

5. LEGISLATIVE REQUIREMENTS

5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The Act is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of the Act, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the Act the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

5.2 MANNINGHAM PLANNING SCHEME

Clauses of the Manningham Planning Scheme the Responsible Authority must consider:

- Planning Policy Framework
- Clause 32.07 Residential Growth Zone, Schedule 2
- Clause 32.08 General Residential Zone, Schedule 2
- Clause 43.02 Design and Development Overlay, Schedule 8
- Clause 52.06 Car Parking
- Clause 52.29 Land Adjacent to the Principal Road Network
- Clause 52.34 Bicycle Facilities
- Clause 65 Decision Guidelines

An apartment development of five or more storeys, excluding a basement, must ordinarily meet the requirements of Clause 58. However, pursuant to Clause 32.07-5 (Residential Growth Zone) and 32.08-6 (General Residential Zone), Clause 58 does not apply to an application for an amendment of a permit under section 72 of the Act, if the original permit application was lodged before the approval date of Amendment VC136. Amendment VC136 was approved on 13 April 2017, and the original permit application was lodged 20 November 2014.

Zones

Clause 32.07 Residential Growth Zone, Schedule 2

The purpose of the General Residential Zone is:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To provide housing at increased densities in buildings up to and including four storey buildings.*
- *To encourage a diversity of housing types in locations offering good access to services and transport including activity centres and town centres.*

- *To encourage a scale of development that provides a transition between areas of more intensive use and development and other residential areas.*
- *To ensure residential development achieves design objectives specified in a schedule to this zone.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot.

A building must not be constructed for use as a dwelling or a residential building that exceeds the maximum building height specified in a schedule to this zone.

Schedule 2 to the Residential Growth Zone does not specify a maximum building height requirement for a dwelling or residential building.

If no maximum building height is specified in a schedule to this zone, the building height should not exceed 13.5 metres.

A building may exceed the maximum building height by up to 1 metre if the slope of the natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees.

Any buildings or works constructed on a lot that abuts land which is in a General Residential Zone, Neighbourhood Residential Zone, or Township Zone must meet the requirements of Clauses 55.03-5, 55.04-1, 55.04-2, 55.04-3, 55.04-5 and 55.04-6 along that boundary.

Clause 32.08 General Residential Zone, Schedule 2

The purpose of the General Residential Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot.

An application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area of 35% for lots above 650 square metres.

A building must not be constructed for use as a dwelling or a residential building that:

- *exceeds the maximum building height specified in a schedule to this zone; or*
- *contains more than the maximum number of storeys specified in a schedule to this zone.*

If no maximum building height or maximum number of storeys is specified in a schedule to this zone:

- *the building height must not exceed 11 metres; and*
- *the building must contain no more than 3 storeys at any point.*

Schedule 2 to the General Residential Zone does not specify a maximum building height requirement for a dwelling or residential building.

A basement is not a storey for the purposes of calculating the number of storeys contained in a building.

Overlays

Clause 43.02 Schedule 8 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the building.*
- *To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To encourage landscaping around buildings to enhance separation between buildings and soften built form.*

Permit Requirement

- *A permit is required to construct or carry out works.*
- *A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.*

Building Height & Setbacks

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.
- A permit cannot be granted to vary the condition regarding the minimum land size and configuration specified in Table 2 to this Schedule.
- A permit cannot be granted to vary the Maximum Building Height specified in Table 2 to this Schedule.
- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

Table 1

Sub-Precinct	Maximum Building Height	Condition regarding minimum land size	Street setback
--------------	-------------------------	---------------------------------------	----------------

DDO8-1 (Main Road) Sub-precinct	11 metres provided the condition regarding minimum land size is met. If the condition is not met, the maximum height is 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.	1,800 square metres must be all in the same sub-precinct. Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage	For two or more dwellings on a lot or a residential building: <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser • Minimum side street setback is the distance specified in Clause 55.03-1
--	---	---	--

Table 2

Sub-Precinct	Maximum Building Height	Condition regarding minimum land size	Street setback
DDO8-2 (Sub-precinct A)	11 metres provided the condition regarding minimum land size is met. If the condition is not met, the maximum height is 9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.	1,800 square metres must be all in the same sub-precinct. Where the land comprises more than one lot, the lots must be consecutive lots which are side by side and have a shared frontage.	For two or more dwellings on a lot or a residential building: <ul style="list-style-type: none"> • Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser • Minimum side street setback is the distance specified in Clause 55.03-1

Planning Policy Framework

The relevant sections of the Planning Policy Framework are as follows:

Clause 15.01-1L (Safer neighbourhoods - Manningham) seeks to facilitate buildings, subdivisions, street layout, car parks and public open space that are safe.

Strategies towards achieving this are identified as follows:

- *Design buildings to provide informal surveillance of adjacent open space.*
- *Create private and public open space areas that are accessible, functional and safe.*
- *Locate playgrounds in areas that are clearly visible to guardians and residents and avoid locating playgrounds behind buildings or in secluded areas.*
- *Design landscaping of public spaces to provide clear and unobstructed views.*
- *Utilise landscaping with low shrubs or ground covers to increase effectiveness of natural surveillance.*
- *Avoid the planting of trees and shrubs with dense foliage near pathways.*
- *Avoid rear lane ways and pedestrian tunnels unless adequate surveillance opportunities for these areas can be incorporated into the design.*
- *Locate automatic teller machines where there are clear sightlines in the public realm.*
- *Design and locate buildings, including car parks, to promote public safety by:*
 - *Maximising visibility and sightlines to and from public and communal spaces.*
 - *Avoiding hidden car spaces, blind corners and areas of potential entrapment.*
- *Design pedestrian entrances to be clearly visible from streets and public areas, to provide shelter and to provide a transitional space between the public and private realm.*
- *Ensure development and landscaping surrounding open car parks provide casual surveillance opportunities.*
- *Provide clear directional signage within car parks and at entry and exit points.*
- *Encourage open and transparent fences along street frontages and public areas to allow surveillance and visibility.*
- *Design buildings to discourage external roof access.*
- *Encourage the use measures to manage graffiti and vandalism.*
- *Avoid enclosing public spaces that adjoin private property.*
- *Ensure streetscapes:*
 - *Are attractive.*
 - *Clearly define areas for pedestrian and vehicle movement.*
 - *Provide natural surveillance and visibility for pedestrians, drivers and occupants of adjacent land*

Clause 15.01-2S (Building Design) seeks to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

Strategies towards achieving this are identified as follows:

- *Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.*
- *Ensure development responds and contributes to the strategic and cultural context of its location.*
- *Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.*
- *Improve the energy performance of buildings through siting and design measures that encourage:*
 - *Passive design responses that minimise the need for heating, cooling and lighting.*
 - *On-site renewable energy generation and storage technology.*
 - *Use of low embodied energy materials.*
- *Ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.*
- *Encourage use of recycled and reusable materials in building construction and undertake adaptive reuse of buildings, where practical.*

- *Encourage water efficiency and the use of rainwater, stormwater and recycled water.*
- *Minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse.*
- *Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.*
- *Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.*
- *Ensure development is designed to protect and enhance valued landmarks, views and vistas.*
- *Ensure development considers and responds to transport movement networks and provides safe access and egress for pedestrians, cyclists and vehicles.*
- *Encourage development to retain existing vegetation.*
- *Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.*

Clause 15.01-2L (Environmentally Sustainable development – Manningham) seeks to achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

Strategies

- *Facilitate development that minimises environmental impacts.*
- *Encourage environmentally sustainable development that:*
 - *Is consistent with the type and scale of the development.*
 - *Responds to site opportunities and constraints.*
- *Adopts best practice through a combination of methods, processes and locally available technology that demonstrably minimise environmental impacts.*

Energy performance

- *Reduce both energy use and energy peak demand through design measures such as:*
 - *Building orientation.*
 - *Shading to glazed surfaces.*
 - *Optimising glazing to exposed surfaces.*
 - *Inclusion of or space allocation for renewable technologies.*

Integrated water management

- *Reduce total operating potable water use through appropriate design measures such as water efficient fixtures, appliances, equipment, irrigation and landscaping.*
- *Encourage the appropriate use of alternative water (including greywater, rainwater and stormwater).*
- *Incorporate best practice water sensitive urban design to improve the quality of stormwater runoff and reduce impacts on water systems and water bodies.*

Indoor environment quality

- *Achieve a healthy indoor environment quality, including thermal comfort and access to fresh air and daylight, prioritising passive design over mechanical heating, ventilation, cooling and lighting.*
- *Reduce indoor air pollutants by encouraging use of low-toxicity materials.*
- *Minimise noise levels and noise transfer within and between buildings and associated external areas.*

Transport

- *Design development to promote the use of walking, cycling and public transport, in that order; and minimise car*

- *dependency.*
- *Promote the use of low emissions vehicle technologies and supporting infrastructure.*

Waste management

- *Promote waste avoidance, reuse and recycling during the design, construction and operation stages of development.*
- *Encourage use of durable and reusable building materials.*
- *Ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.*

Urban ecology

- *Protect and enhance biodiversity by incorporating natural habitats and planting indigenous vegetation.*
- *Reduce urban heat island effects through building design, landscape design, water sensitive urban design and the*
- *retention and provision of canopy and significant trees.*
- *Encourage the provision of space for productive gardens, particularly in larger residential developments.*

Clause 15.01-4S (Healthy neighbourhoods) policy objective seeks to create neighbourhoods that foster healthy and active living and community wellbeing.

Strategies towards achieving this are identified as follows:

- *Design neighbourhoods that foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular physical activity by providing:*
 - *Connected, safe, pleasant and attractive walking and cycling networks that enable and promote walking and cycling as a part of daily life.*
 - *Streets with direct, safe and convenient access to destinations.*
 - *Conveniently located public spaces for active recreation and leisure.*
 - *Accessibly located public transport stops.*
 - *Amenities and protection to support physical activity in all weather conditions.*

Clause 15.01-5S (Neighbourhood character) policy objective is to recognise, support and protect neighbourhood character, cultural identity, and sense of place.

Strategies towards achieving this are identified as follows:

- *Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.*
- *Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing.*
- *Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:*
 - *Pattern of local urban structure and subdivision.*
 - *Underlying natural landscape character and significant vegetation.*
 - *Neighbourhood character values and built form that reflect community identity.*

Clause 15.01-5-01L (Landscaping Manningham) policy strategies are as follows;

- *Provide landscaping to soften built form and the appearance of large areas of car parking, accessways and development.*
- *Incorporate indigenous planting and canopy trees.*
- *Provide setbacks to enable the retention of canopy trees and landscape treatments along road frontages roadside boundaries and interfaces with adjoining sites to complement the boulevard theme and character of the area.*

- *Retain existing vegetation and canopy trees along road frontages.*
- *Retain native vegetation where possible or, incorporate new native vegetation into landscaping.*
- *Support landscaping that provides visual interest to commercial uses and carparking areas to the surrounding area*

Clause 15.01-5L-02 (Neighbourhood character)

This policy outlines the division of Manningham into four Residential Character Precincts. The precincts seek to channel increased housing densities around activity centres and main roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

Precinct 2 – Residential Areas Surrounding Activity Centres and Along Main Roads.

This precinct applies to the areas surrounding activity centers and along main roads.

While the site is subject to two zones, both zones are located identified as being within Precinct 2.

The Precinct 2 objective is to promote substantial change that is high quality, contemporary and designed to provide a transition between sub precincts in Precinct 2.

Precinct 2 strategies are as follows;

- *Provide for contemporary architecture.*
- *Encourage use of varied and durable building materials in building facades that provide visual interest.*
- *Provide a graduated building scale and form from side and rear boundaries.*
- *Incorporate a landscape treatment that enhances the overall appearance of the development and any adjacent main road.*
- *Integrate car parking into the design of buildings and landform.*
- *Encourage the built form fronting Doncaster Road at the former Eastern Golf Course (Tullamore) to be of a scale that provides an appropriate transition to Doncaster Hill Major Activity Centre.*
- *Support development as follows:*
 - *Apartment-style developments along main roads and on larger, consolidated lots in DDO8-1 - Sub-Precinct Main Road.*
 - *Apartment-style development of two-storeys, or three-storeys on larger consolidated lots, in DDO8-2 - Sub-Precinct A.*
 - *Low-rise development of one and two-storeys in DDO8-3 - Sub-Precinct B.*

The site is located within the **Main Road Sub-Precinct** and **Sub-Precinct A**.

Clause 16.01-1S (Housing Supply) policy objective is to facilitate well-located, integrated and diverse housing that meets community needs.

Strategies towards achieving this are identified as follows:

- *Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.*

- *Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*
- *Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.*
- *Encourage the development of well-designed housing that:*
 - *Provides a high level of internal and external amenity.*
 - *Incorporates universal design and adaptable internal dwelling design.*
- *Support opportunities for a range of income groups to choose housing in well-serviced locations.*
- *Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres*

Clause 19.03-3L (Wastewater, drainage and stormwater management – Manningham) policy objective is to provide safe and efficient wastewater, drainage and stormwater management systems.

Strategies towards achieving this are identified as follows:

- *Ensure that any land use or development that may increase water runoff from a site either:*
 - *Detains stormwater on site.*
 - *Undertakes or assists with off-site works to maintain or increase drainage capacity.*
- *Promote the on-site detention, absorption of stormwater through*
 - *The use of permeable paving, pebble paths, lawns and gardens.*
 - *Capture and reuse functions within detention systems.*
- *Encourage natural biological filtration systems in areas of high sediment or nutrient runoff, including roadside developments and subdivisions.*
- *Support the use of pollutant traps to prevent garbage entering the waterways.*
- *Ensure development connects to mains water.*
- *Encourage connection to sewer where available and within reasonable proximity.*

Particular Provisions

Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rates:

- *1 space for 1 and 2 bedroom dwellings.*
- *2 spaces for 3 or more bedroom dwellings.*

No residential visitor car parking spaces are required for any part of the land identified as being within the Principal Public Transport Network Area.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

Clause 52.29 Land Adjacent to the Principal Road Network

The purpose of this clause is:

- *To ensure appropriate access to identified roads.*
- *To ensure appropriate subdivision of land adjacent to identified roads.*

A permit is required to create or alter access to a road in a Transport Zone 2.

Clause 52.34 Bicycle Facilities

Pursuant to Clause 52.34-3, the following number of bicycle spaces are required in development of four or more storeys:

