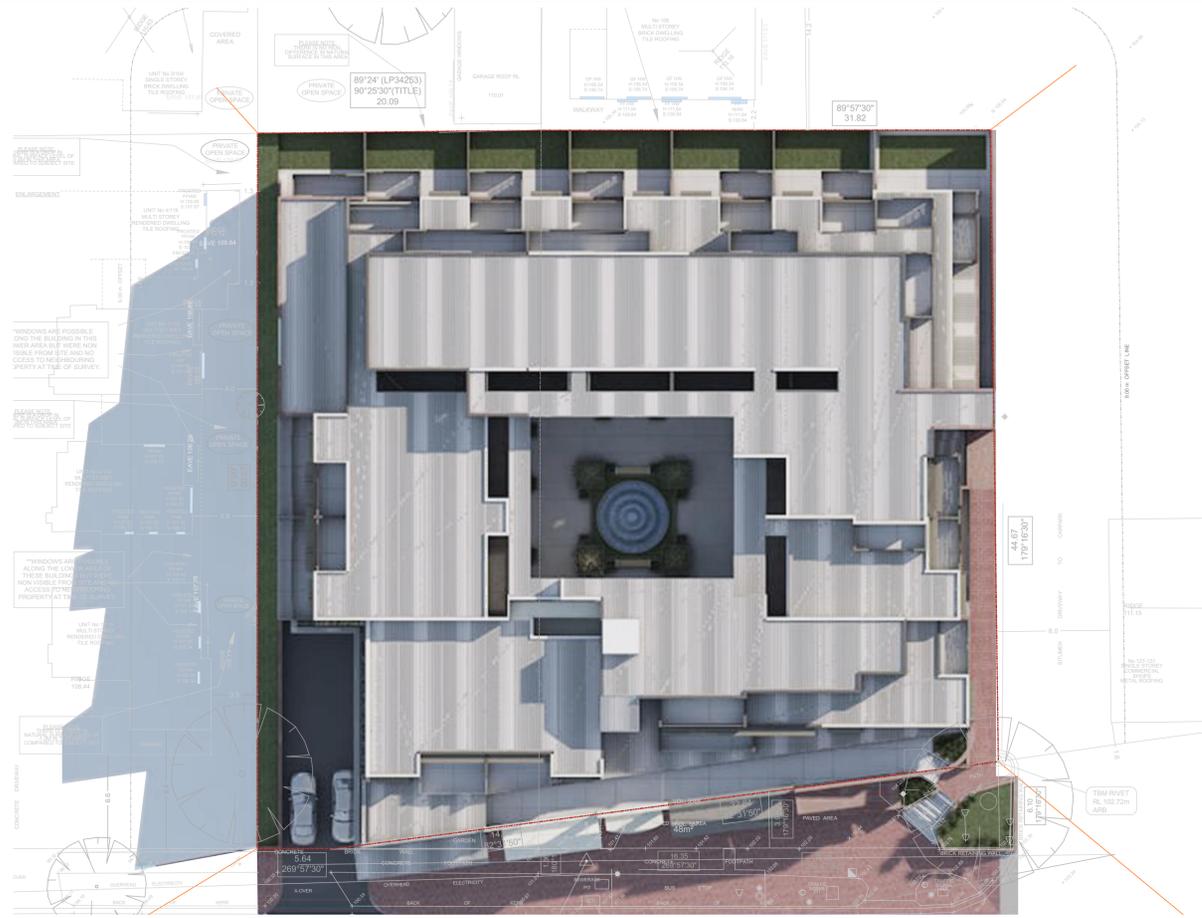
Drawing Status
TOWN PLANNING APPLICAT

Drawn by **SM & AH** Date 17-Nov-16

Checked by **SM**

Drawing Scale
1:100 @A1

| | | |
|----------------------------|---------------------|----------------------|
| Layout ID TP12.2 | Status TP | Revision K |
|----------------------------|---------------------|----------------------|



9 AM SHADOW DIAGRAM



12 NOON SHADOW DIAGRAM



3 PM SHADOW DIAGRAM

NOT FOR
CONSTRUCTION

**MUDHER
ARCHITECTS** PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Shadow Diagrams

Drawing Status
TOWN PLANNING APPLICATION

Drawn by
SM & AH Date 17-Nov-16

Checked by
SM

Drawing Scale
1:250 @A1



Layout ID Status Revision
TP13 TP K



SOUTH ELEVATION



NORTH ELEVATION

BUILDING MATERIAL

- 01  LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Classic Cream'
- 02  LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Whitehaven'
- 03  LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Windgrey'
- 04  LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Shale grey'
- 05  ALUMINUM CURTAIN WALL
BLUE GLAZING
- 06  ALUMINUM GLASS FEATURE ENTRY DOOR
GREY GLAZING
- 07  ALUMINUM DOOR & WINDOW FRAMES
NATURAL ANODISED COLOUR, COLORBOND 'DESKAU'
- 08  BRICK 'ULTRA SMOOTH JAZZ_FUSION'
- 09  BOUNDARY TIMBER FENCE
- 10  CLEAR GLASS - WINDOW GLAZING / BALUSTRADE PANEL
- 11  FIX OPAQUE GLASS - WINDOW GLAZING / BALUSTRADE PANEL
FIX GLASS
- 12  COLORBOND - MATCH TO BRICK COLOUR
- 13  ALUMINUM PERFORATED BALUSTRADE
LOOKER GROUP 'MORNING COLOUR'
- 14  LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Gully'
- 15  LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Evening Haze'

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD
SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Colour Elevations 1

Drawing Status
TOWN PLANNING APPLICATION

Drawn by **SM & AH** Date 17-Nov-16

Checked by **SM**

Drawing Scale

| Layout ID | Status | Revision |
|---------------|-----------|----------|
| TP14.1 | TP | K |



EAST ELEVATION

BUILDING MATERIAL

- 01 LIGHTWEIGHT CLADDING
SELFLK ECOGROOVE
150 mm Smooth
Colorbond 'Classic Cream'
- 02 LIGHTWEIGHT CLADDING
SELFLK ECOGROOVE
150 mm Smooth
Colorbond 'Whitehaven'
- 03 LIGHTWEIGHT CLADDING
SELFLK ECOGROOVE
150 mm Smooth
Colorbond 'Windspay'
- 04 LIGHTWEIGHT CLADDING
SELFLK ECOGROOVE
150 mm Smooth
Colorbond 'Shale grey'
- 05 ALUMINUM CURTAIN WALL
BLUE GLAZING
- 06 ALUMINUM GLASS FEATURE ENTRY DOOR
GREY GLAZING
- 07 ALUMINUM DOOR & WINDOW FRAMES
NATURAL ANODISED COLOUR, COLORBOND 'DIESKAU'
- 08 BRICK 'ULTRA SMOOTH JAZZ_FUSION'
- 09 BOUNDARY TIMBER FENCE
- 10 CLEAR GLASS - WINDOW GLAZING / BALUSTRADE PANEL
- 11 FIX OPAQUE GLASS - WINDOW GLAZING / BALUSTRADE PANEL
FIX GLASS
- 12 COLORBOND- MATCH TO BRICK COLOUR
- 13 ALUMINUM PERFORATED BALUSTRADE
LOOKER GROUP 'MIDNIGHT COLOUR'
- 14 LIGHTWEIGHT CLADDING
SELFLK ECOGROOVE
150 mm Smooth
Colorbond 'Gully'
- 15 LIGHTWEIGHT CLADDING
SELFLK ECOGROOVE
150 mm Smooth
Colorbond 'Evening Haze'

NOT FOR CONSTRUCTION

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Colour Elevations 2

Drawing Status
TOWN PLANNING APPLICATION

Drawn by SM & AH Date 17-Nov-16

Checked by SM

Drawing Scale

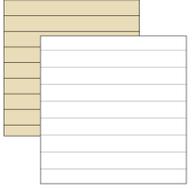
| Layout ID | Status | Revision |
|---------------|-----------|----------|
| TP14.2 | TP | K |



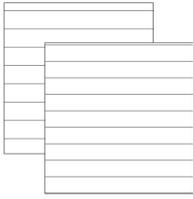
WEST ELEVATION

BUILDING MATERIAL SCHEDULE

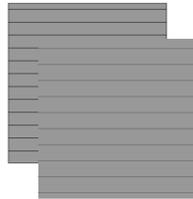
- 1



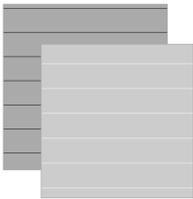
LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Classic Cream'
- 2



LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Whitehaven'
- 3



LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Windspray'
- 4



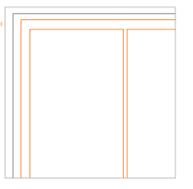
LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Shale grey'
- 5



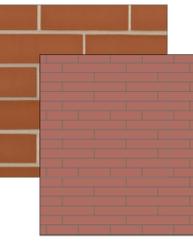
ALUMINIUM CURTAIN WALL
BLUE GLAZING
- 6



ALUMINIUM GLASS FEATURE
ENTRY DOOR
GREY GLAZING
- 7

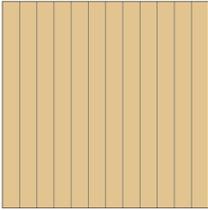


ALUMINIUM DOOR & WINDOW
FRAMES
NATURAL ANODISED COLOUR:
COLORBOND 'DIESKAU'
- 8



BRICK ' ULTRA SMOOTH JAZZ, FUSION'

- 9



BOUNDARY TIMBER FENCE
- 10



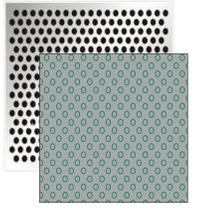
CLEAR GLASS - WINDOW
GLAZING / BALUSTRADE
PANEL
- 11



FIX OPAQUE GLASS -
WINDOW GLAZING /
BALUSTRADE PANEL
FIX GLASS
- 12



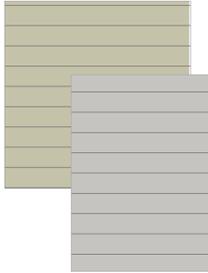
COLORBOND- MATCH TO
BRICK COLOUR
- 13



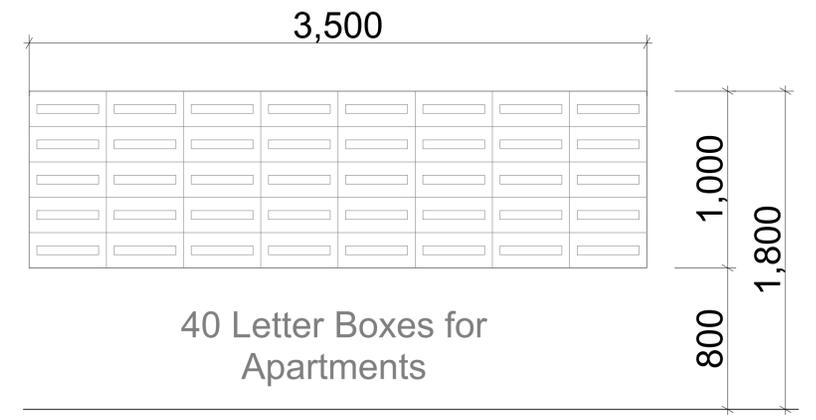
ALUMINIUM PERFORATED
BALUSTRADE
25% TERANSPARENCY
LOCKER GROUP ' MONUMENT
COLOUR'
- 14



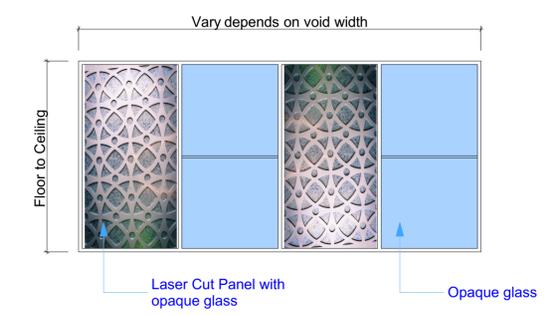
LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Gully'
- 15



LIGHTWEIGHT CLADDING
SELFLOK ECOGROOVE
150 mm Smooth
Colorbond 'Evening Haze'