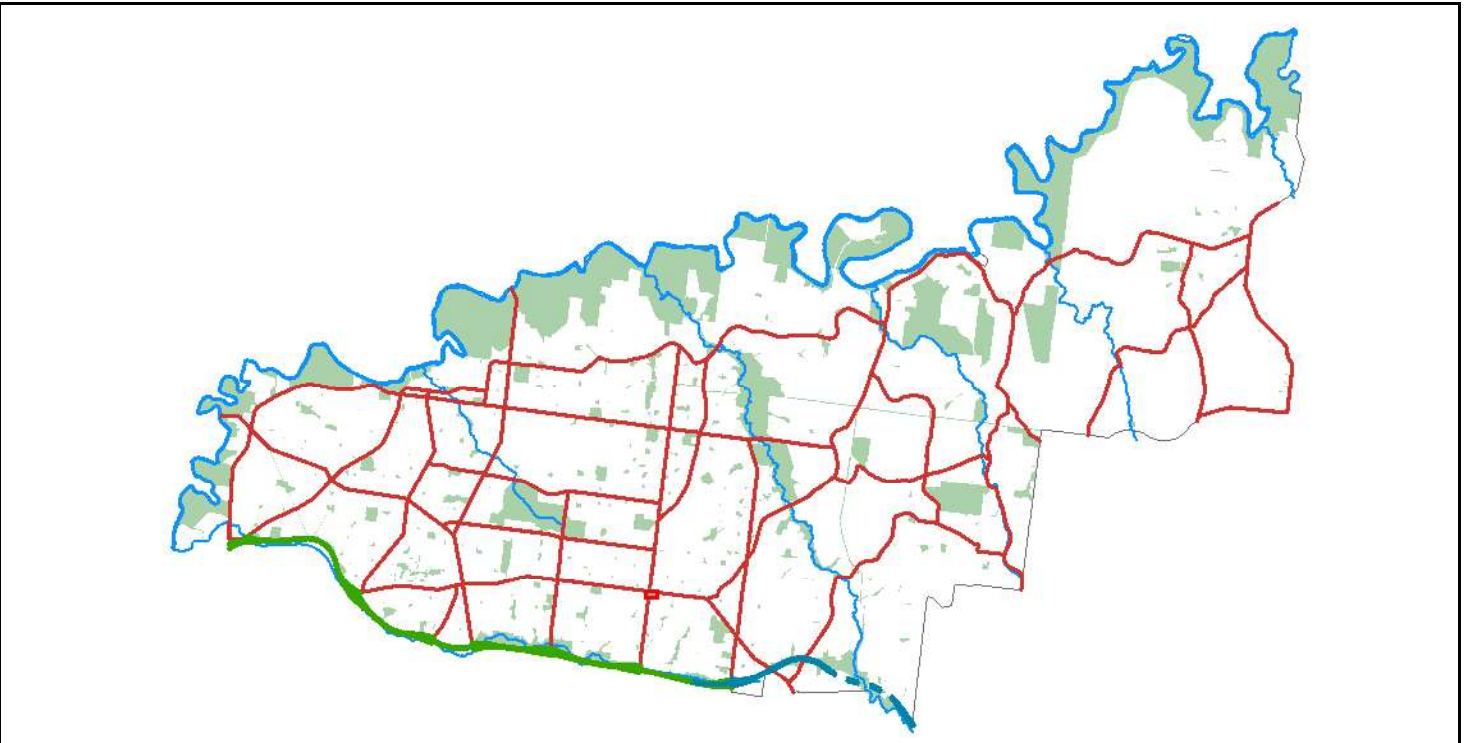
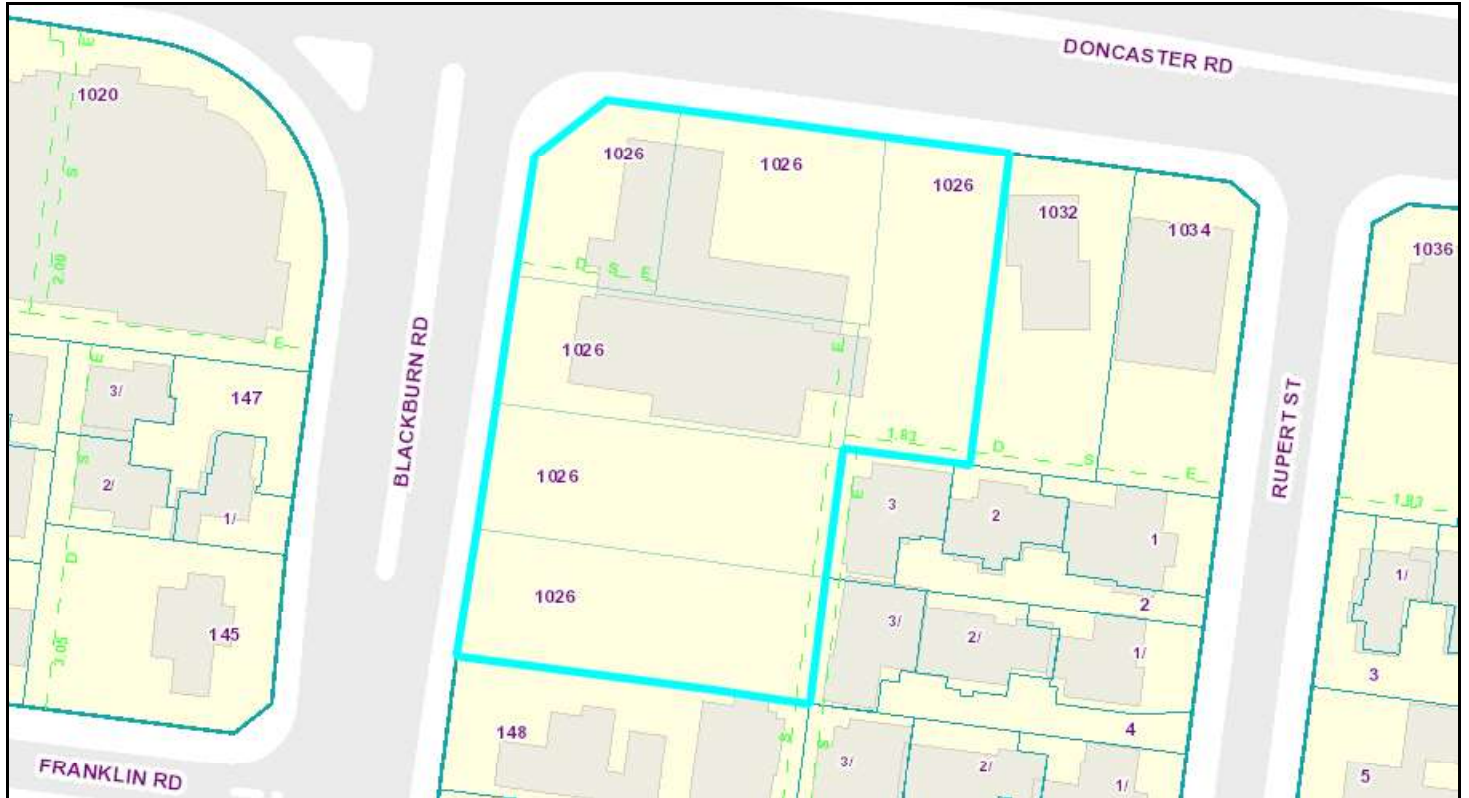
- 1 space for every 5 dwellings for residents.
- 1 space for every 10 dwellings for visitors.


General Provisions

Clause 65.01 Decision Guidelines

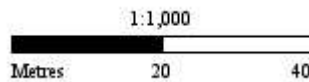
This clause outlines that before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- *The matters set out in section 60 of the Act.*
- *Any significant effects the environment, including the contamination of land, may have on the use or development.*
- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the environment, human health and amenity of the area.*
- *The proximity of the land to any public land.*
- *Factors likely to cause or contribute to land degradation, salinity or reduce water quality.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The extent and character of native vegetation and the likelihood of its destruction.*
- *Whether native vegetation is to be or can be protected, planted or allowed to regenerate.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*
- *The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.*
- *The impact the use or development will have on the current and future development and operation of the transport system.*



 **Subject Land** **Address:** 1026-1030 Doncaster Road, DONCASTER EAST 3109

Whilst all care has been taken in the preparation of this cadastral base map, Manningham and the State of Victoria accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for Demonstration only.



May 9, 2023, 4:39 PM

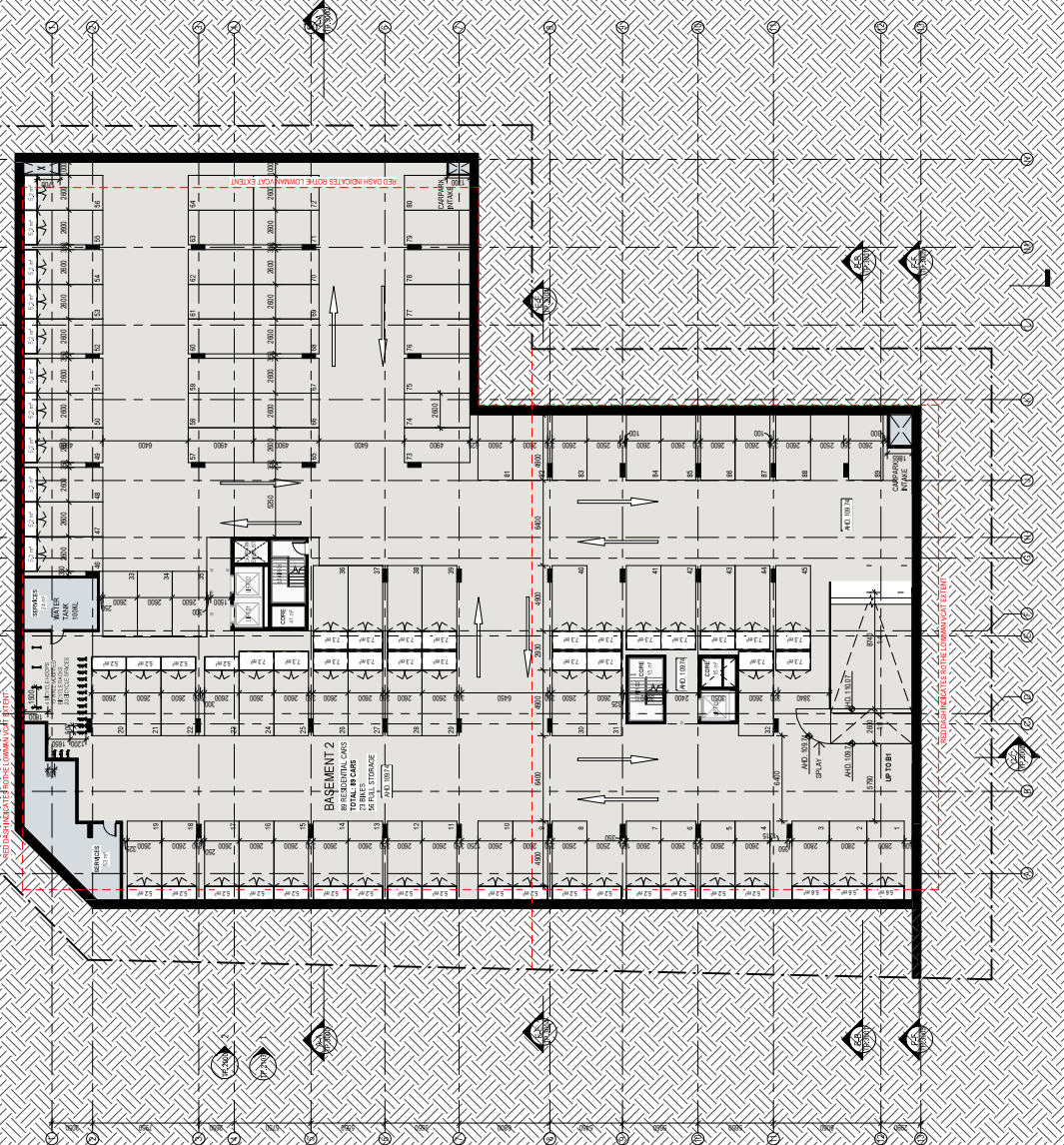
**PLANNING AND ENVIRONMENT ACT 1987
MANNINGHAM PLANNING SCHEME**

RE-ADVERTISED PLANS

Planning Application Number: **PLA22/0031**
Date: **30 March 2023**
Sheet 5 of 54

GENERAL NOTE

--- EXTENT OF WATERFRONT OUTLINE FACADES AND TERRACES
--- EXTENT OF WATERFRONT OUTLINE FACADES / TERRACES IN RE-ADVERTISED PLANS
--- LANDSCAPE SCHEME (GROUND FLOOR)
--- GZC BOUNDARY



CERA STRIBBLEY

Cera Stribley
Architecture
Interior Design
Cera Stribley Pty. Ltd.
ABN 29 350 595 700
61 8 9659 6165
info@cstribley.com.au
www.cstribley.com.au
Studio E, 369 Chapel St
Perth WA 6000

NOTES
Do not scale. Contractor must verify all dimensions on site before ground is broken. All dimensions are in millimetres unless otherwise stated. Any error or omissions shall be the responsibility of the client. All work shall be in accordance with the current Australian Standards and Building Code of Australia. All work shall be in accordance with the current Australian Standards and Building Code of Australia. All work shall be in accordance with the current Australian Standards and Building Code of Australia.

REV. DATE **REVISION** **BY** **CHK**

A.	25.03.2022	TOWN PLANNING		
B.	10.02.2022	TOWN PLANNING		
C.	07.02.2022	TOWN PLANNING		
D.	07.02.2022	TOWN PLANNING		

REV. DATE **REVISION** **BY** **CHK**

PROJECT
DONCASTER RD
1026-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

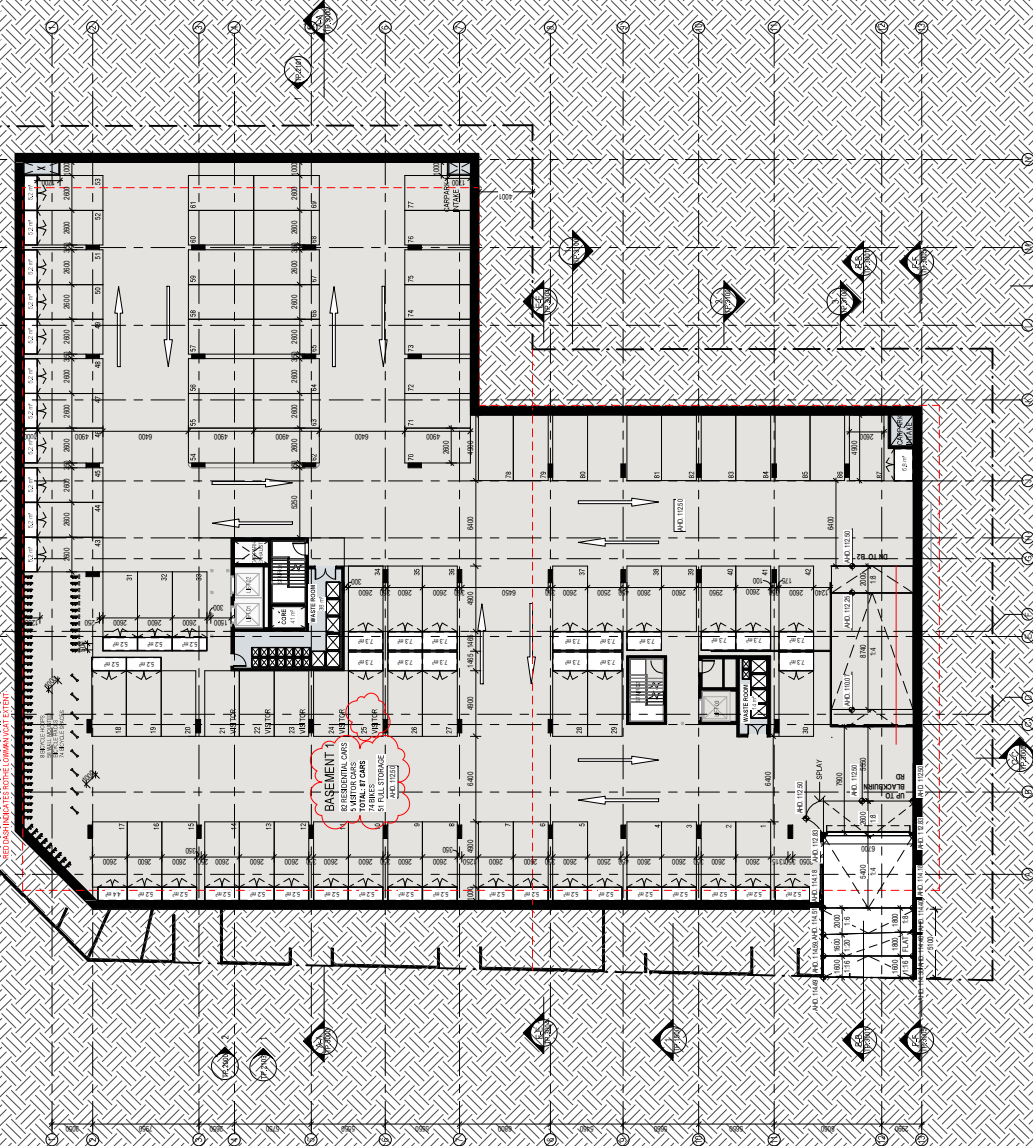
JOB N° 21254
REVISION N° D
DATE 07.02.2022
DRAWN BY 1,200 @ A1
CHECKED BY

DRAWING TITLE
PROPOSED BASEMENT 02 PLAN

TP-1090

PLANNING AND ENVIRONMENT ACT 1987
MANNINGHAM PLANNING SCHEME
RE-ADVERTISED PLANS
Planning Application Number: PLA22/0031
Date: 30 March 2023
Sheet 6 of 54

GENERAL NOTE
 - - - - - EXTENT OF WATERFRONT OUTLINE / FACED
 - - - - - EXTENT OF WATERFRONT OUTLINE / UNFACED
 - - - - - TERRACE / WALKWAY / RAMP / DRIVEWAY / LANDSCAPE / DRIVEWAY / FACED
 - - - - - GRC BOUNDARY



Cera Stribley
 Architecture
 Interior Design
 Cera Stribley Pty. Ltd.
 ABN 29 350 585 700
 61 8 8689 6868
 info@c-stribley.com.au
 www.c-stribley.com.au
 Studio E, 369 Chapel St
 Prahran VIC 3181

NOTES
 Do not scale. Contractor must verify all dimensions on site before commencing works.
 All dimensions are to the face of the work unless otherwise stated. Any error or omissions shall be the responsibility of the contractor.
 All dimensions are to the face of the work unless otherwise stated. Any error or omissions shall be the responsibility of the contractor.
 All dimensions are to the face of the work unless otherwise stated. Any error or omissions shall be the responsibility of the contractor.