**DETAIL OF COMMON LETTER BOX
SCALE 1:50**



**Privacy Screen
1:50**

| | |
|---|---|
| NOT FOR CONSTRUCTION | |
| MUDHER ARCHITECTS PTY LTD | |
| SOLE DIRECTOR SURJEET MUDHER REGISTERED ARCHITECT | |
| Street | 16 MOSSDALE COURT |
| City | TEMPLESTOWE |
| State | VICTORIA |
| Postal Code | 3106 |
| Job Title | Commercial & Residential Development |
| Street | 121 - 125 JAMES STREET, |
| City | TEMPLESTOWE, |
| State | VICTORIA |
| Post code | 3108 |
| Drawing Name | Material Schedule - Details |
| Drawing Status | TOWN PLANNING APPLICATION |
| Drawn by SM & AH | Date 17-Nov-16 |
| Checked by SM | |
| Drawing Scale | |
| Layout ID TP15 | Status TP |
| | Revision K |



SOUTH WEST VIEW



SOUTH EAST VIEW



NORTH WEST VIEW



VIEW FROM ROUNDABOUT



OASIS VIEW FROM THE NORTH-WEST CORNER

NOT FOR
CONSTRUCTION

**MUDHER
ARCHITECTS** PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Perspectives 1

Drawing Status
TOWN PLANNING APPLICATION

Drawn by **SM & AH** Date 17-Nov-16

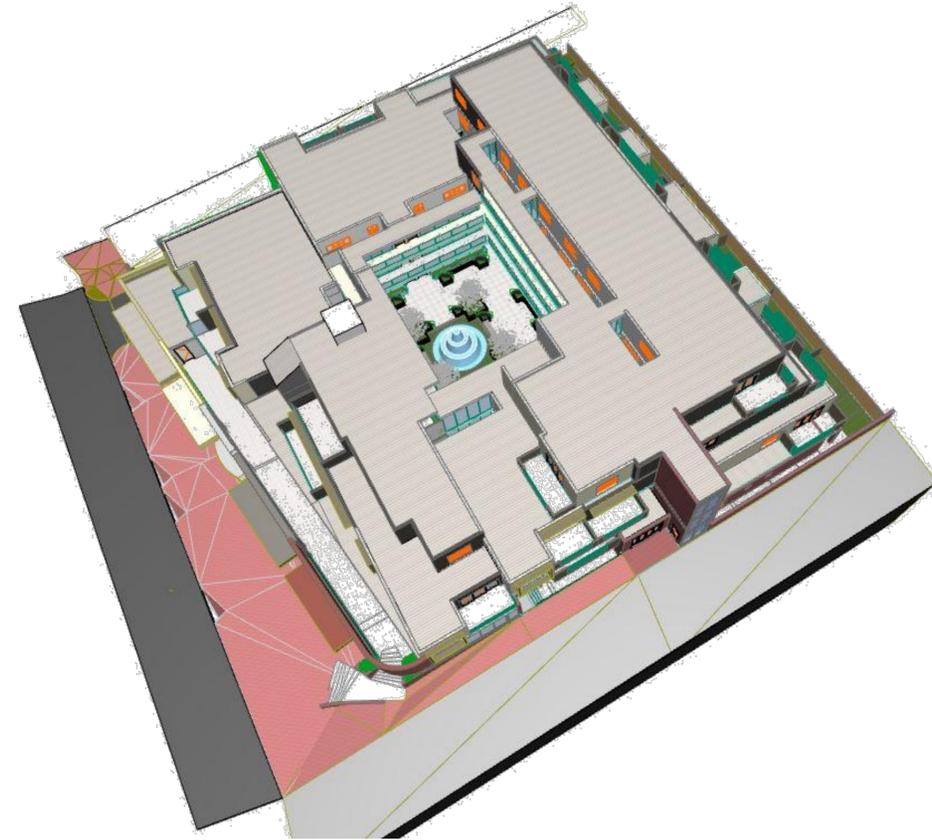
Checked by **SM**

Drawing Scale

| | | |
|-------------|-----------|----------|
| Layout ID | Status | Revision |
| TP16 | TP | K |



OASIS VIEW FROM THE NORTH-WEST CORNER



TOP VIEW FROM SOUTHEAST



MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Perspectives 2

Drawing Status
TOWN PLANNING APPLICATION

Drawn by **SM & AH** Date 17-Nov-16

Checked by **SM**

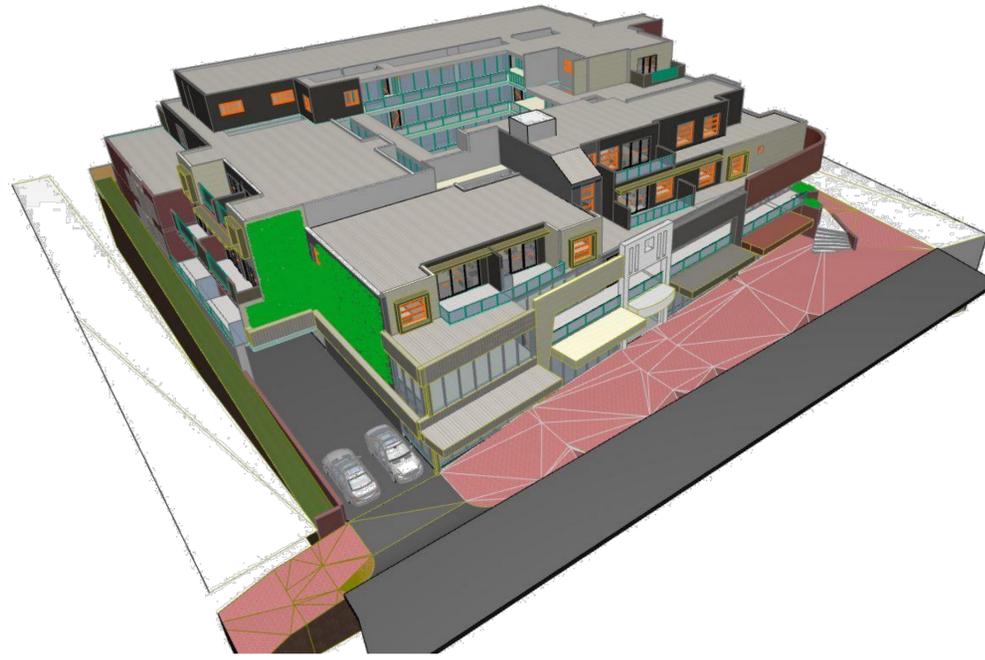
Drawing Scale



| Layout ID | Status | Revision |
|-------------|-----------|----------|
| TP17 | TP | K |