REV	DATE	REVISION	BY	CHK
A.	25.03.2022	TOWN PLANNING		
B.	10.02.2022	TOWN PLANNING		
C.	07.02.2022	TOWN PLANNING		
D.	07.02.2022	TOWN PLANNING		
E.	10.02.2022	TOWN PLANNING		
F.	10.02.2022	TOWN PLANNING		

REV	DATE	REVISION	BY	CHK

PROJECT
DONCASTER RD
 1028-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

JOB N° 21254
REVISION N° F
DATE 24.02.23
DRAWN BY 1,200 @ A1
CHECKED BY

DRAWING TITLE
PROPOSED BASEMENT 01 PLAN
TP.1091

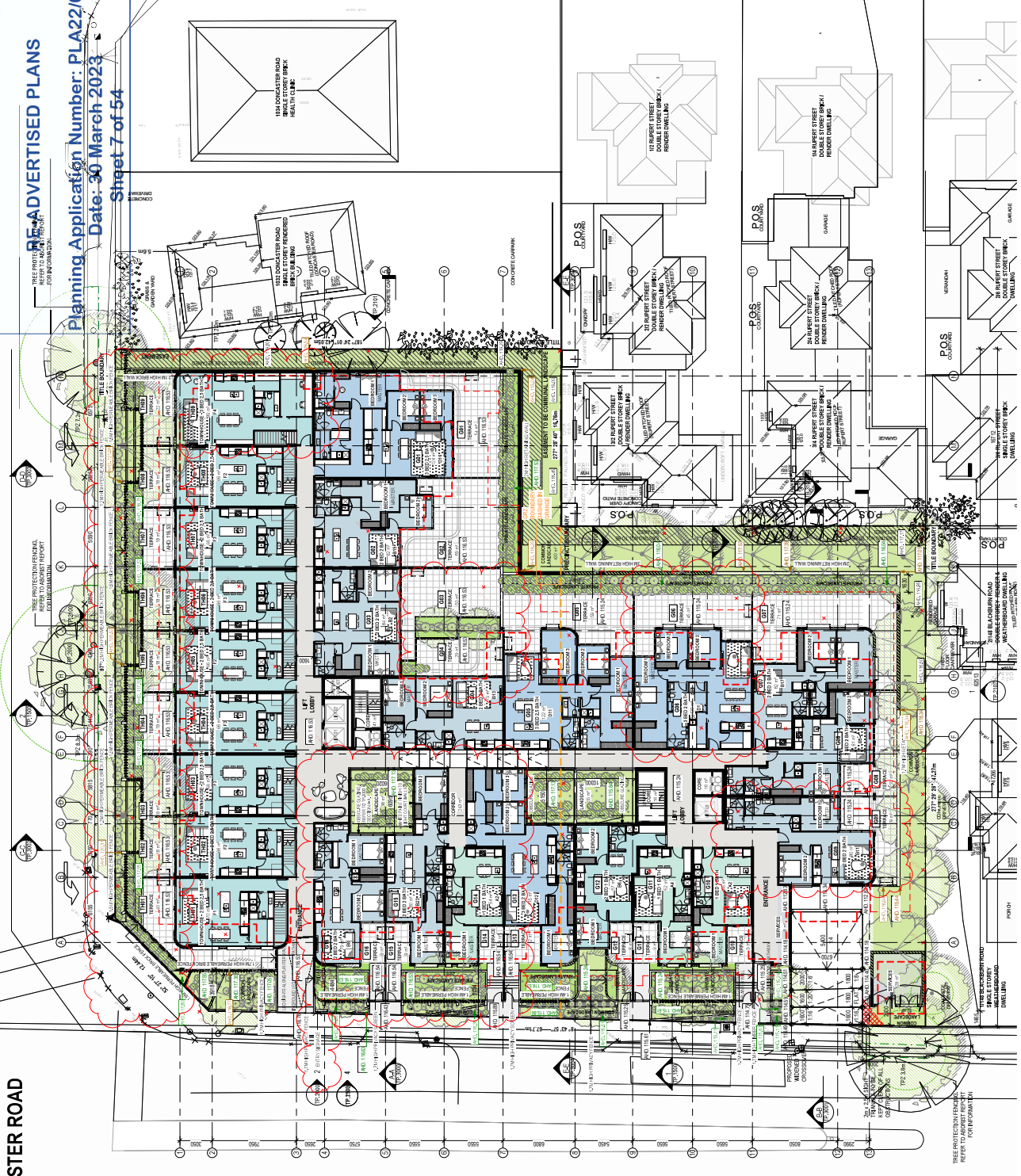
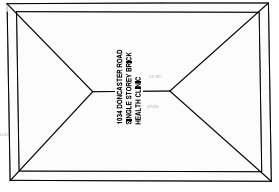



RE-ADVERTISED PLANS
Planning Application Number: PLA22/0031
Date: 30 March 2023
Sheet 7 of 54

GENERAL NOTE

- - - - - EXTENT OF WATERFIRE OUTLINE FACADES AND TERRACES
- - - - - EXTENT OF WATERFIRE OUTLINE FACADES / TERRACES IN RED MARKED IN PLACES
- - - - - LANDSCAPE BOUNDARY
- - - - - GZC BOUNDARY

NOTE
 1. POSITIVE LEVEL OF TOP OF FINISH FLOOR IN ALL AREAS
 2. POSITIVE LEVEL OF FINISHED FLOOR
 3. REFER TO LANDSCAPE PLAN FOR DETAILS
 4. ELEMENTS TO BE RETAINED
 5. REFER TO THIS DOCUMENT FOR SPACE PLAN FOR SUBMITTANT'S LANDSCAPE




 JOB N° 21264
 REVISION N° F
 DATE 24.02.23
 DRAWN BY AS.indicelli @ AI
 CHECKED BY
 DRAWING TITLE
 PROPOSED GROUND FLOOR PLAN
 TP:100

PROJECT
DONCASTER RD
 1026, 1030, DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109
 TOWN PLANNING
 STATUS

REV	DATE	REVISION	BY	CHK	REVISION
A.	25.03.2022	TOWN PLANNING			
B.	10.02.2022	TOWN PLANNING			
C.	07.02.2022	TOWN PLANNING			
D.	07.02.2022	TOWN PLANNING			
E.	10.02.2022	TOWN PLANNING			
F.	24.02.2023	TOWN PLANNING			

NOTES
 Do not scale. Contractor must verify all dimensions on site before approved by the architect before construction. Any errors or omissions shown on this drawing must be clarified and approved before proceeding.
 Reproduction of the whole or part of the document constitutes an infringement of copyright. The recipient of this document is advised that the information contained herein is confidential and should not be disclosed to any other person without the prior written consent of the copyright owner.

CERA STRIBBLEY
 Cera Stribley
 Interior Design
 Cera Stribley Pty. Ltd.
 ABN 29 350 285 700
 61 8 9659 2668
 info@cerastribley.com.au
 www.cerastribley.com.au
 Studio E, 369 Chapel St
 Fremantle, WA 6155

RE-ADVERTISED PLANS

Planning Application Number: **PLA22/0031**
 Date: **30 March 2023**

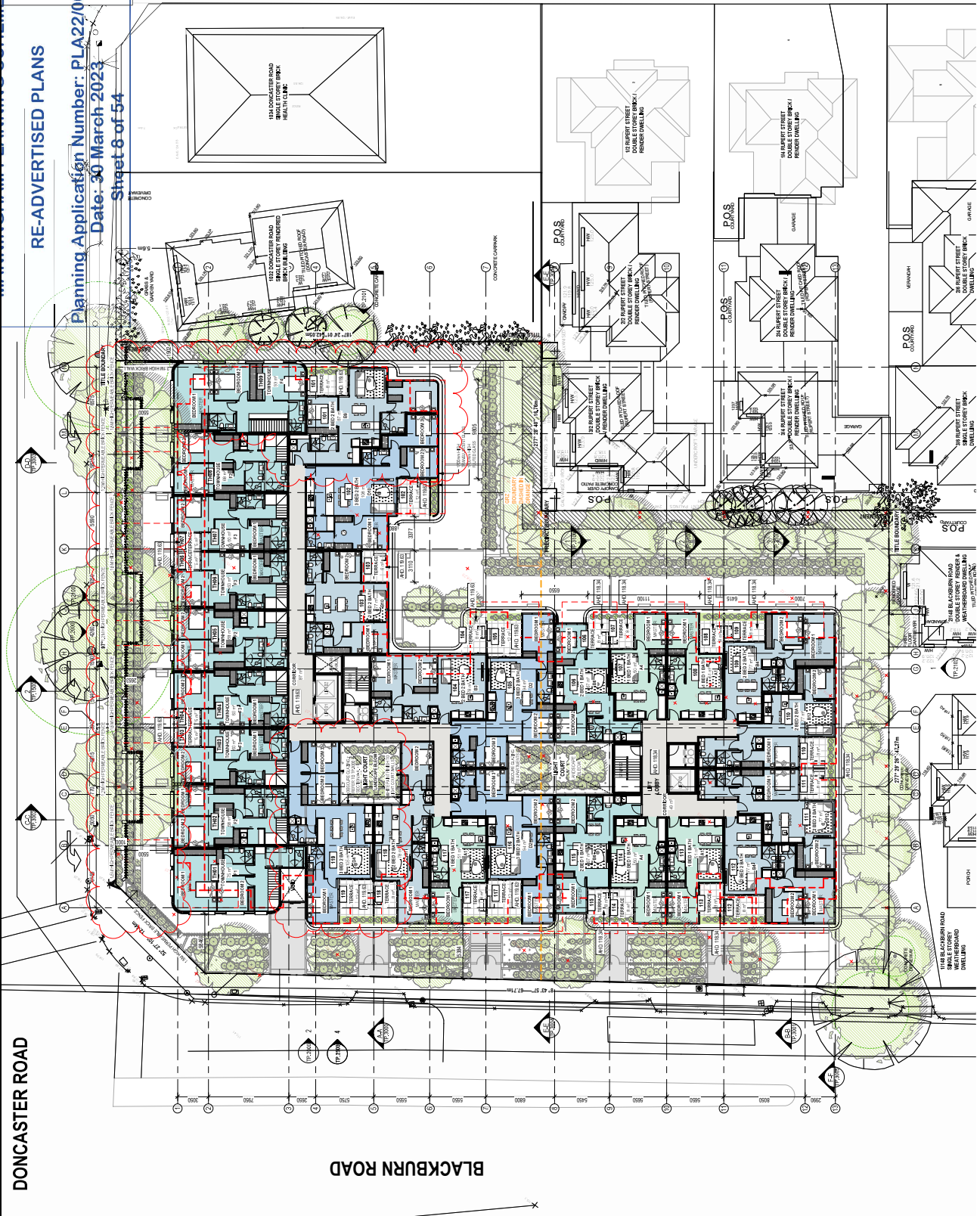
Sheet **8** of **54**

DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET

GENERAL NOTE
 - - - - - EXTENT OF WATERFUME OUTLINE FACED IN
 - - - - - EXTENT OF WATERFUME OUTLINE BALCONY /
 TERRACE IN RED DASHED LINES
 - - - - - LANDSCAPE ABOVE GROUND FLOOR
 --- GZC BOUNDARY



TP.101
 PROPOSED LEVEL 01 PLAN

PROJECT
DONCASTER RD
 1026, 1030, DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

REV **DATE** **REVISION**
 A. 25.03.2022 TOWN PLANNING
 B. 10.02.2022 TOWN PLANNING
 C. 07.02.2022 TOWN PLANNING
 D. 07.02.2022 TOWN PLANNING
 E. 03.02.2023 TOWN PLANNING
 F. 24.02.23 TOWN PLANNING

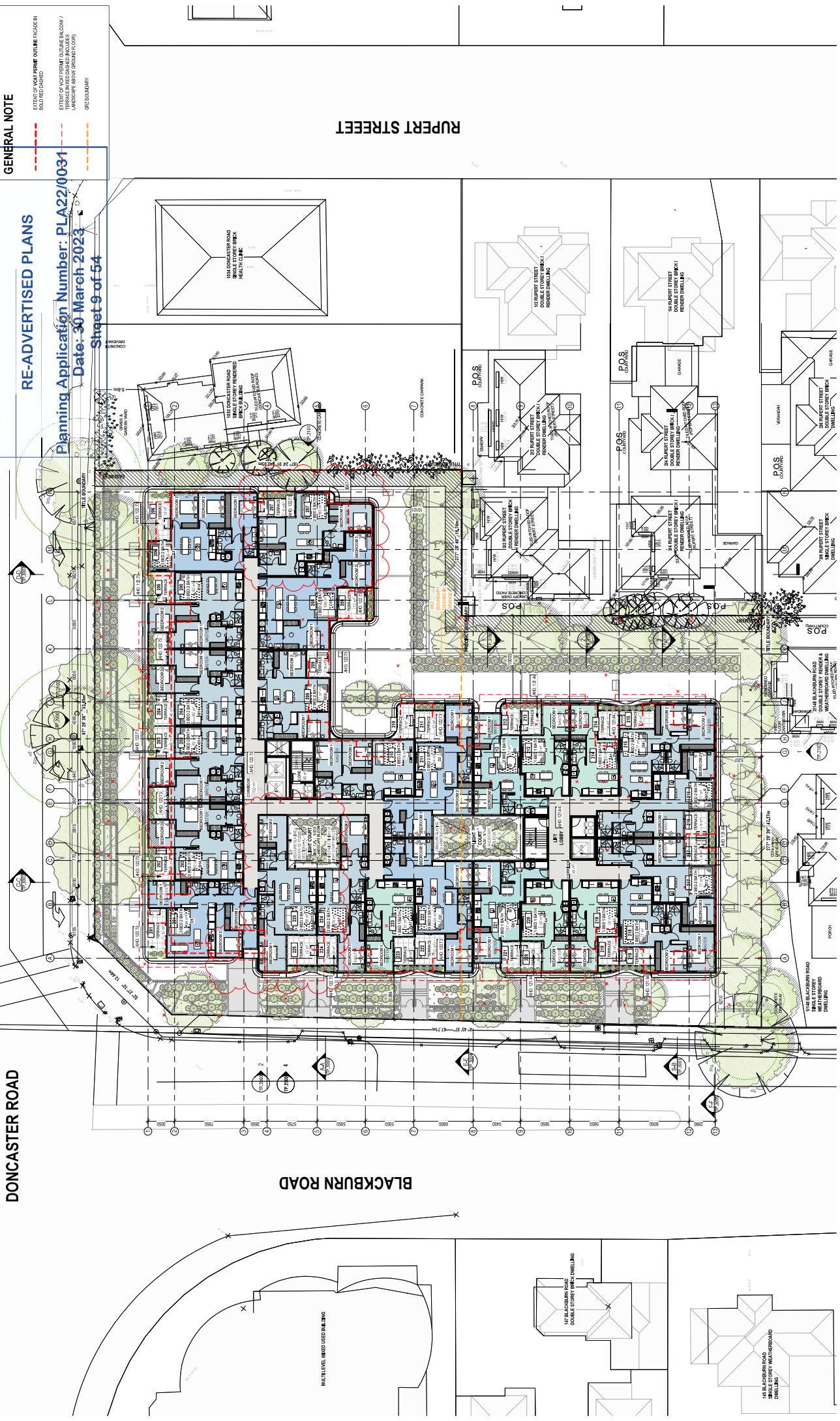
BY **CHK** **REVISION**

NOTES
 Do not scale. Contractor must verify all dimensions on site before
 commencing construction. Any errors or omissions shown on this
 drawing must be taken into account and approved before proceeding.
 Reproduction of the whole or part of this document constitutes an
 infringement of copyright. The recipient of this document is
 advised to ensure that the information is current and up-to-date.
 Copyright © 2023 Cera Stribley
 All rights reserved.

Cera Stribley
 Architecture
 Interior Design
 Cera Stribley Pty. Ltd.
 ABN 29 350 285 700
 61 8 9659 2668
 info@cerastribley.com.au
 www.cerastribley.com.au
 Studio E, 369 Chapel St
 Preston VIC 3207

RE-ADVERTISED PLANS
Planning Application Number: PLA22/0031
Date: 30 March 2023
Sheet 9 of 54

GENERAL NOTE
- - - - - EXTENT OF WATERFIRE OUTLINE FACED IN
- - - - - EXTENT OF WATERFIRE OUTLINE FACED IN
- - - - - TERRACE IN RED MARKED IN PLACES
- - - - - LANDSCAPE MARKED IN PLACES
- - - - - GZC BOUNDARY



CERA STRIBBLEY

Cera Stribley
Architecture
Interior Design
Cera Stribley Pty. Ltd.
ABN 29 350 355 700
6/18, 16/50, 2/668
info@c-stribley.com.au
www.c-stribley.com.au
Studio E, 369 Chapel St
Perth WA 6000

NOTES
Do not scale. Contractor must verify all dimensions on site before construction. Any errors or omissions shall be the responsibility of the contractor. Any errors or omissions shall be the responsibility of the contractor. Any errors or omissions shall be the responsibility of the contractor.

REV. DATE REVISION
A. 25.03.2022 TOWN PLANNING
B. 03.03.2022 TOWN PLANNING
C. 07.03.2022 TOWN PLANNING
D. 07.03.2022 TOWN PLANNING
E. 07.03.2022 TOWN PLANNING
F. 07.03.2022 TOWN PLANNING

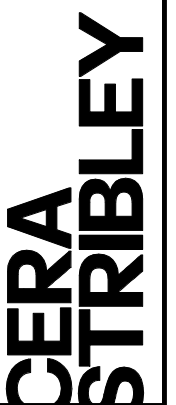
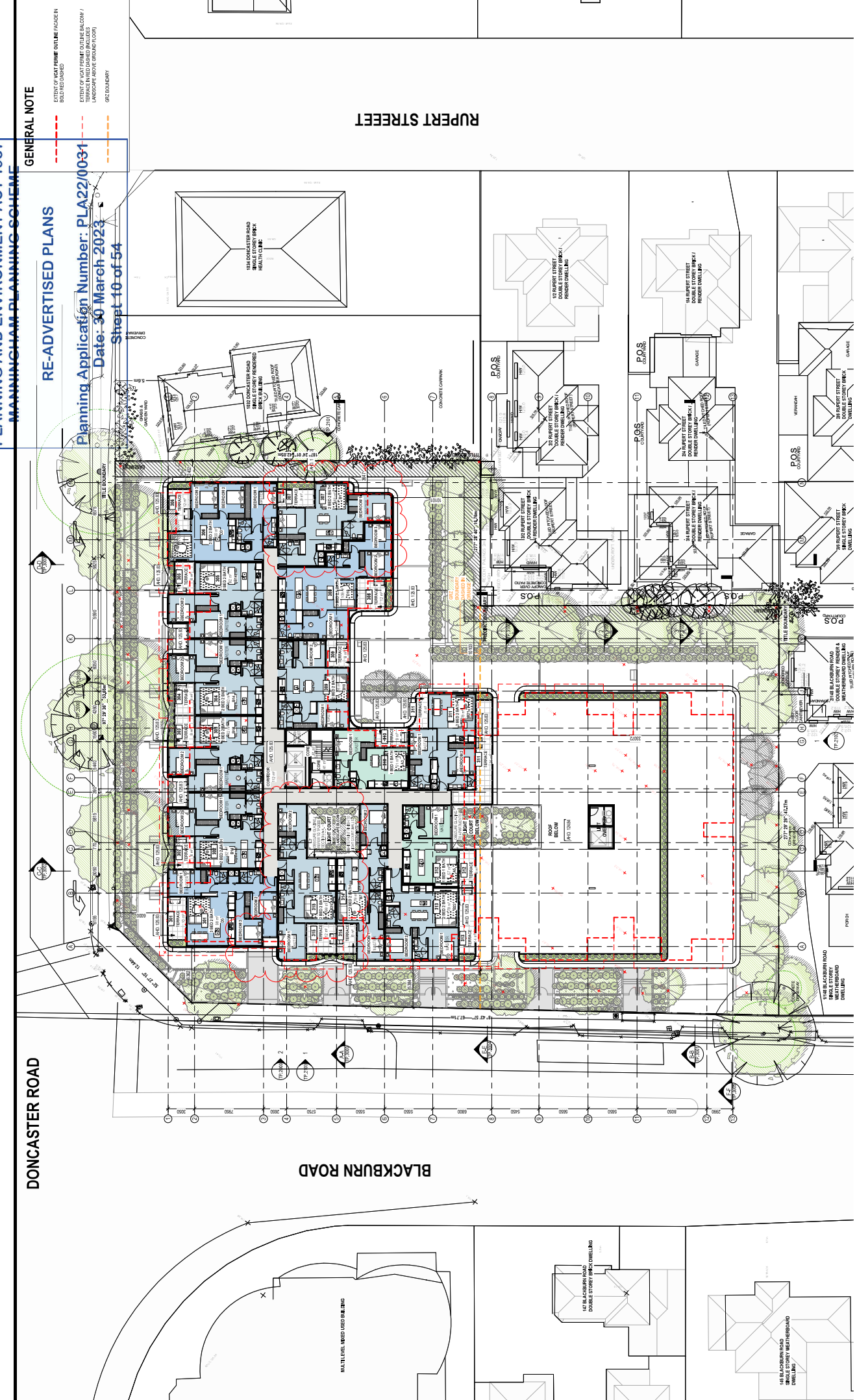
BY CHK BY CHK BY CHK BY CHK BY CHK BY CHK
BY CHK BY CHK BY CHK BY CHK BY CHK BY CHK
BY CHK BY CHK BY CHK BY CHK BY CHK BY CHK