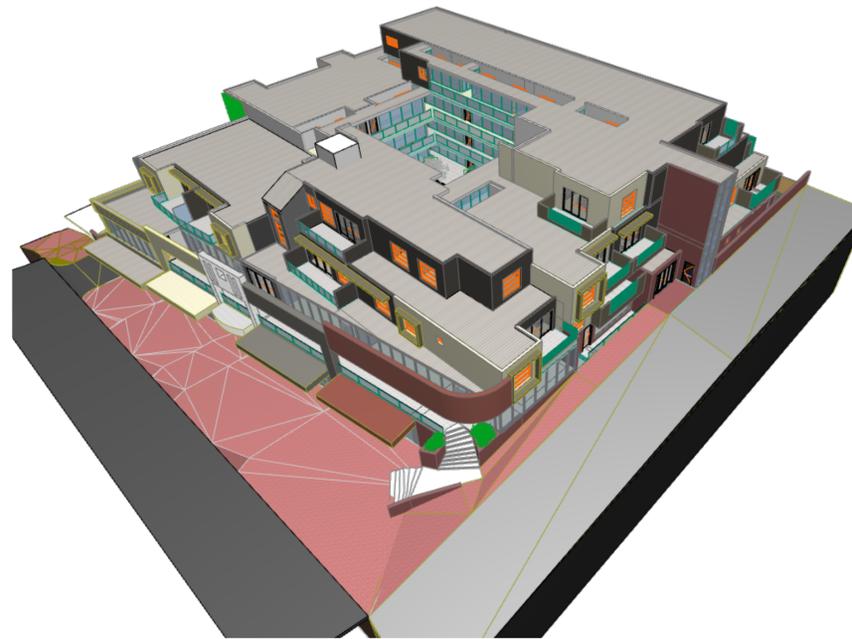
BIRDS EYE VIEW - NORTH WEST



BIRDS EYE VIEW - SOUTH WEST



BIRDS EYE VIEW - NORTH EAST



BIRDS EYE VIEW - SOUTH EAST

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Perspectives 3

Drawing Status
TOWN PLANNING APPLICATION

Drawn by **SM & AH** Date 17-Nov-16

Checked by **SM**

Drawing Scale



| Layout ID | Status | Revision |
|-------------|-----------|----------|
| TP18 | TP | K |



VIEW FROM ROUNDABOUT

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Perspective 4

Drawing Status
TOWN PLANNING APPLICATION

Drawn by **SM & AH** Date 17-Nov-16

Checked by **SM**

Drawing Scale



| | | |
|-------------|-----------|----------|
| Layout ID | Status | Revision |
| TP19 | TP | K |



119



127 - 131



133



JAMES STREET, TEMPLESTOWE

119

121 - 125

127 - 131

133

RESIDENTIAL DOUBLE STOREY DWELLING. CONSISTING OF FOUR UNITS. RENDERED AND BRICK VENEER EXTERIOR.

PROPOSED DEVELOPMENT FOR A FOUR STOREY MIXED USE BUILDING INCLUDING EIGHT RETAIL PREMISES, THIRTY NINE DWELLINGS AND ASSOCIATED BASEMENT CAR PARK AND ALTERNATION OF ACCESS TO A ROAD IN A ROAD ZONE, CATEGORY 1

127 SAESHA NAILS AND BEAUTY COMMERCIAL SINGLE STOREY DWELLING. BRICK VENEER EXTERIOR WITH A CORRIFATED SHEET ROOF

129 TERENCE LONDON HAIR AND DESIGN COMMERCIAL SINGLE STOREY DWELLING. BRICK VENEER EXTERIOR WITH A CORRIFATED SHEET ROOF

131 ZERO 95: PIZZA BAR RESTAURANT COMMERCIAL SINGLE STOREY DWELLING. BRICK VENEER EXTERIOR WITH A CORRIFATED SHEET ROOF

VIBRANTE: RESTAURANT AND BAR COIMMERCIAL: RESTAURANT SINGLE STOREY BRICK VENEER

MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
Street Elevation

Drawing Status
TOWN PLANNING APPLICATION

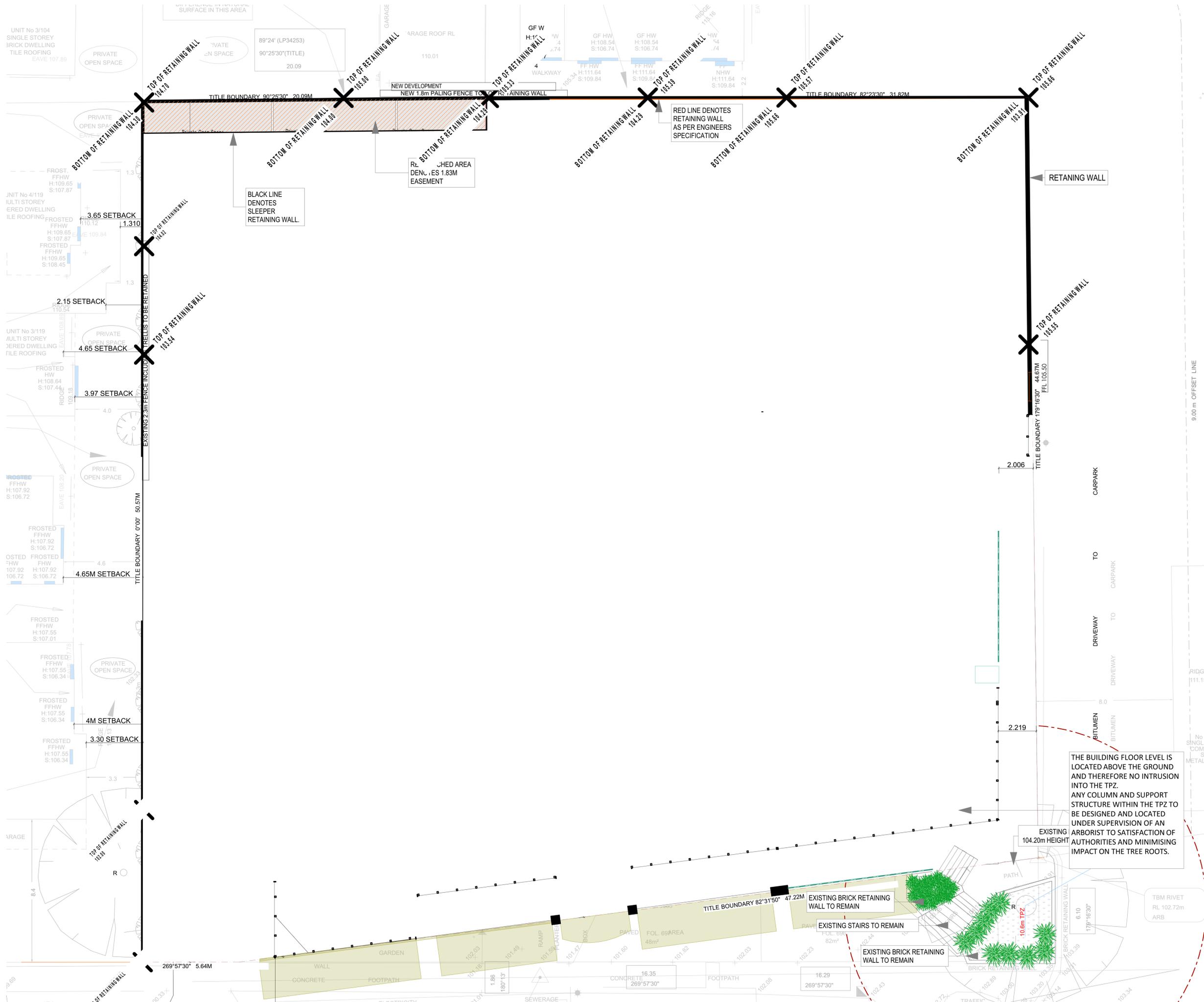
Drawn by SM & AH Date 17-Nov-16

Checked by SM

Drawing Scale



Layout ID TP20 Status TP Revision K



MUDHER ARCHITECTS PTY LTD

SOLE DIRECTOR
SURJEET MUDHER
REGISTERED ARCHITECT

Street 16 MOSSDALE COURT
City TEMPLESTOWE
State VICTORIA
Postal Code 3106

Job Title
Commercial & Residential Development

Street 121 - 125 JAMES STREET,
City TEMPLESTOWE,
State VICTORIA
Post code 3108

Drawing Name
First Floor Retaining Wall Levels

Drawing Status
TOWN PLANNING APPLICATION

| | |
|--------------------------------|----------------|
| Drawn by SM & AH | Date 17-Nov-16 |
| Checked by SM | |
| Drawing Scale | |

| | | |
|--------------------------|---------------------|----------------------|
| Layout ID TP21 | Status TP | Revision K |
|--------------------------|---------------------|----------------------|

Map 1: Structure Plan Boundary



LEGEND

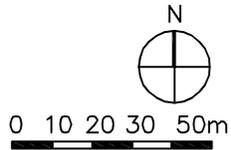
- | | | | | | |
|--|-------------------------------|--|---|--|-------------------------|
| | Study area | | Increased residential densities (No change proposed) | | Child care / pre-school |
| | Key activity centre precincts | | Existing lower density residential (No change proposed) | | Public Hall |
| | Village entrances | | Existing residential zone (No change proposed) | | Existing playspace |
| | Civic plaza | | Business zoned properties | | Churches |
| | Existing open space | | | | |

- | | |
|--|----------------------|
| | Basketball stadium |
| | Netball pavilion |
| | Mechanics institute |
| | Templestowe RSL |
| | Heritage schoolhouse |
| | Heritage churches |
| | Leisure centre |
| | Bowling club |

ACTIONS

- | | | | |
|--|---|--|--------------------------------------|
| | Future shop-top residential / office | | New playspace |
| | Car parking future development site | | Continued street tree planting |
| | New / upgraded bus stops | | Strengthen existing shared path link |
| | Upgraded pedestrian crossings | | Future shared path section |
| | New pedestrian crossings (subject to Vicroads approval) | | New taxi zone |

Map 2: Retail and commercial core



Encourage property owners to upgrade existing privately-owned carpark. Opportunity exists to reorientate the carpark to achieve increased parking spaces

Encourage property owners to upgrade existing staff toilets to allow for future public use

New on-road shared path line marking

New centre identification signage

Explore opportunities for improved / additional on-street carparking

Encourage further development infill and site consolidation while protecting key pedestrian linkages

Explore opportunities for a joint venture public/private supermarket redevelopment that provides a carparking solution using the existing Council-owned surface carpark. Increase building setback to Parker Street provide for a widened pedestrian way and feature landscaping

Encourage property owners to upgrade existing privately-owned carpark. Opportunity exists to reorientate the carpark to achieve increased parking spaces

Encourage property owners to upgrade existing staff toilets to allow for future public use

Upgrade existing bus stops throughout retail and commercial core

Encourage property owners to refurbish / replace existing centre identification sign