PROJECT
DONCASTER RD
1026, 1030, DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

JOB N° 21254
REVISION N° F
DATE 24.02.23
DRAWN BY 1,200 @ A1
CHECKED BY

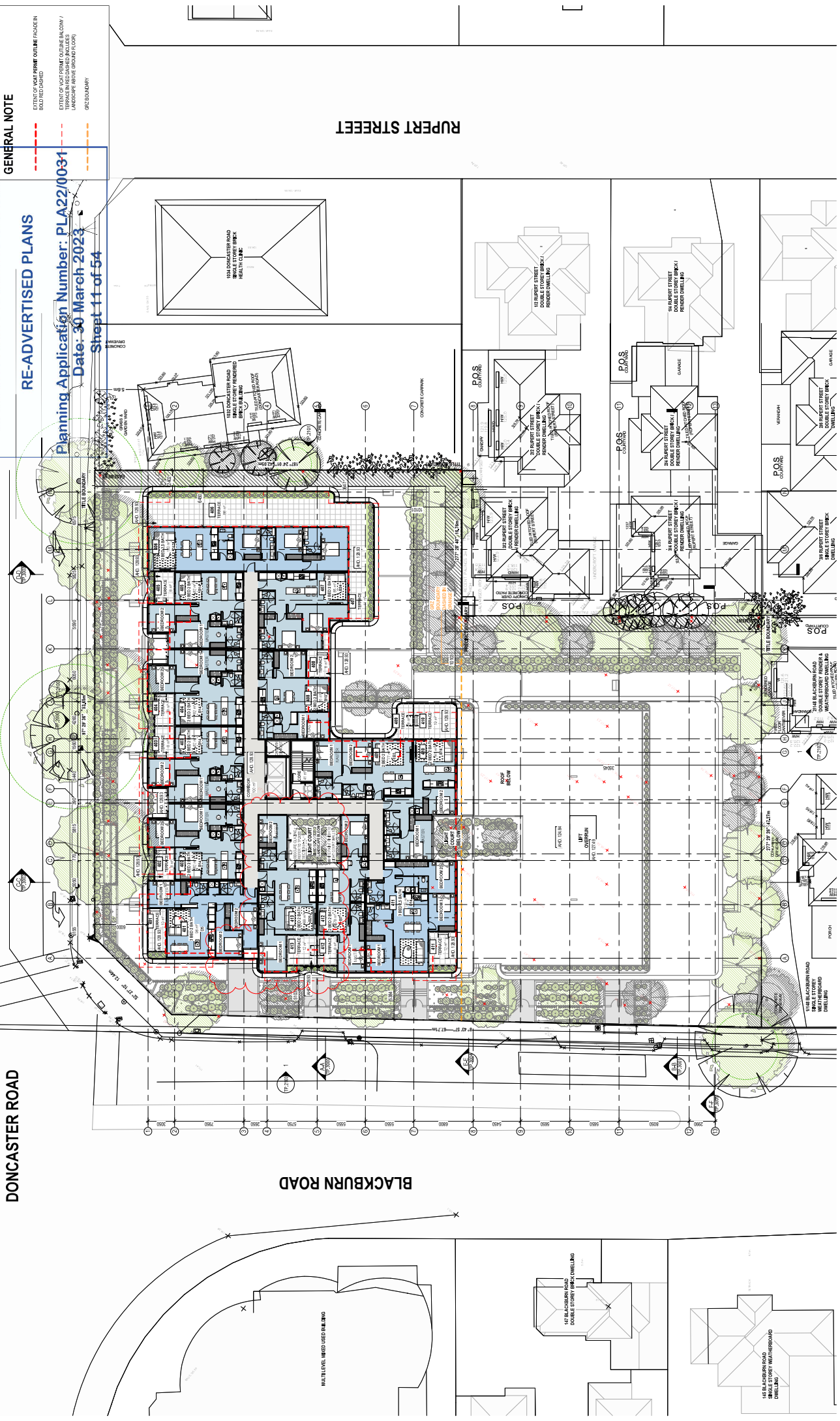
DRAWING TITLE
PROPOSED LEVEL 02 PLAN

TP.1102



RE-ADVERTISED PLANS
Planning Application Number: PLA22/0031
Date: 30 March 2023
Sheet 11 of 54

GENERAL NOTE
- - - - - EXTENT OF WATERFIRE OUTLINE FACED IN
- - - - - EXTENT OF WATERFIRE OUTLINE FACED IN
- - - - - TERRACE IN RED MARKED IN PLACES
- - - - - LANDSCAPE ABOVE GRADE FLOOR
- - - - - GZC BOUNDARY



CERA STRIBBLEY

Cera Stribley
Architecture
Interior Design
Cera Stribley Pty. Ltd.
ABN 29 350 395 700
6/18, 16/50, 16/68
www.cerastribbley.com.au
Studio E, 309 Chapel St
Perth WA 6000

NOTES
Do not scale. Contractor must verify all dimensions on site before commencing work. All dimensions are to be confirmed by the architect before construction. Any errors or omissions on this drawing must be raised and approved before proceeding.

REVISIONS

REV	DATE	REVISION	BY	CHK	REV	DATE	REVISION	BY	CHK
A.	25.03.2022	TOWN PLANNING							
B.	03.02.2022	TOWN PLANNING							
C.	14.02.2023	TOWN PLANNING							
D.	14.02.2023	TOWN PLANNING							
E.	24.02.23	TOWN PLANNING							

PROJECT
DONCASTER RD
1026, 1030, DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

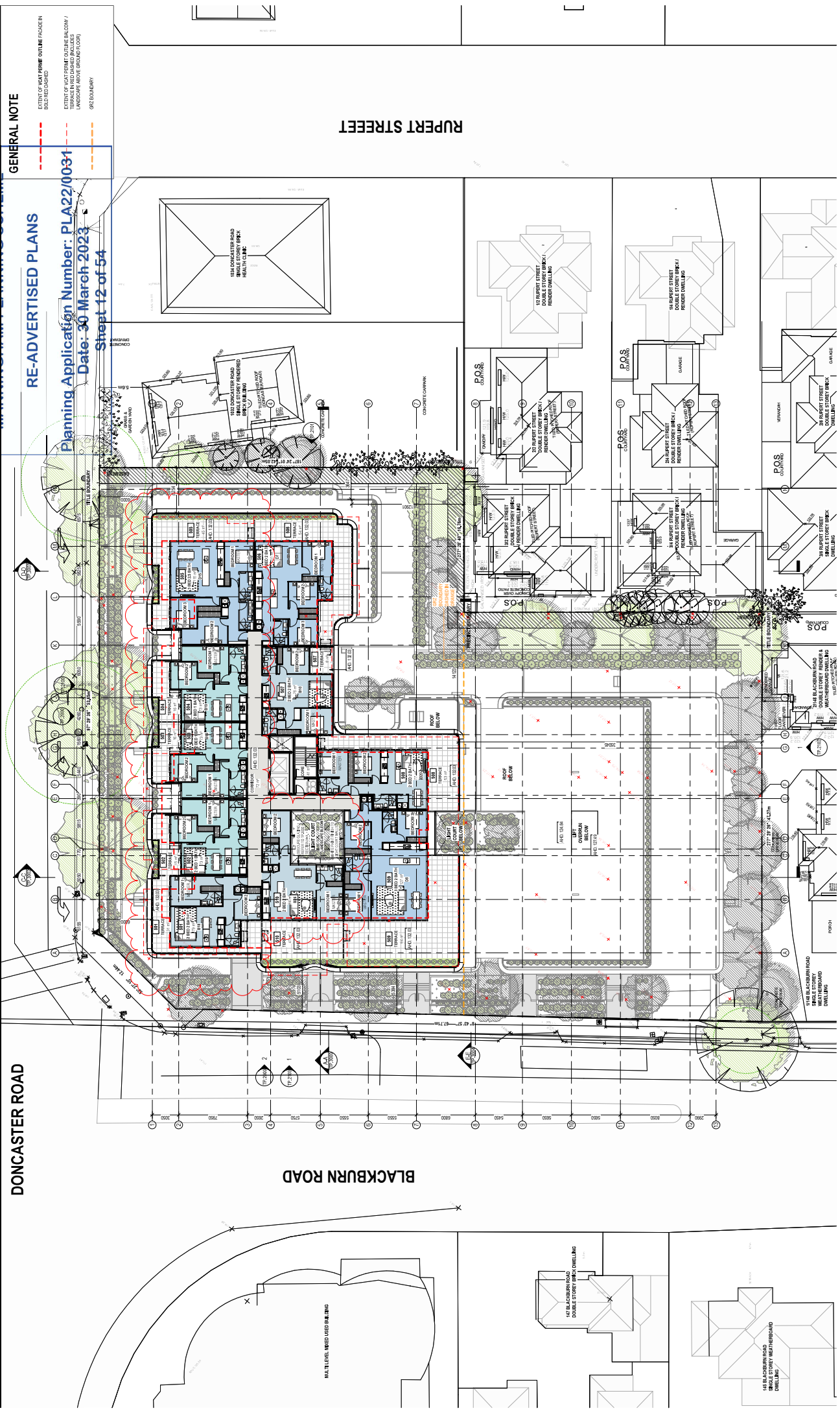
TOWN PLANNING
DRAWING TITLE
PROPOSED LEVEL 04 PLAN

JOB N° 21264
REVISION N° E
DATE 24.02.23
1:200 @ A1
DRAWN BY
CHECKED BY

RE-ADVERTISED PLANS
Planning Application Number: PLA22/0031
Date: 30 March 2023
Sheet 12 of 54

GENERAL NOTE

- - - - - EXTENT OF WATERFRONT OUTLINE FACADEN AND TERRACE
- - - - - EXTENT OF WATERFRONT OUTLINE FACADEN / TERRACE IN RED DASHED LINES
- - - - - LANDSCAPE SCHEME (GROUND FLOOR)
- - - - - GZ2 BOUNDARY



DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET



TP.105

PROJECT
DONCASTER RD
1026, 1030, DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

DRAWING TITLE
TOWN PLANNING
PROPOSED LEVEL 05 PLAN

REV	DATE	REVISION	BY	CHK	REV	DATE	REVISION	BY	CHK
A.	25.03.2022	TOWN PLANNING							
B.	03.02.2022	TOWN PLANNING							
C.	24.02.2023	TOWN PLANNING							
D.	24.02.2023	TOWN PLANNING							
E.	24.02.23	TOWN PLANNING							

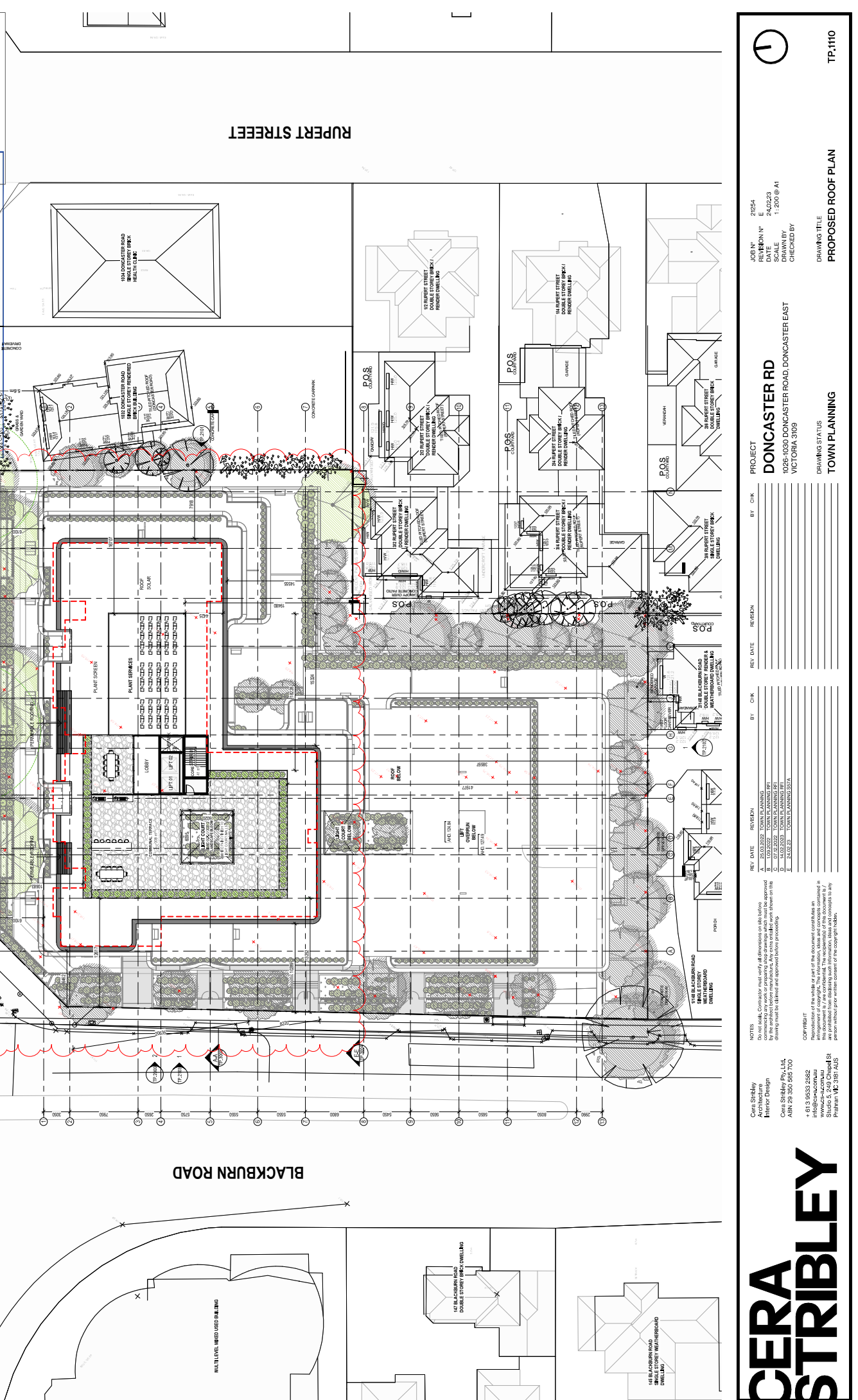
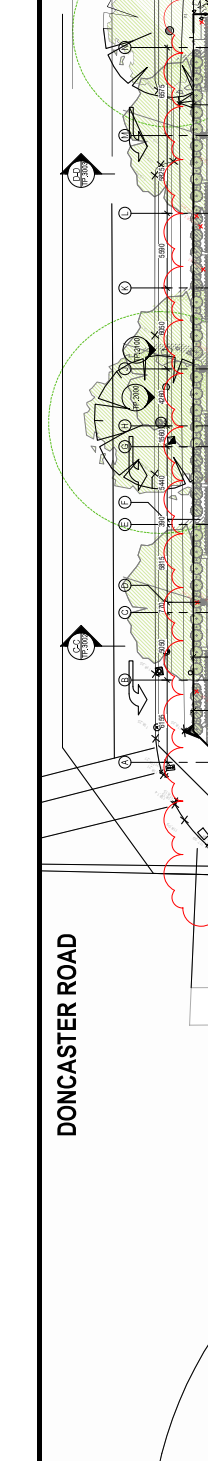
NOTES
Do not scale. Contractor must verify all dimensions on site before approved by the shire before construction. Any error or omissions on this drawing must be limited and approved before proceeding.

COPYRIGHT
Reproduction of the whole or part of this document constitutes an infringement of copyright. All rights reserved. The information contained in this document is for the use of the client only. It is not to be used for any other purpose. The information contained in this document is the property of Cera Stribley Pty Ltd. All other information is the property of the client.