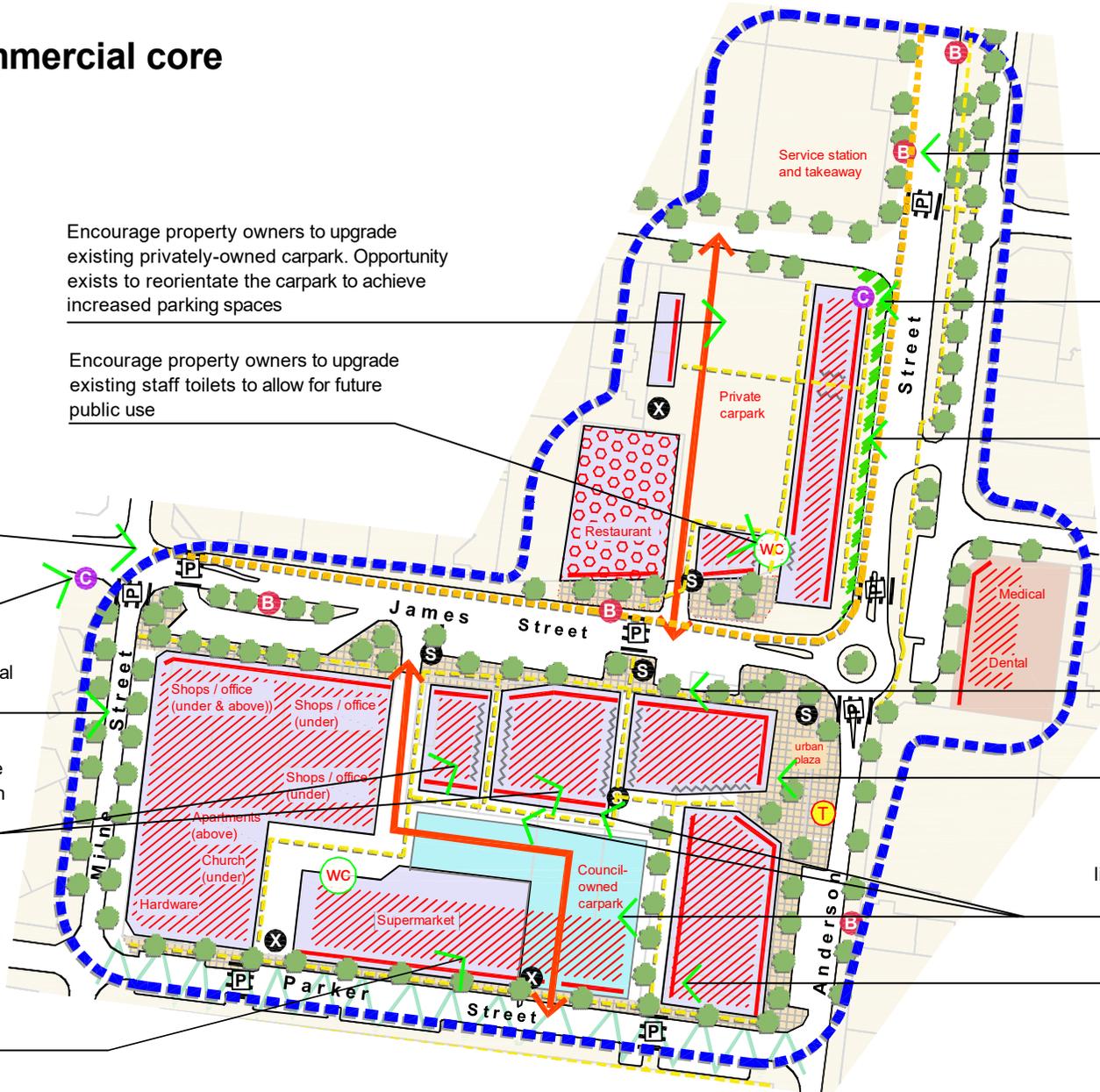
Undertake landscape improvements to existing embankment. Works to incorporate a coordinated promotional signage solution to replace existing A-frames.

Widen existing pedestrian way to provide improved opportunity for outdoor dining and product display. Consider provision of angled parking.

Proposed location for a taxi pick-up / drop-off zone

Protect rear shop access, pedestrian desire lines and key view lines as part of any future redevelopment of any infill development.

Encourage second storey shop-top residential / office



LEGEND

- Precinct boundary
- Existing business zoned properties (No change proposed)
- Existing residential zone (No change proposed)
- Enhanced pedestrian connection between precincts

ACTIONS

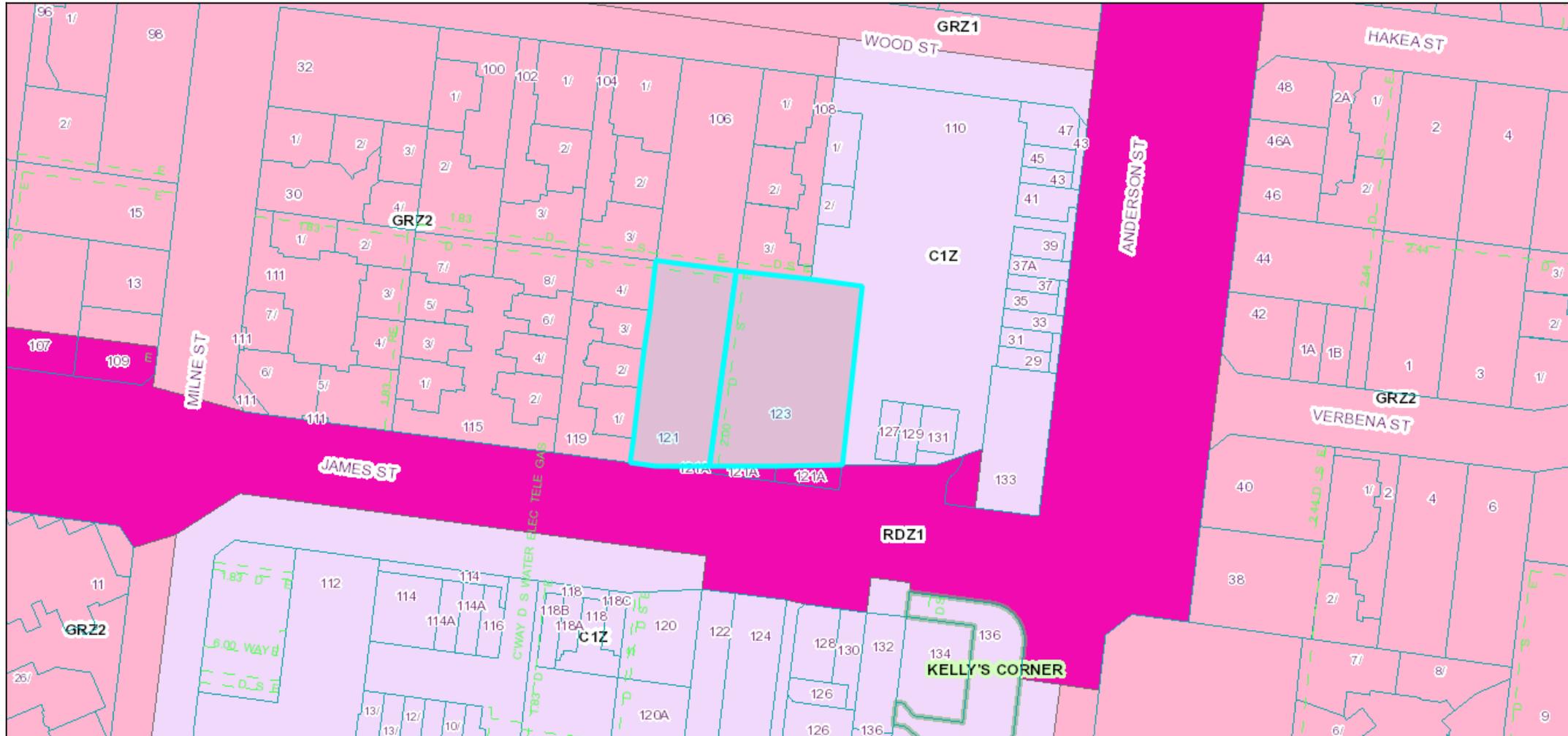
- Activated street frontages
- Laneway activation
- Civic plaza and widened pedestrian promenade
- Proposed business zoned properties (Eastern Court)
- Future shop-top residential / office