Cera Stribley
Architecture
Interior Design
Cera Stribley Pty. Ltd.
ABN 29 350 355 700
61 8 9659 2668
info@c-stribley.com.au
www.c-stribley.com.au
Studio E, 309 Chapel St
Perth WA 6000



GENERAL NOTE
 - - - - - EXTENT OF FOOTPRINT OUTLINE / FACED IN
 - - - - - EXTENT OF WATER FEATURE OUTLINE / FACED IN
 - - - - - TERRACE IN RED MARKED IN PLANES
 - - - - - LANDSCAPE ABOVE GRADE / FACED IN
 - - - - - GZC BOUNDARY



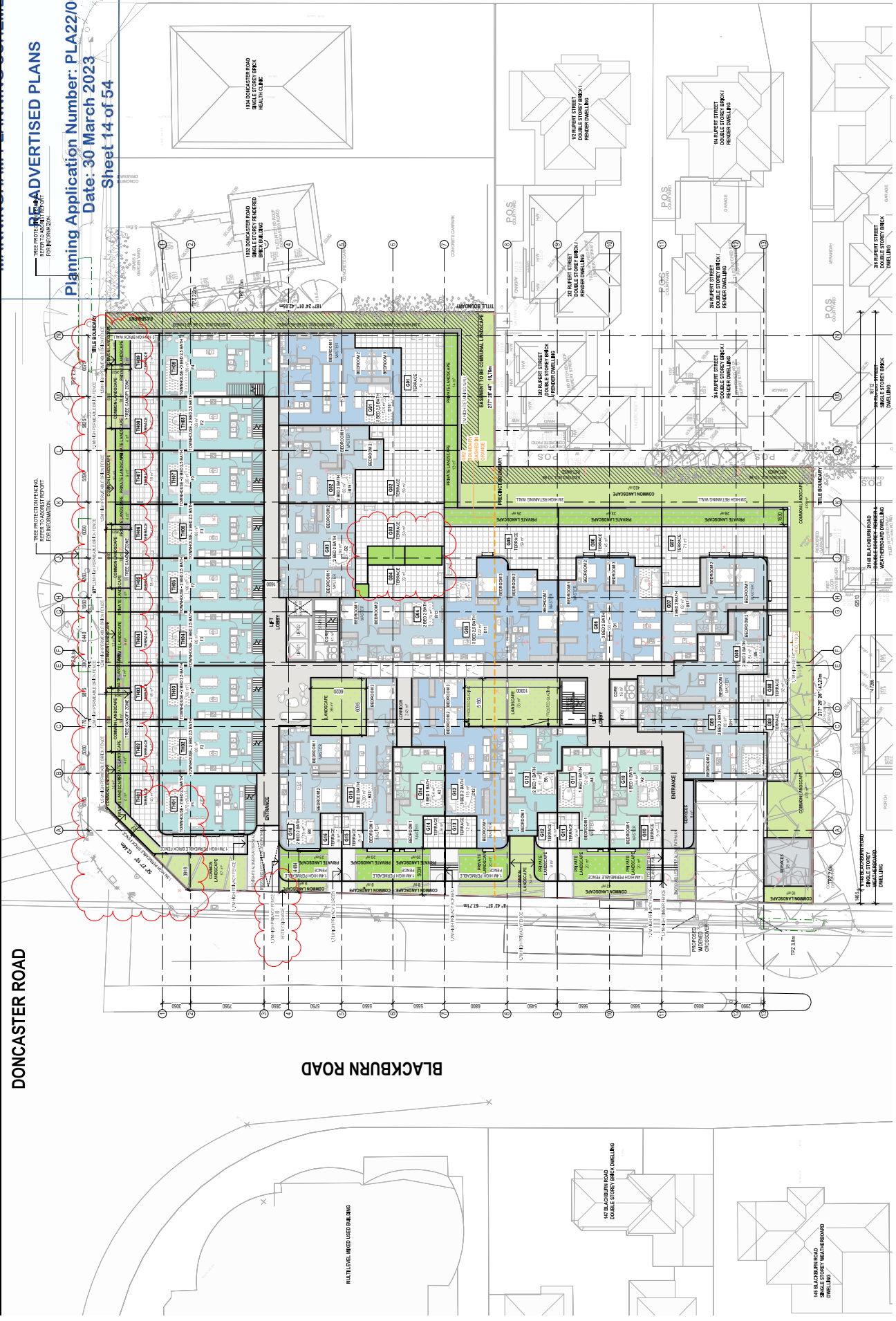
PLANNING AND ENVIRONMENT ACT 1987
MANNINGHAM PLANNING SCHEME
RE-ADVERTISED PLANS
 Planning Application Number: **PLA22/0031**
 Date: **30 March 2023**
 Street **13 of 54**

GENERAL NOTE
 - - - - - EXTENT OF FOOTPRINT OUTLINE / FACED IN
 - - - - - EXTENT OF WATER FEATURE OUTLINE / FACED IN
 - - - - - TERRACE IN RED MARKED IN PLANES
 - - - - - LANDSCAPE ABOVE GRADE / FACED IN
 - - - - - GZC BOUNDARY

RE-ADVERTISED PLANS

Planning Application Number: **PLA22/0031**
 Date: 30 March 2023
 Sheet 14 of 54

- GENERAL NOTE**
- COMMON LANDSCAPE AREA
 - PRIVATE LANDSCAPE AREA
 - ELEMENT TO BE COMMON LANDSCAPE - REFER TO LANDSCAPE PERMITS FOR DETAILS
 - REFERS TO DEVELOPMENT SUMMARY FOR ADDITIONAL & LOCAL PRIVATE LANDSCAPE AREAS FOR APPLICABLE ZONING OVERLAYS



DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET

PROJECT
DONCASTER RD
 1025-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

JOB N° 21264
REVISION N° C
DATE 24/02/23
DRAWN BY AS.indicelli @ AI
CHECKED BY

REV	DATE	REVISION	BY	CHK
A.	17.12.2022	TOWN PLANNING 01		
B.	14.02.2023	TOWN PLANNING 01		
D.	03.03.2023	CONTRACT ADMINISTRATION		

REV	DATE	REVISION	BY	CHK

NOTES

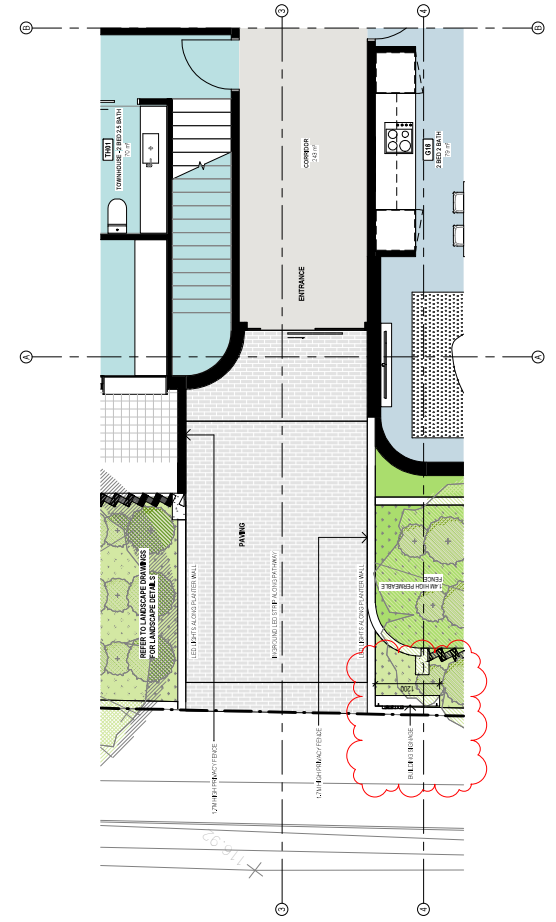
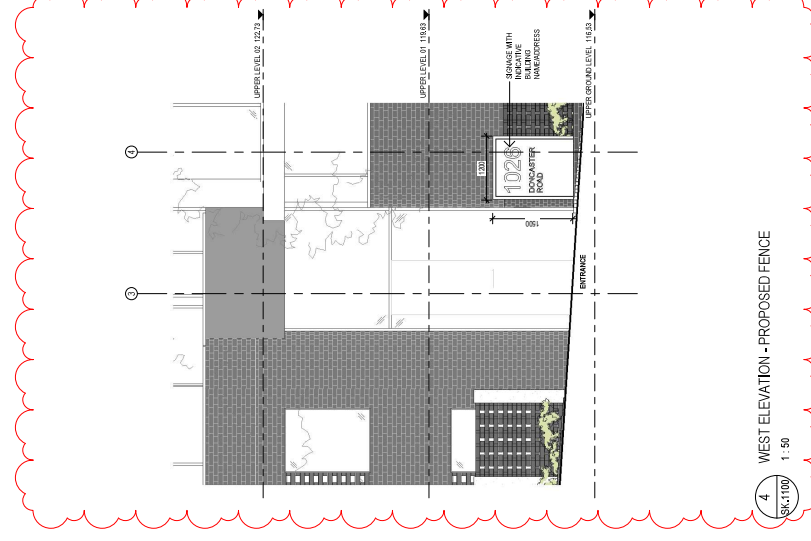
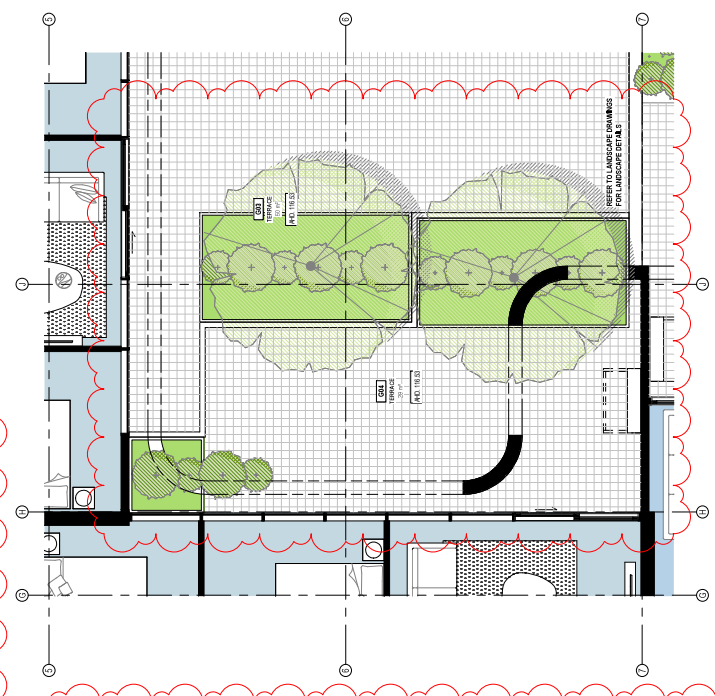
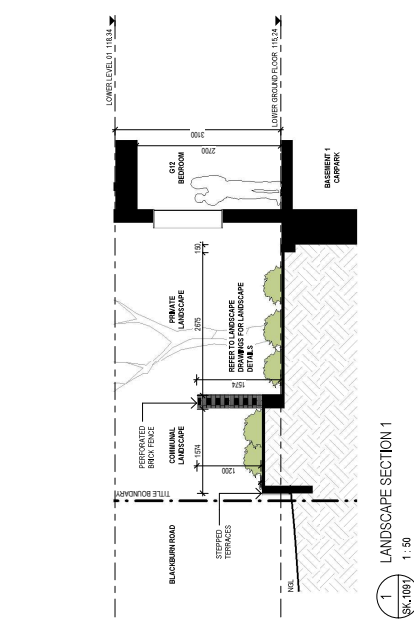
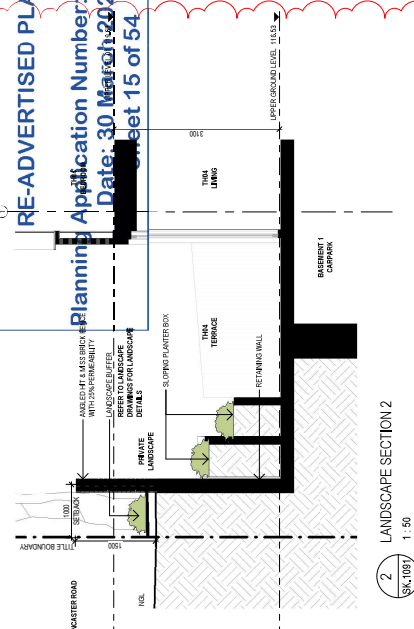
Do not scale. Contractor must verify all dimensions on site before construction. All dimensions are given in millimetres. Any errors or omissions shall be the responsibility of the contractor. All dimensions shall be confirmed on site before construction. All dimensions shall be confirmed on site before construction.

CERA STRIBBLEY

Cera Stribley Pty. Ltd.
 Architecture
 Interior Design
 Cera Stribley Pty. Ltd.
 61-8 9659 3168
 info@cerastribley.com.au
 www.cerastribley.com.au
 Studio 3, 369 Chapel St
 Preston VIC 3207

COMMUNAL OPEN SPACE PLAN
SCHEMATIC DESIGN

RE-ADVERTISED PLANS
Planning Application Number: PLA22/0031
Date: 30 March 2023
Sheet 15 of 54



CERA STRIBBLEY

61/9, 66/9, 66/8
www.c-s.com.au
Studio E, 369 Chapel St
Perth WA 6000

Job No: 21254
Revision: E
Date: 24/02/23
Drawn by: 1:50 @ A1
Checked by:

PROJECT: **DONCASTER RD**
1026-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

TOWN PLANNING
LANDSCAPE DETAIL 01

REV. DATE: REVISION: BY: CHK:

A	25.03.2022	TOWN PLANNING	
B	10.02.2022	TOWN PLANNING	
C	14.02.2023	TOWN PLANNING	
D	14.02.2023	TOWN PLANNING	
E	24.02.23	TOWN PLANNING	

NOTES: Do not scale. Contractor must verify all dimensions on site before approved by the marked before manufacture. Any errors or omissions will be shown on this drawing must be taken and approved before proceeding.

COPYRIGHT: Reproduction of the whole or part of the document constitutes an infringement of the copyright in this document. If you are a contractor, the recipient of this document is prohibited from disseminating such information to other contractors in any form without the written consent of the copyright holder.

DRAWING TITLE
LANDSCAPE DETAIL 01

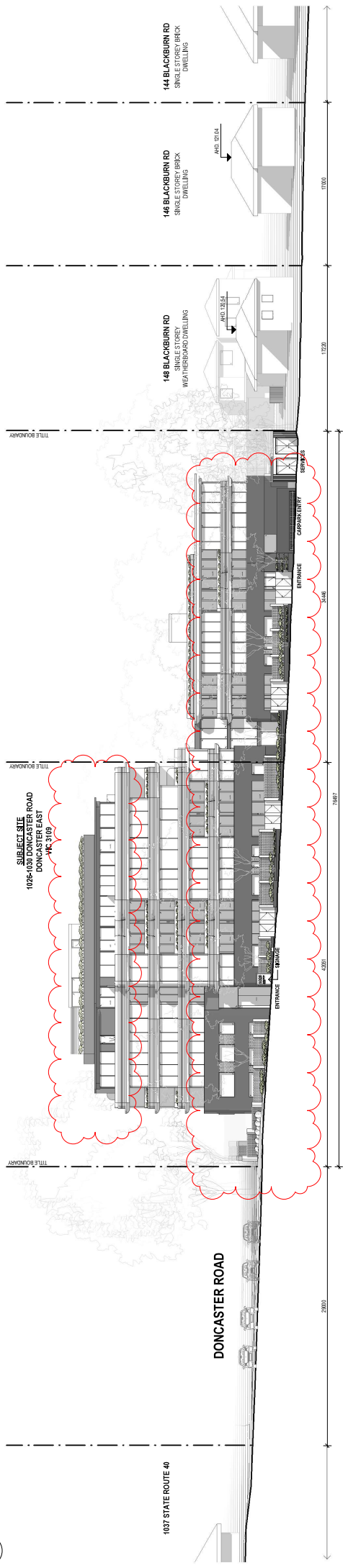
TP-1500

RE-ADVERTISED PLANS

Planning Application Number: PLA22/0031
Date: 30 March 2023
Sheet 16 of 54



1 NORTH STREETSCAPE ELEVATION - PROPOSED
SCALE: 1:200



2 WEST STREETSCAPE ELEVATION - PROPOSED
SCALE: 1:200

Cera Stribley
Architecture
Interior Design
Cera Stribley Pty. Ltd.
ABN 29 350 385 700
61 8 9659 6168
info@c-stribley.com.au
www.c-stribley.com.au
Studio E, 369 Chapel St
Perth WA 6000

NOTES
Do not scale. Contractor must verify all dimensions on site before approved by the marked before manufacture. Any error or omissions shown on this drawing must be raised and approved before proceeding.
COPYRIGHT
Reproduction of the whole or part of the document constitutes an infringement of the copyright in the document. The recipient of this document is prohibited from making any reproduction, dissemination or other use of the information contained in this document without the prior written consent of the copyright owner.