- Public car parking future development site
- Primary vehicle circulation
- New taxi zone
- Future on-road shared path link
- Strengthened pedestrian link

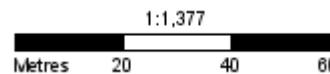
- Centre directory / wayfinding signage
- Improved centre identification signage
- New / upgraded bus stops
- New / upgraded pedestrian crossings (Subject to Vicroads approval)

- Reinforce street tree planting to enhance streetscape character
- Improved bin enclosure presentation
- New / improved public toilets
- Landscape improvements incorporating coordinated promotional signage to replace A-frames

Land Zoning - Site and Surrounds



Whilst all care has been taken in the preparation of this cadastral base map, Manningham and the State of Victoria accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for Demonstration only.



03/02/2017 3:02 PM

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Registered Restrictive Covenants & Section 173 Agreements

Section 61(4) of the Act

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

The subject land is not affected by any registered restrictive covenant.

Section 173 Agreement

The land is affected by a Section 173 Agreement. The Section 173 Agreement is not relevant to the proposal.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- State Planning Policy Framework
- Local Planning Policy Framework
- Clause 22.05 Non-Residential Uses in Residential Areas
- Clause 32.08 General Residential Zone, Schedule 2
- Clause 43.02 Design and Development Overlay, Schedule 8
- Clause 52.06 Car Parking
- Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

Zone

Clause 32.08 General Residential Zone, Schedule 2

The purpose of the General Residential Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To implement neighbourhood character policy and adopted neighbourhood character guidelines.*
- *To provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot within this zone and Planning Permit is required for the uses of Convenience restaurant and shop and any other food and drink premises or retail space.

An assessment for buildings and works for two or more dwellings is required under the provisions of Clause 55 of the Manningham Planning Scheme.

The purpose of Clause 55 is generally to provide well designed dwellings with considered regard to internal amenity, while at the same time, maintaining the amenity and character of the locality, with particular emphasis on the amenity of adjoining residents.

The applicable decision guidelines for non-residential use and development are as follows:

- *Whether the use or development is compatible with residential use.*
- *Whether the use generally serves local community needs.*
- *The scale and intensity of the use and development.*
- *The design, height, setback and appearance of the proposed buildings and works.*
- *The proposed landscaping.*
- *The provision of car and bicycle parking and associated accessways.*
- *Any proposed loading and refuse collection facilities.*
- *The safety, efficiency and amenity effects of traffic to be generated by the proposal.*

Overlay(s)

Clause 43.02 Schedule 8 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To support two storey townhouse style dwellings with a higher yield within sub-precinct B and sub-precinct A, where the minimum land size cannot be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *Higher developments on the perimeter of sub-precinct A must be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the building.*
- *To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*

- To create a boulevard effect along Doncaster Road and Manningham Road by planting trees within the front setback that are consistent with the street trees.
- To encourage landscaping around buildings to enhance separation between buildings and soften built form.

Permit Requirement

- A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.
- A permit is not required to construct or extend one dwelling on a lot more than 500 square metres.

Building Height & Setbacks

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.
- A permit cannot be granted to vary the condition regarding the minimum land size and configuration specified in Table 2 to this Schedule.
- A permit cannot be granted to vary the Maximum Building Height specified in Table 2 to this Schedule. This does not apply to:
 - The rebuilding of a lawful building or works which have been damaged or destroyed.
 - A building which exceeds the specified building height for which a valid building permit was in effect prior of the introduction of this provision.
- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

| Sub-Precinct | Maximum Building Height | Condition regarding minimum land size | Street Setback |
|-----------------------------|--|---|--|
| DDO8-2 Sub-precinct A | 11 metres provided the condition regarding minimum lot size is met. If the condition is not met, the maximum height is 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres. | 1800 square metres must be all the same sub-precinct. Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage | <p>For one dwelling on a lot:</p> <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 54.03-1 or 6 metres, whichever is the lesser. • Minimum side street setback is the distance specified in Clause 54.03-1. <p>For two or more dwellings on a lot or a residential building:</p> <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser. • Minimum side street setback is the |

| | | | |
|--|--|--|---------------------------------------|
| | | | distance specified in Clause 55.03-1. |
|--|--|--|---------------------------------------|

The other design requirements under this schedule to the overlay are included under Section 8 of this report.

A Planning Permit is required to construct a building or construct or carry out works under this overlay.

5.3 State Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01 Urban environment

Clause 15.01-1 Urban design

The objective of this policy is:

- *To create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.*

Clause 15.01-2 Urban design principles

The objective of this policy is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

Clause 15.01-4 Design for safety

The objective of this policy is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

Policy guidelines

Planning must consider as relevant:

- *Safer Design Guidelines for Victoria (Crime Prevention Victoria and Department of Sustainability and Environment, 2005).*

Clause 15.01-5 Cultural identity and neighbourhood character

The objective of this policy is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

Clause 15.02 Sustainable development

Clause 15.02-1 Energy and resource efficiency

The objective of this policy is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

Clause 16.01 Residential development

Clause 16.01-1 Integrated housing

The objective of this policy is:

- *To promote a housing market that meets community needs.*

Clause 16.01-2 Location of residential development

The objective of this policy is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

Clause 16.01-4 Housing diversity

The objective of this policy is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 16.01-5 Housing affordability

The objective of this policy is:

- *To deliver more affordable housing closer to jobs, transport and services.*

5.4 Local Planning Policy Framework (LPPF)

Municipal Strategic Statement

Clause 21.03 Key Influences

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

Clause 21.05 Residential

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

The site is within "Precinct 2 –Residential Areas Surrounding Activity Centres and Along Main Roads".