REV	DATE	REVISION	BY	CHK
A	25.03.2022	TOWN PLANNING		
B	03.02.2022	TOWN PLANNING		
C	14.02.2023	TOWN PLANNING		
D	14.02.2023	TOWN PLANNING		
E	24.02.23	TOWN PLANNING		

REV	DATE	REVISION	BY	CHK

PROJECT
DONCASTER RD
1026-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

TOWN PLANNING
DRAWING TITLE
STREETSCAPE ELEVATION 01

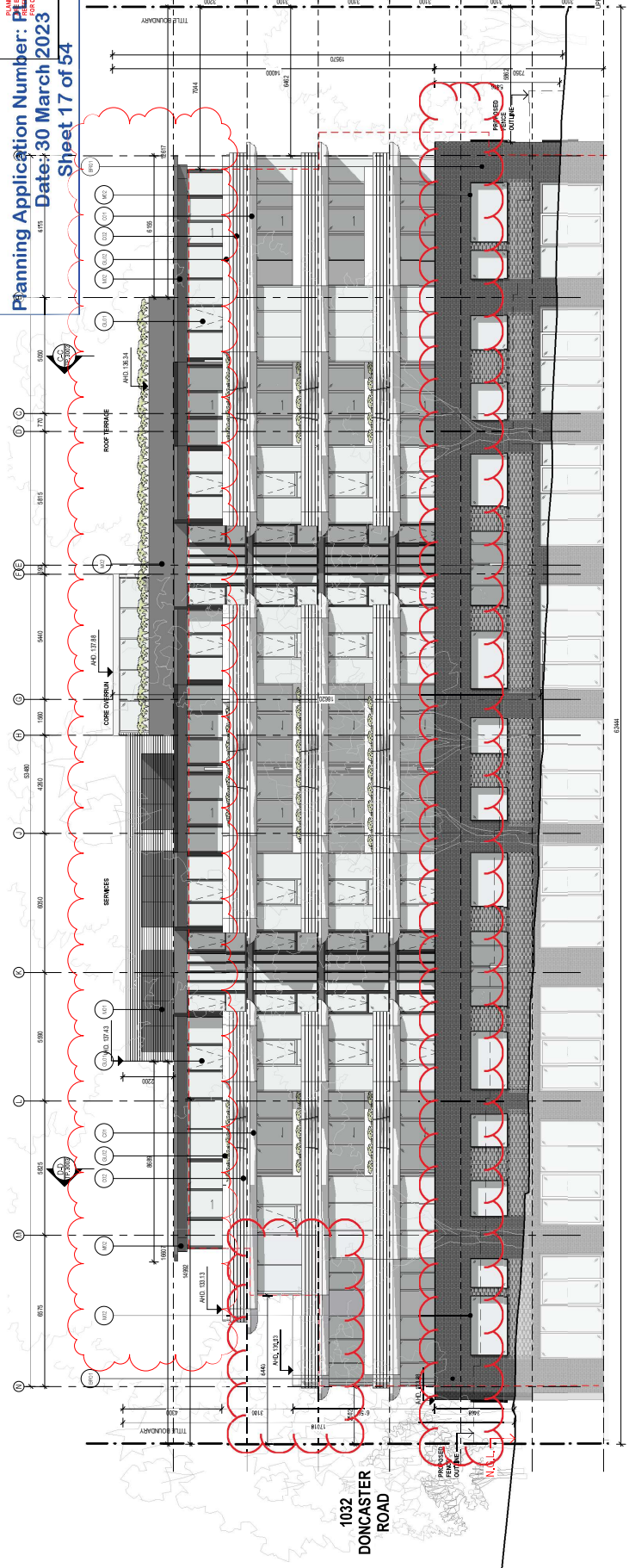
JOB N° 21264
REVISION N° E
DATE 24.02.23
DRAWN BY 1:200 @ A1
DRAWN BY
CHECKED BY
DRAWING TITLE
STREETSCAPE ELEVATION 01
TP-2000

EXTERNAL MATERIAL LEGEND

M01	METAL CLADDING
M02	WOOD CLADDING
M03	WET WALL FINISH
M04	COLOR GLASS
M05	COLOR STEEL
M06	WET WALL FINISH
M07	WET WALL FINISH
M08	WET WALL FINISH
M09	WET WALL FINISH
M10	WET WALL FINISH
M11	WET WALL FINISH
M12	WET WALL FINISH
M13	WET WALL FINISH
M14	WET WALL FINISH
M15	WET WALL FINISH
M16	WET WALL FINISH
M17	WET WALL FINISH
M18	WET WALL FINISH
M19	WET WALL FINISH
M20	WET WALL FINISH
M21	WET WALL FINISH
M22	WET WALL FINISH
M23	WET WALL FINISH
M24	WET WALL FINISH
M25	WET WALL FINISH
M26	WET WALL FINISH
M27	WET WALL FINISH
M28	WET WALL FINISH
M29	WET WALL FINISH
M30	WET WALL FINISH
M31	WET WALL FINISH
M32	WET WALL FINISH
M33	WET WALL FINISH
M34	WET WALL FINISH
M35	WET WALL FINISH
M36	WET WALL FINISH
M37	WET WALL FINISH
M38	WET WALL FINISH
M39	WET WALL FINISH
M40	WET WALL FINISH
M41	WET WALL FINISH
M42	WET WALL FINISH
M43	WET WALL FINISH
M44	WET WALL FINISH
M45	WET WALL FINISH
M46	WET WALL FINISH
M47	WET WALL FINISH
M48	WET WALL FINISH
M49	WET WALL FINISH
M50	WET WALL FINISH
M51	WET WALL FINISH
M52	WET WALL FINISH
M53	WET WALL FINISH
M54	WET WALL FINISH
M55	WET WALL FINISH
M56	WET WALL FINISH
M57	WET WALL FINISH
M58	WET WALL FINISH
M59	WET WALL FINISH
M60	WET WALL FINISH
M61	WET WALL FINISH
M62	WET WALL FINISH
M63	WET WALL FINISH
M64	WET WALL FINISH
M65	WET WALL FINISH
M66	WET WALL FINISH
M67	WET WALL FINISH
M68	WET WALL FINISH
M69	WET WALL FINISH
M70	WET WALL FINISH
M71	WET WALL FINISH
M72	WET WALL FINISH
M73	WET WALL FINISH
M74	WET WALL FINISH
M75	WET WALL FINISH
M76	WET WALL FINISH
M77	WET WALL FINISH
M78	WET WALL FINISH
M79	WET WALL FINISH
M80	WET WALL FINISH

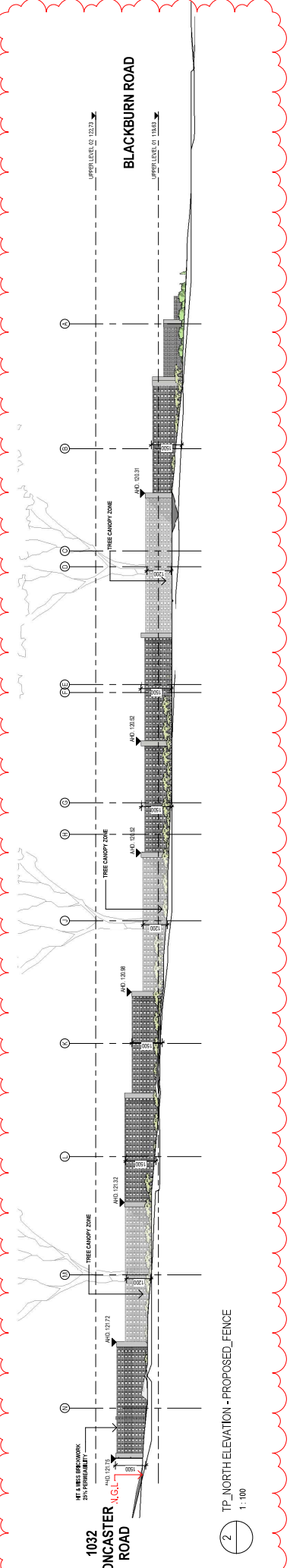
GENERAL NOTE
 ROTHOMANN VAC EXHIBIT
 RE-ADVISED PLANS
 MANAGING LIGHT CONTROL
 Planning Application Number: **PLA220034**
 Date: **30 March 2023**
 Sheet 17 of 54

PLANES AND ELEVATIONS
 TO BE CONSIDERED IN THE DECISION ON THIS APPLICATION



SUBJECT SITE
 1025-1030 DONCASTER ROAD DONCASTER EAST
 VICTORIA 3109

1 TP_NORTH ELEVATION - PROPOSED
 1:100



2 TP_NORTH ELEVATION - PROPOSED_FENCE
 1:100

CERA STRIBBLEY
 Civil Strabley
 Architecture
 Interior Design
 Civil Strabley Pty. Ltd.
 ABRN 29 350 595 700
 G.P.O. BOX 51665
 100/100 GARDEN STREET
 STADELTON VICTORIA 3108
 PH: 03 9591 1163
 www.cerastribley.com.au

NOTES
 Do not scale. Contractor must verify all dimensions on site before approval.
 B - 07/02/2023 TOWN PLANNING
 C - 07/02/2023 TOWN PLANNING
 D - 07/02/2023 TOWN PLANNING
 E - 07/02/2023 TOWN PLANNING
 F - 07/02/2023 TOWN PLANNING

Reproduction of the whole or part of this document constitutes an infringement of the copyright in the work. All rights are reserved. The copyright in this document is owned by CERA STRIBBLEY. All other rights are reserved.

PROJECT
DONCASTER RD
 1025-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

REV DATE REVISION BY CHK

A	25.03.2022	TOWN PLANNING		
B	07/02/2023	TOWN PLANNING		
C	07/02/2023	TOWN PLANNING		
D	07/02/2023	TOWN PLANNING		
E	07/02/2023	TOWN PLANNING		
F	07/02/2023	TOWN PLANNING		

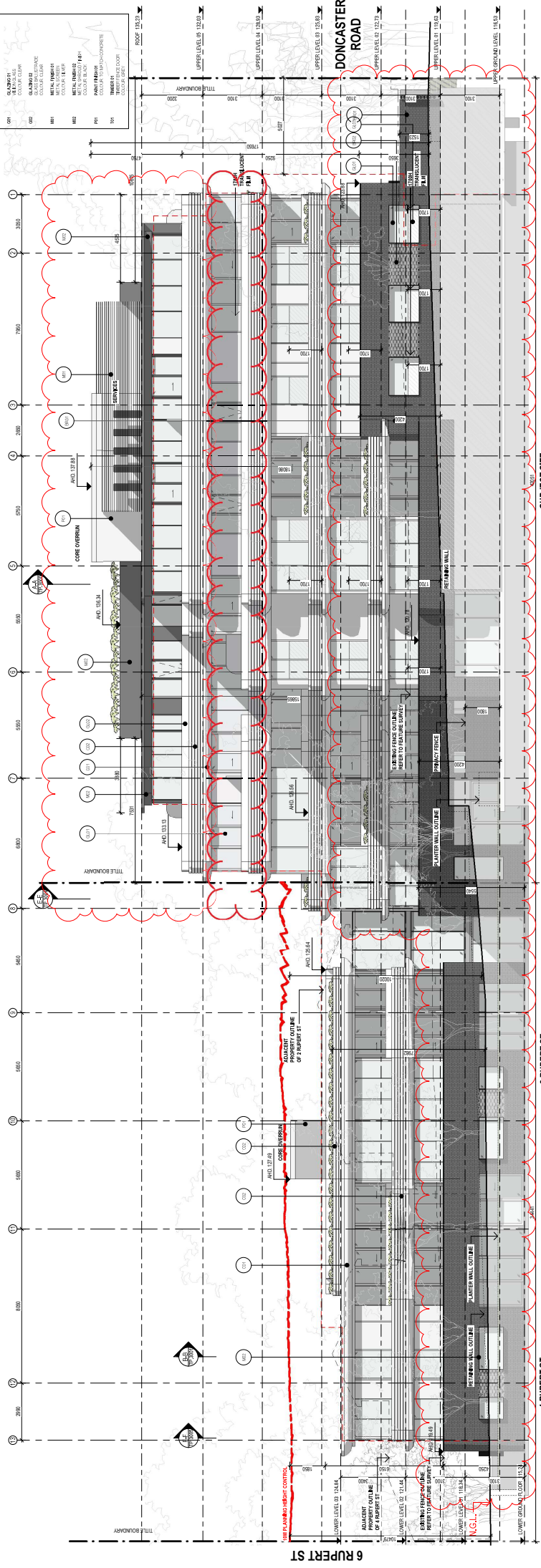
JOB Nº 21254
 REVISION Nº F
 DATE 24.02.23
 DRAWN BY 1:100 @ A1
 CHECKED BY

TOWN PLANNING
 DRAWING TITLE
NORTH ELEVATION
 TP.2100

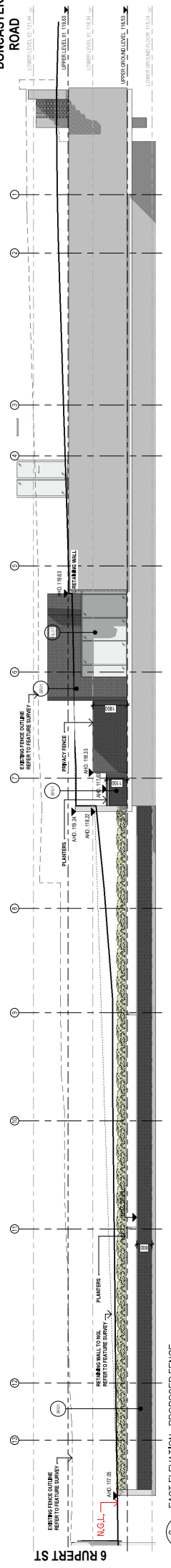
RE-ADVERTISED PLANS
 Planning Application Number: **PLA22/003**
 Date: 30 March 2023
 Sheet 18 of 54

EXTERNAL MATERIAL LEGEND

BR01	BRICK (CLAY)
BR02	BRICK (GLAZED)
BR03	BRICK (GLAZED)
BR04	BRICK (GLAZED)
BR05	BRICK (GLAZED)
BR06	BRICK (GLAZED)
BR07	BRICK (GLAZED)
BR08	BRICK (GLAZED)
BR09	BRICK (GLAZED)
BR10	BRICK (GLAZED)
BR11	BRICK (GLAZED)
BR12	BRICK (GLAZED)
BR13	BRICK (GLAZED)
BR14	BRICK (GLAZED)
BR15	BRICK (GLAZED)
BR16	BRICK (GLAZED)
BR17	BRICK (GLAZED)
BR18	BRICK (GLAZED)
BR19	BRICK (GLAZED)
BR20	BRICK (GLAZED)
BR21	BRICK (GLAZED)
BR22	BRICK (GLAZED)
BR23	BRICK (GLAZED)
BR24	BRICK (GLAZED)
BR25	BRICK (GLAZED)
BR26	BRICK (GLAZED)
BR27	BRICK (GLAZED)
BR28	BRICK (GLAZED)
BR29	BRICK (GLAZED)
BR30	BRICK (GLAZED)
BR31	BRICK (GLAZED)
BR32	BRICK (GLAZED)
BR33	BRICK (GLAZED)
BR34	BRICK (GLAZED)
BR35	BRICK (GLAZED)
BR36	BRICK (GLAZED)
BR37	BRICK (GLAZED)
BR38	BRICK (GLAZED)
BR39	BRICK (GLAZED)
BR40	BRICK (GLAZED)
BR41	BRICK (GLAZED)
BR42	BRICK (GLAZED)
BR43	BRICK (GLAZED)
BR44	BRICK (GLAZED)
BR45	BRICK (GLAZED)
BR46	BRICK (GLAZED)
BR47	BRICK (GLAZED)
BR48	BRICK (GLAZED)
BR49	BRICK (GLAZED)
BR50	BRICK (GLAZED)
BR51	BRICK (GLAZED)
BR52	BRICK (GLAZED)
BR53	BRICK (GLAZED)
BR54	BRICK (GLAZED)
BR55	BRICK (GLAZED)
BR56	BRICK (GLAZED)
BR57	BRICK (GLAZED)
BR58	BRICK (GLAZED)
BR59	BRICK (GLAZED)
BR60	BRICK (GLAZED)
BR61	BRICK (GLAZED)
BR62	BRICK (GLAZED)
BR63	BRICK (GLAZED)
BR64	BRICK (GLAZED)
BR65	BRICK (GLAZED)
BR66	BRICK (GLAZED)
BR67	BRICK (GLAZED)
BR68	BRICK (GLAZED)
BR69	BRICK (GLAZED)
BR70	BRICK (GLAZED)
BR71	BRICK (GLAZED)
BR72	BRICK (GLAZED)
BR73	BRICK (GLAZED)
BR74	BRICK (GLAZED)
BR75	BRICK (GLAZED)
BR76	BRICK (GLAZED)
BR77	BRICK (GLAZED)
BR78	BRICK (GLAZED)
BR79	BRICK (GLAZED)
BR80	BRICK (GLAZED)
BR81	BRICK (GLAZED)
BR82	BRICK (GLAZED)
BR83	BRICK (GLAZED)
BR84	BRICK (GLAZED)
BR85	BRICK (GLAZED)
BR86	BRICK (GLAZED)
BR87	BRICK (GLAZED)
BR88	BRICK (GLAZED)
BR89	BRICK (GLAZED)
BR90	BRICK (GLAZED)
BR91	BRICK (GLAZED)
BR92	BRICK (GLAZED)
BR93	BRICK (GLAZED)
BR94	BRICK (GLAZED)
BR95	BRICK (GLAZED)
BR96	BRICK (GLAZED)
BR97	BRICK (GLAZED)
BR98	BRICK (GLAZED)
BR99	BRICK (GLAZED)
BR100	BRICK (GLAZED)



1 EAST ELEVATION - PROPOSED
 SK 1007
 1:100



2 EAST ELEVATION - PROPOSED FENCE
 SK 1007
 1:100

CERA STRIBBLEY

Cera Stribley
 Architecture
 Interior Design
 Cera Stribley Pty. Ltd.
 ABN 29 350 595 700
 61 S. 6650, 2168
 info@cstribley.com.au
 www.cstribley.com.au
 Studio E, 369 Chapel St
 Preston VIC 3207

NOTES

Do not scale. Contractor must verify all dimensions on site before approval.
 B. 03/03/2023 TOWN PLANNING
 C. 03/03/2023 TOWN PLANNING
 D. 07/03/2023 TOWN PLANNING
 E. 13/03/2023 TOWN PLANNING
 F. 20/03/2023 TOWN PLANNING

Reproduction of the whole or part of this document constitutes an infringement of copyright. The copyright in this document is owned by Cera Stribley Pty. Ltd. All rights reserved. This document is for the use of the client only. It is not to be distributed, copied, or otherwise used without the written consent of Cera Stribley Pty. Ltd.

REV	DATE	REVISION	BY	CHK	REV	DATE	REVISION	BY	CHK
A	25/03/2023	TOWN PLANNING							
B	03/03/2023	TOWN PLANNING							
C	03/03/2023	TOWN PLANNING							
D	07/03/2023	TOWN PLANNING							
E	13/03/2023	TOWN PLANNING							
F	20/03/2023	TOWN PLANNING							

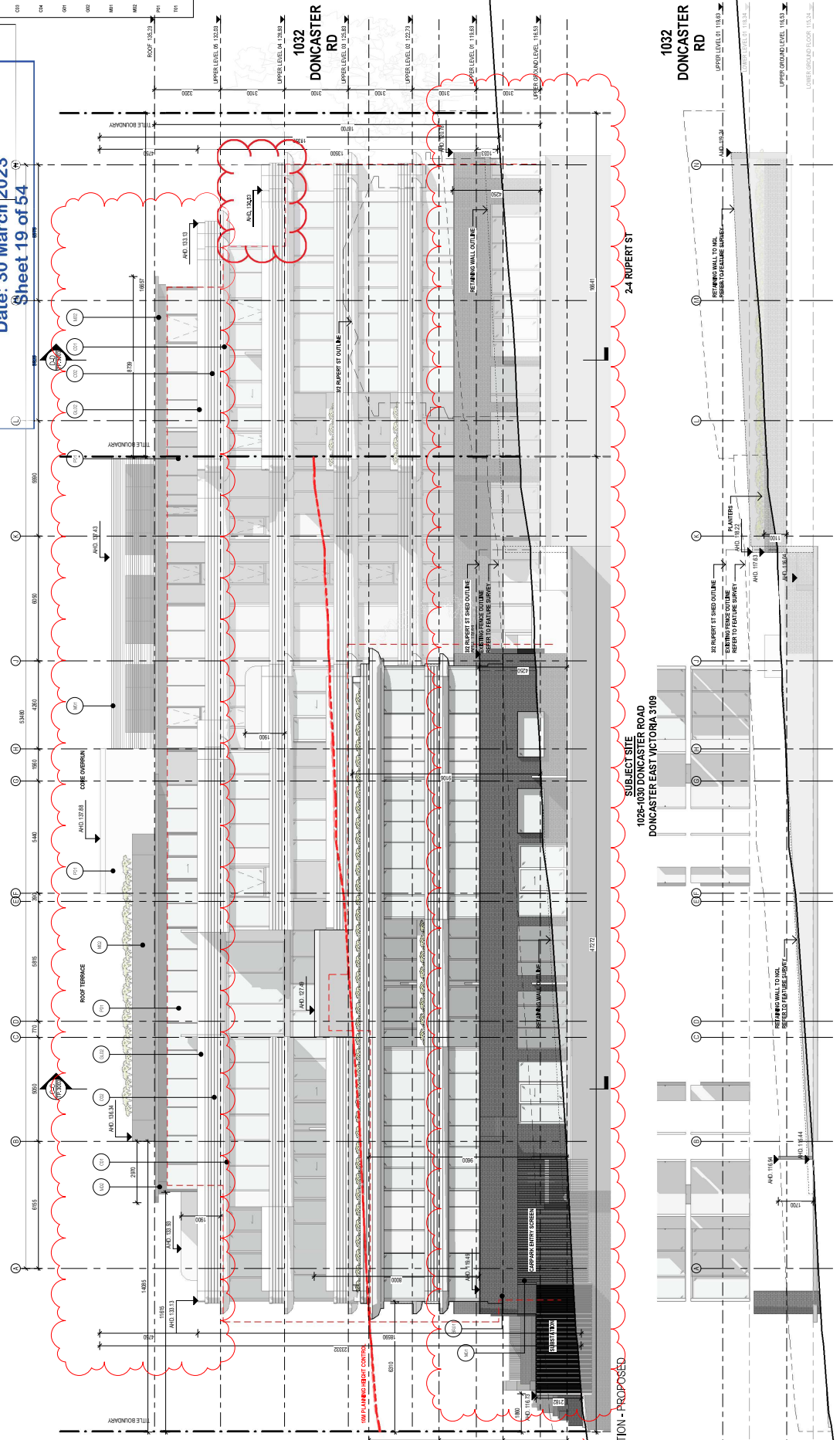
PROJECT
DONCASTER RD
 1026-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

TOWN PLANNING
EAST ELEVATION

JOB N° 21264
REVISION N° F
DATE 24/02/23
SCALE 1:100 (P.A1)
DRAWN BY
CHECKED BY

RE-ADVERTISED PLANS
Planning Application Number: **PLA22/0003**
Date: 30 March 2023
Sheet 19 of 54

EXTERNAL MATERIAL LEGEND	
BR1	BRICK (FACED)
BR2	BRICK (REAR)
BR3	BRICK (SIDE)
BR4	BRICK (TOP)
BR5	BRICK (BASE)
BR6	BRICK (CORNER)
BR7	BRICK (GABLE)
BR8	BRICK (PIERS)
BR9	BRICK (SMOOTH)
BR10	BRICK (ROUGH)
BR11	BRICK (HOLLOW)
BR12	BRICK (FLAT)
BR13	BRICK (ROUND)
BR14	BRICK (DORMER)
BR15	BRICK (CORNER)
BR16	BRICK (CORNER)
BR17	BRICK (CORNER)
BR18	BRICK (CORNER)
BR19	BRICK (CORNER)
BR20	BRICK (CORNER)
BR21	BRICK (CORNER)
BR22	BRICK (CORNER)
BR23	BRICK (CORNER)
BR24	BRICK (CORNER)
BR25	BRICK (CORNER)
BR26	BRICK (CORNER)
BR27	BRICK (CORNER)
BR28	BRICK (CORNER)
BR29	BRICK (CORNER)
BR30	BRICK (CORNER)
BR31	BRICK (CORNER)
BR32	BRICK (CORNER)
BR33	BRICK (CORNER)
BR34	BRICK (CORNER)
BR35	BRICK (CORNER)
BR36	BRICK (CORNER)
BR37	BRICK (CORNER)
BR38	BRICK (CORNER)
BR39	BRICK (CORNER)
BR40	BRICK (CORNER)
BR41	BRICK (CORNER)
BR42	BRICK (CORNER)
BR43	BRICK (CORNER)
BR44	BRICK (CORNER)
BR45	BRICK (CORNER)
BR46	BRICK (CORNER)
BR47	BRICK (CORNER)
BR48	BRICK (CORNER)
BR49	BRICK (CORNER)
BR50	BRICK (CORNER)
BR51	BRICK (CORNER)
BR52	BRICK (CORNER)
BR53	BRICK (CORNER)
BR54	BRICK (CORNER)
BR55	BRICK (CORNER)
BR56	BRICK (CORNER)
BR57	BRICK (CORNER)
BR58	BRICK (CORNER)
BR59	BRICK (CORNER)
BR60	BRICK (CORNER)
BR61	BRICK (CORNER)
BR62	BRICK (CORNER)
BR63	BRICK (CORNER)
BR64	BRICK (CORNER)
BR65	BRICK (CORNER)
BR66	BRICK (CORNER)
BR67	BRICK (CORNER)
BR68	BRICK (CORNER)
BR69	BRICK (CORNER)
BR70	BRICK (CORNER)
BR71	BRICK (CORNER)
BR72	BRICK (CORNER)
BR73	BRICK (CORNER)
BR74	BRICK (CORNER)
BR75	BRICK (CORNER)
BR76	BRICK (CORNER)
BR77	BRICK (CORNER)
BR78	BRICK (CORNER)
BR79	BRICK (CORNER)
BR80	BRICK (CORNER)
BR81	BRICK (CORNER)
BR82	BRICK (CORNER)
BR83	BRICK (CORNER)
BR84	BRICK (CORNER)
BR85	BRICK (CORNER)
BR86	BRICK (CORNER)
BR87	BRICK (CORNER)
BR88	BRICK (CORNER)
BR89	BRICK (CORNER)
BR90	BRICK (CORNER)
BR91	BRICK (CORNER)
BR92	BRICK (CORNER)
BR93	BRICK (CORNER)
BR94	BRICK (CORNER)
BR95	BRICK (CORNER)
BR96	BRICK (CORNER)
BR97	BRICK (CORNER)
BR98	BRICK (CORNER)
BR99	BRICK (CORNER)
BR100	BRICK (CORNER)



1 SOUTH ELEVATION - PROPOSED
SK.1097 1:100
BLACKBURN ROAD
DONCASTER ROAD

2 SOUTH ELEVATION - PROPOSED FENCE
1:100

CERA STRIBLEY

Carl Stribley
Architecture
Interior Design
Carl Stribley Pty, Ltd.
ABN 29 350 285 700
61 8 9659 2168
info@c-stribley.com.au
www.c-stribley.com.au
Studio 6, 309 Chapel St
Perth WA 6000

NOTES
Do not scale. Contractor must verify all dimensions on site before approved by the authority before construction. Any errors or omissions will be the contractor's responsibility. All dimensions are in millimeters unless stated to the contrary.

REPRODUCTION OF THE WHOLE OR PART OF THIS DOCUMENT CONSTITUTES AN INFRINGEMENT OF THE COPYRIGHT OF THE ORIGINAL DESIGNER. PERMISSION TO REPRODUCE THIS DOCUMENT IS GRANTED BY THE ORIGINAL DESIGNER ON THE UNDERSTANDING THAT THE REPRODUCER SHALL INDEMNIFY AND HOLD HARMLESS THE ORIGINAL DESIGNER FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE LEGAL COSTS, INCURRED BY THE ORIGINAL DESIGNER IN CONNECTION WITH THE REPRODUCTION OF THIS DOCUMENT.

REV	DATE	REVISION	BY	CHK	REV	DATE	REVISION	BY	CHK
A	25.03.2022	TOWN PLANNING							
B	02.03.2022	TOWN PLANNING							
C	07.02.2022	TOWN PLANNING							
D	07.02.2022	TOWN PLANNING							
E	03.02.2022	TOWN PLANNING							
F	25.02.2022	TOWN PLANNING							

PROJECT
DONCASTER RD
1025-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

TOWN PLANNING
DRAWING STATUS
DRAWING TITLE
SOUTH ELEVATION

JOB N° 21254
REVISION N° F
DATE 24.02.23
DRAWN BY 1:100 @ A1
CHECKED BY

RE-ADVERTISED PLANS
 Planning Application Number: **PLA22/00033**
 Date: 30 March 2023
 Sheet 20 of 54

EXTERNAL MATERIAL LEGEND

BR1	BRICK (CLAY)
BR2	BRICK (RED)
BR3	BRICK (WHITE)
BR4	BRICK (BLACK)
BR5	BRICK (GREY)
BR6	BRICK (BROWN)
BR7	BRICK (TERRAZZO)
BR8	BRICK (CONCRETE)
BR9	BRICK (GLAZED)
BR10	BRICK (SMOKE)
BR11	BRICK (SLATE)
BR12	BRICK (SAND)
BR13	BRICK (SAND)
BR14	BRICK (SAND)
BR15	BRICK (SAND)
BR16	BRICK (SAND)
BR17	BRICK (SAND)
BR18	BRICK (SAND)
BR19	BRICK (SAND)
BR20	BRICK (SAND)
BR21	BRICK (SAND)
BR22	BRICK (SAND)
BR23	BRICK (SAND)
BR24	BRICK (SAND)
BR25	BRICK (SAND)
BR26	BRICK (SAND)
BR27	BRICK (SAND)
BR28	BRICK (SAND)
BR29	BRICK (SAND)
BR30	BRICK (SAND)
BR31	BRICK (SAND)
BR32	BRICK (SAND)
BR33	BRICK (SAND)
BR34	BRICK (SAND)
BR35	BRICK (SAND)
BR36	BRICK (SAND)
BR37	BRICK (SAND)
BR38	BRICK (SAND)
BR39	BRICK (SAND)
BR40	BRICK (SAND)
BR41	BRICK (SAND)
BR42	BRICK (SAND)
BR43	BRICK (SAND)
BR44	BRICK (SAND)
BR45	BRICK (SAND)
BR46	BRICK (SAND)
BR47	BRICK (SAND)
BR48	BRICK (SAND)
BR49	BRICK (SAND)
BR50	BRICK (SAND)
BR51	BRICK (SAND)
BR52	BRICK (SAND)
BR53	BRICK (SAND)
BR54	BRICK (SAND)
BR55	BRICK (SAND)
BR56	BRICK (SAND)
BR57	BRICK (SAND)
BR58	BRICK (SAND)
BR59	BRICK (SAND)
BR60	BRICK (SAND)
BR61	BRICK (SAND)
BR62	BRICK (SAND)
BR63	BRICK (SAND)
BR64	BRICK (SAND)
BR65	BRICK (SAND)
BR66	BRICK (SAND)
BR67	BRICK (SAND)
BR68	BRICK (SAND)
BR69	BRICK (SAND)
BR70	BRICK (SAND)
BR71	BRICK (SAND)
BR72	BRICK (SAND)
BR73	BRICK (SAND)
BR74	BRICK (SAND)
BR75	BRICK (SAND)
BR76	BRICK (SAND)
BR77	BRICK (SAND)
BR78	BRICK (SAND)
BR79	BRICK (SAND)
BR80	BRICK (SAND)
BR81	BRICK (SAND)
BR82	BRICK (SAND)
BR83	BRICK (SAND)
BR84	BRICK (SAND)
BR85	BRICK (SAND)
BR86	BRICK (SAND)
BR87	BRICK (SAND)
BR88	BRICK (SAND)
BR89	BRICK (SAND)
BR90	BRICK (SAND)
BR91	BRICK (SAND)
BR92	BRICK (SAND)
BR93	BRICK (SAND)
BR94	BRICK (SAND)
BR95	BRICK (SAND)
BR96	BRICK (SAND)
BR97	BRICK (SAND)
BR98	BRICK (SAND)
BR99	BRICK (SAND)
BR100	BRICK (SAND)



1 WEST ELEVATION - PROPOSED
 1:100

2 WEST ELEVATION - PROPOSED FENCE
 1:100

CERA STRIBBLEY

Cera Stribley
 Architecture
 Interior Design
 Cera Stribley Pty. Ltd.
 ABN 29 350 595 700
 61 8 8659 2668
 info@cerastribley.com.au
 www.cerastribley.com.au
 Studio E, 369 Chapel St
 Perth WA 6000

NOTES
 Do not scale. Contractor must verify all dimensions on site before approved by the architect before manufacture. Any error or omission will be shown on this drawing must be fixed and approved before proceeding.
 Reproduction of the whole or part of the document constitutes an infringement of copyright. The recipient of this document is prohibited from disseminating such information, ideas or concepts to any other person without the express consent of the copyright holder.

REV	DATE	REVISION	BY	CHK
A	25.03.2022	TOWN PLANNING		
B	10.02.2022	TOWN PLANNING		
C	07.02.2022	TOWN PLANNING		
D	07.02.2022	TOWN PLANNING		
E	31.02.2023	TOWN PLANNING		
F	24.02.2023	TOWN PLANNING		

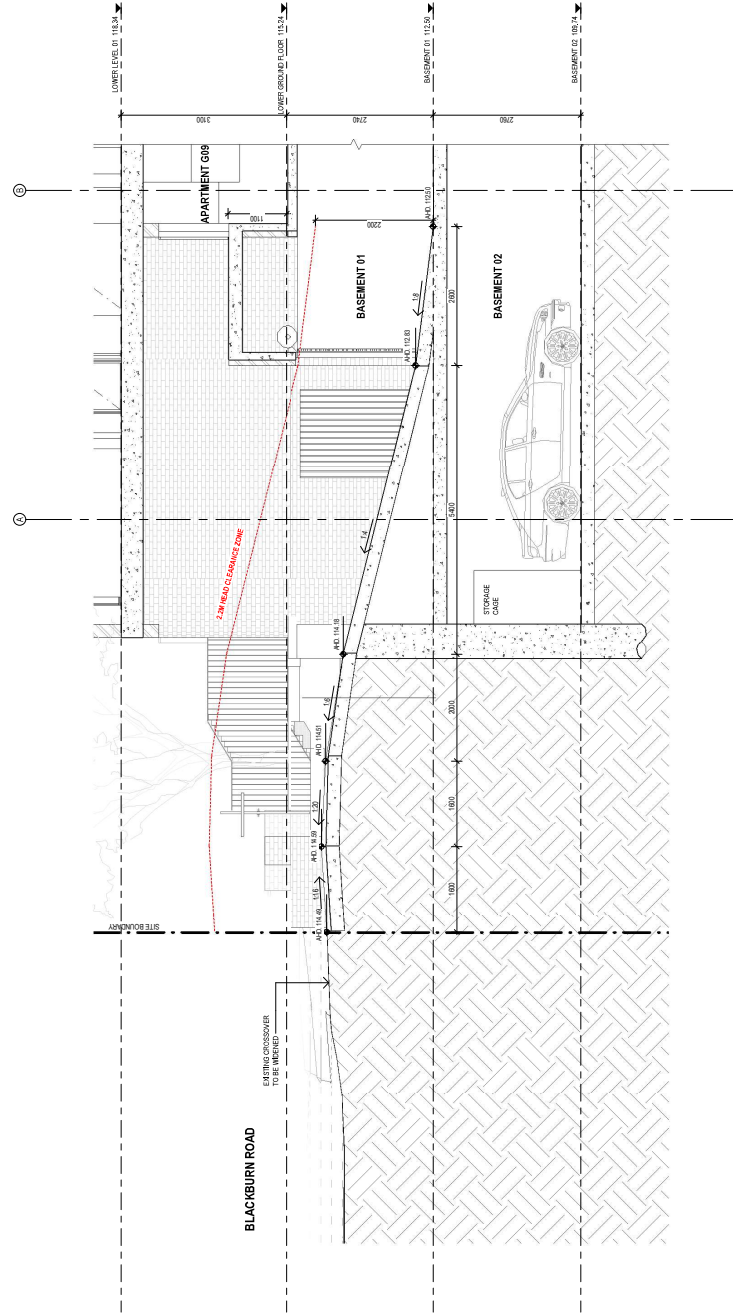
PROJECT
DONCASTER RD
 1026-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

TOWN PLANNING
 DRAWING TITLE
WEST ELEVATION

JOB N° 21264
 REVISION N° F
 DATE 24.02.23
 DRAWN BY 1:100 (P.A.I)
 CHECKED BY

RE-ADVERTISED PLANS

Planning Application Number: PLA22/0031
Date: 30 March 2023
Sheet 27 of 54



1 A42 CARPARK ENTRY RAMP
1:50

Cera Stribley
Architecture
Interior Design
Cera Stribley Pty, Ltd.
ABN 29 350 585 700

61-9 8650 6688
info@c-stribley.com.au
www.c-stribley.com.au
Studio: 369 Chapel St
Perth WA 6000

NOTES
Do not scale. Contractor must verify all dimensions on site before approved by the marked before construction. Any errors or omissions shown on this drawing must be fixed and approved before proceeding.