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The three sub-precincts within Precinct 2 consist of:

Sub-precinct – Main Road (DDO8-1) is an area where three storey (11 metres) 'apartment style' developments are encouraged on land with a minimum area of 1,800m². Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage. The area of 1,800m² must all be in the same sub-precinct. All development in the Main Road sub-precinct should have a maximum site coverage of 60 percent.

Higher developments on the perimeter of the Main Road sub-precinct should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct A or B, or other adjoining zone.

Sub-precinct A (DDO8-2) is an area where two storey units (9 metres) and three storey (11 metres) 'apartment style' developments are encouraged. Three storey, contemporary developments should only occur on land with a minimum area of 1800m². Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and

have a shared frontage. The area of 1800m² must all be in the same sub-precinct. In this sub-precinct, if a lot has an area less than 1800m², a townhouse style development proposal only will be considered, but development should be a maximum of two storeys. All development in Sub-precinct A should have a maximum site coverage of 60 percent.

Higher developments on the perimeter of sub-precinct A should be designed so that the height and form are sufficiently stepped down, so that the scale and form complement the interface of sub-precinct B, or other adjoining zone.

Sub-precinct B (DDO8-3) is an area where single storey and two storey dwellings only will be considered and development should have a maximum site coverage of 60 percent. There is no minimum land area for such developments.

The site is located within **Sub-Precinct – A**.

Development in Precinct 2 should:

- Provide for contemporary architecture;
- Achieve high design standards;
- Provide visual interest and make a positive contribution to the streetscape;
- Provide a graduated building line from side and rear boundaries;
- Minimise adverse amenity impacts on adjoining properties;
- Use varied and durable building materials;
- Incorporate a landscape treatment that enhances the overall appearance of the development;
- *Integrate car parking requirements into the design of buildings and landform.*

Clause 21.05-2 Housing

The relevant objectives of this policy are:

- To accommodate Manningham's projected population growth through urban consolidation, in infill developments and Key Redevelopment Sites.
- *To ensure that housing choice, quality and diversity will be increased to better meet the needs of the local community and reflect demographic changes.*
- To ensure that higher density housing is located close to activity centres and along main roads in accordance with relevant strategies.
- *To promote affordable and accessible housing to enable residents with changing needs to stay within their local neighbourhood or the municipality.*
- *To encourage development of key Redevelopment Sites to support a diverse residential community that offers a range of dwelling densities and lifestyle opportunities.*
- *To encourage high quality and integrated environmentally sustainable development.*

The strategies to achieve these objectives include:

- *Ensure that the provision of housing stock responds to the needs of the municipality's population.*
- Promote the consolidation of lots to provide for a diversity of housing types and design options.
- Ensure higher density residential development occurs around the prescribed activity centres and along main roads identified as Precinct 2 on the Residential Framework Plan 1 and Map 1 to this clause.
- *Encourage development to be designed to respond to the needs of people with limited mobility, which may for example, incorporate lifts into three storey developments.*

Clause 21.05-4 Built form and neighbourhood character

The objective of this policy is:

- *To ensure that residential development enhances the existing or preferred neighbourhood character of the residential character precincts as shown on Map 1 to this Clause.*

The strategies to achieve this objective include:

- *Require residential development to be designed and landscaped to make a positive contribution to the streetscape and the character of the local area.*
- *Ensure that where development is constructed on steeply sloping sites that any development is encouraged to adopt suitable architectural techniques that minimise earthworks and building bulk.*
- *Ensure that development is designed to provide a high level of internal amenity for residents.*
- *Require residential development to include stepped heights, articulation and sufficient setbacks to avoid detrimental impacts to the area's character and amenity.*

Local Planning Policy

Clause 22.05 (Non-residential uses in residential areas) applies to non-residential uses in a Residential Growth Zone, General Residential Zone, Neighbourhood Residential Zone and Low Density Residential Zone. The policy seeks to balance the need for residents to access services in residential locations, while ensuring that residential amenity is not adversely affected. The policy encourages a range of non-residential uses to be clustered together, to service local community needs, reduce car dependency and provide opportunities for social interaction.

Clause 22.08 (Safety through urban design) applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

Clause 22.09 (Access for disabled people) also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

Particular Provisions

Clause 52.06 (Car Parking) is relevant to this application. Pursuant to Clause 52.06-5, car parking is required to be provided at the following rate:

- 1 space for 1 and 2 bedroom dwellings
- 2 spaces for 3 or more bedroom dwellings
- 1 visitor space to every 5 dwellings for developments of 5 or more dwellings

Clause 52.06-8 outlines various design standards for parking areas that should be achieved.

Clause 52.29 Land Adjacent to a Road Zone, Category 1, or a Public Acquisition Overlay for a Category 1 Road

The purpose of this clause is:

- *To ensure appropriate access to identified roads.*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Road Zone, Category 1.

Clause 52.34 Bicycle Facilities

Clause 52.03 sets out requirements for bicycle parking. The retail and residential uses attract differing provisions. An assessment against this clause is provided within the Assessment Section of this report

Clause 55 Two more dwellings on a lot and residential buildings

The development of two or more dwellings on a lot must meet the requirements of this clause. An assessment against this clause is provided within the Assessment Section of this report.

General Provisions

Clause 65 (Decision Guidelines) outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- The State Planning Policy Framework and the Local Planning Policy *Framework, including the Municipal Strategic Statement and local planning policies.*
- *The purpose of the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*

5.5 OTHER RELEVANT LEGISLATION AND POLICY

The following are relevant documents referenced in the Scheme that are particularly applicable to this application:

- (a) *Templestowe Village Structure Plan (Manningham City Council, 2012 - revised 2013);*
- (b) *Better Apartment Design Standards (Environment, Land, Water, Water and Planning (DELWP and Office of the Victorian Government Architect (OVGA), December 2016 - to come into effect March 2017); and*
- (c) *Design Guidelines for Higher Density Residential Development (Department of Sustainability and Environment, 2004).*