COPYRIGHT
Reproduction of the whole or part of this document constitutes an infringement of copyright. No part of this document may be reproduced in any form or by any means, electronic or mechanical, including photocopying and recording, or by any information storage and retrieval system, without the prior written permission of the copyright owner.

REV	DATE	REVISION	BY	CHK
A	25.03.2022	TOWN PLANNING		
B	03.03.2023	TOWN PLANNING		
C	10.03.2023	TOWN PLANNING		

REV	DATE	REVISION	BY	CHK

REV	DATE	REVISION	BY	CHK

REV	DATE	REVISION	BY	CHK

PROJECT
DONCASTER RD
1026-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

DRAWING STATUS
TOWN PLANNING

DRAWING TITLE
CARPARK ENTRY RAMP

JOB N° 21264
REVISION N° C
DATE 17.10.2022
DRAWN BY 1:50 @ A1
CHECKED BY



This document is made available for the sole purpose of enabling its consideration and review,
 as part of a planning process under the Planning and Environment Act 1987.
 The document must not be used for any purpose which may breach any Copyright.



BLACKBURN ROAD

DRAINAGE AND SEWERAGE EASEMENT

REMOVE CROSSOVER AND REINSTATE KERB AND CHANNEL

REMOVE CROSSOVER AND REINSTATE KERB AND CHANNEL

RELOCATE EXISTING BUS SHELTER AND ALL ASSOCIATED INFRASTRUCTURE 5M NORTH

REMOVE EXISTING SIGN

PROPOSED KERB & CHANNEL

EXISTING LINEMARKING FOR RIGHT TURN DECELERATION LANE TO REMAIN

EXISTING CROSSOVER TO BE WIDENED TO PROPOSED RAMP WIDTH

RELOCATE POWER POLE TO BE AT LEAST 1M AWAY FROM PROPOSED CROSSOVER (SUBJECT TO DETAILED DESIGN)

NOTES
 Do not scale. Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

COPYRIGHT
 Reproduction of the whole or part of the document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are the property of Cera Stribley Pty Ltd. All rights reserved. Information is provided for general information only and does not constitute an offer of any financial product or service. Cera Stribley Pty Ltd. is not responsible for any loss or damage arising from the use of this information. Cera Stribley Pty Ltd. is not a financial adviser. Cera Stribley Pty Ltd. is not a financial planner. Cera Stribley Pty Ltd. is not a financial advisor. Cera Stribley Pty Ltd. is not a financial consultant. Cera Stribley Pty Ltd. is not a financial analyst. Cera Stribley Pty Ltd. is not a financial strategist. Cera Stribley Pty Ltd. is not a financial expert. Cera Stribley Pty Ltd. is not a financial professional. Cera Stribley Pty Ltd. is not a financial specialist. Cera Stribley Pty Ltd. is not a financial advisor. Cera Stribley Pty Ltd. is not a financial consultant. Cera Stribley Pty Ltd. is not a financial analyst. Cera Stribley Pty Ltd. is not a financial strategist. Cera Stribley Pty Ltd. is not a financial expert. Cera Stribley Pty Ltd. is not a financial professional. Cera Stribley Pty Ltd. is not a financial specialist.

CERA STRIBLEY

Cera Stribley
 Architecture
 Interior Design
 Cera Stribley Pty. Ltd.
 ABN 29 350 585 700
 +613 9533 2582
 info@csa.com.au
 www.csa.com.au
 Studio 5, 249 Chapel St
 Prahran VIC 3181 AUS

JOB# 20254
 REVISION# C
 DATE 17.11.2022
 SCALE 1:300 @ A1
 DRAWN BY
 CHECKED BY

PROJECT
DONCASTER RD
 1026-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

REV	DATE	REVISION	BY	CHK
A	26.03.2022	TOWN PLANNING		
B	10.03.2022	TOWN PLANNING RFI		
C	17.11.2022	TOWN PLANNING RFI		

PROJECT
DONCASTER RD
 1026-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

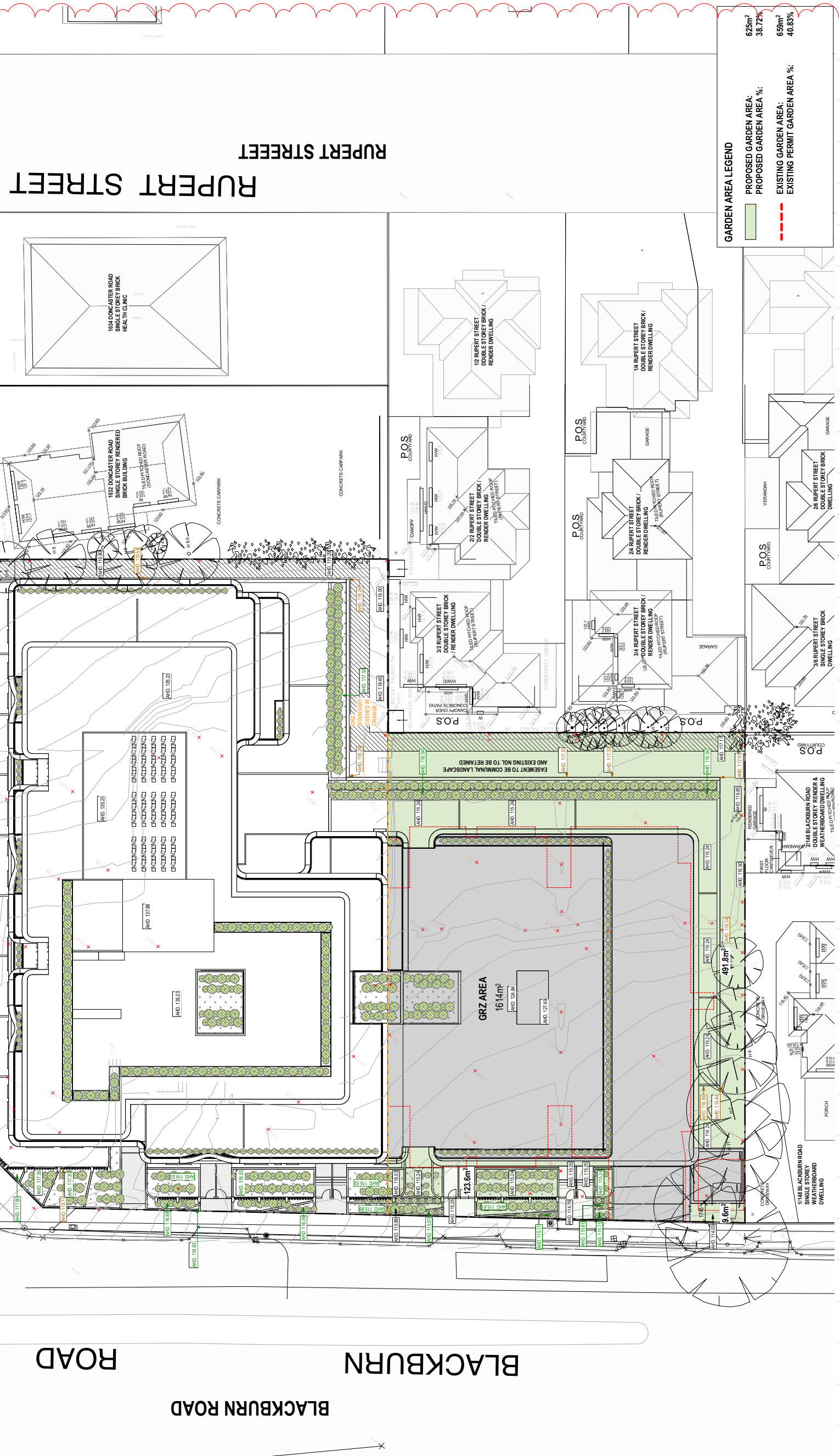
DRAWING STATUS
TOWN PLANNING

DRAWING TITLE
DEMOLITION PLAN

TP.0200

This document is made available for the **Doncaster Road** as consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

NOTE:
 SPOT LEVELS OF TOP OF FENCING/WALL
 SPOT LEVELS OF PLANTER BEDS (APPROX)
 REFER TO LANDSCAPE PLAN FOR DETAILS
 EASEMENT NGL TO BE RETAINED.
 REFER TO TP-1150 COMMUNAL OPEN SPACE PLAN FOR COMMUNAL/Private LANDSCAPE.



CERA STRIBBLEY

Cera Stribbley
 Architecture
 Interior Design
 Cera Stribbley Pty, Ltd
 ABN 29 350 585 700
 + 61 3 9533 2592
 info@cs-a.com.au
 www.cs-a.com.au
 Studio 5, 249 Chapel St
 Prahran VIC 3187 AUS

NOTES
 Do not scale. Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

REVISION
 A. 10/03/2022 TOWN PLANNING REF
 B. 17/11/2022 TOWN PLANNING REF
 C. 07/12/2022 TOWN PLANNING REF

REV DATE REVISION BY CHK

PROJECT
DONCASTER RD
 1026-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

JOB N° 21254
 REVISION N° C
 DATE 07.12.2022
 SCALE As indicated @ A1
 DRAWN BY
 CHECKED BY

DRAWING STATUS
TOWN PLANNING

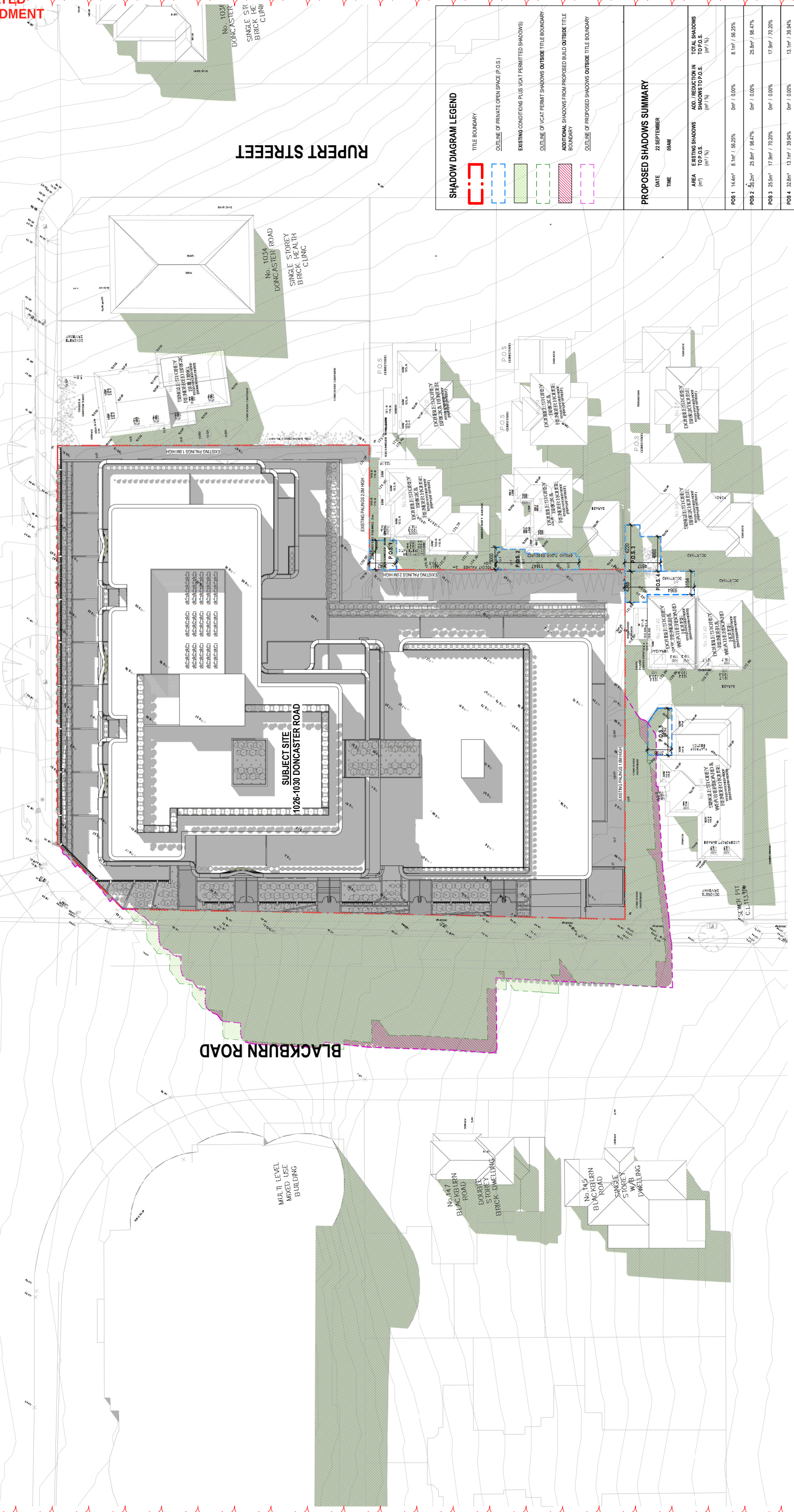
DRAWING TITLE
PROPOSED GARDEN AREA PLAN

TP-1150

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

DONCASTER ROAD

RUPERT STREET



SHADOW DIAGRAM LEGEND

- TITLE BOUNDARY
- OUTLINE OF PRIVATE OPEN SPACE (P.O.S.)
- EXISTING CONDITIONS PLUS VCAT PERMITTED SHADOWS
- OUTLINE OF VCAT PERMIT SHADOWS OUTSIDE TITLE BOUNDARY
- ADDITIONAL SHADOWS FROM PROPOSED BUILD OUTSIDE TITLE BOUNDARY
- OUTLINE OF PROPOSED SHADOWS OUTSIDE TITLE BOUNDARY

PROPOSED SHADOWS SUMMARY

DATE: 22 SEPTEMBER
 TIME: 09AM

POS	EXISTING SHADOWS TO P.O.S. (m ² / %)	ADDITIONAL SHADOWS TO P.O.S. (m ² / %)	TOTAL SHADOWS TO P.O.S. (m ² / %)
POS 1	14.4m ² / 8.1%	0m ² / 0.0%	8.1m ² / 56.2%
POS 2	25.8m ² / 25.8%	0m ² / 0.0%	25.8m ² / 98.4%
POS 3	25.5m ² / 17.5m ² / 70.2%	0m ² / 0.0%	17.5m ² / 70.2%
POS 4	32.8m ² / 13.1m ² / 39.9%	0m ² / 0.0%	13.1m ² / 39.9%
POS 5	18.8m ² / 10m ² / 53.1%	0m ² / 0.0%	10m ² / 53.1%

CERA STRIBBLEY

Architect
 Interior Design

Cera Stribley Pty. Ltd.
 ABN 29 350 585 700

+61 3 9533 2592
 info@csa.com.au
 www.csa.com.au
 Studio 5, 249 Chapel St
 Prahran VIC 3187 AUS

NOTES
 Do not scale. Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

REVISIONS

REV	DATE	REVISION	BY	CHK
A	26.03.2022	TOWN PLANNING		
B	10.03.2022	TOWN PLANNING REFI		
C	17.11.2022	TOWN PLANNING REFI		
D	07.12.2022	TOWN PLANNING REFI		

PROJECT
 DONCASTER RD
 1026-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

DRAWING STATUS
 TOWN PLANNING

DRAWING TITLE
 SHADOW STUDY - 09AM

TP.8000

JOB N° 21254
REVISION N° D
DATE 07.12.2022
SCALE 1:250 @ A1
DRAWN BY
CHECKED BY

This document is made available for the sole purpose of enabling its consideration and review,
as part of a planning process under the Planning and Environment Act 1987.
The document must not be used for any purpose which may breach any Copyright.

DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET

SUBJECT SITE
1026-1030 DONCASTER ROAD

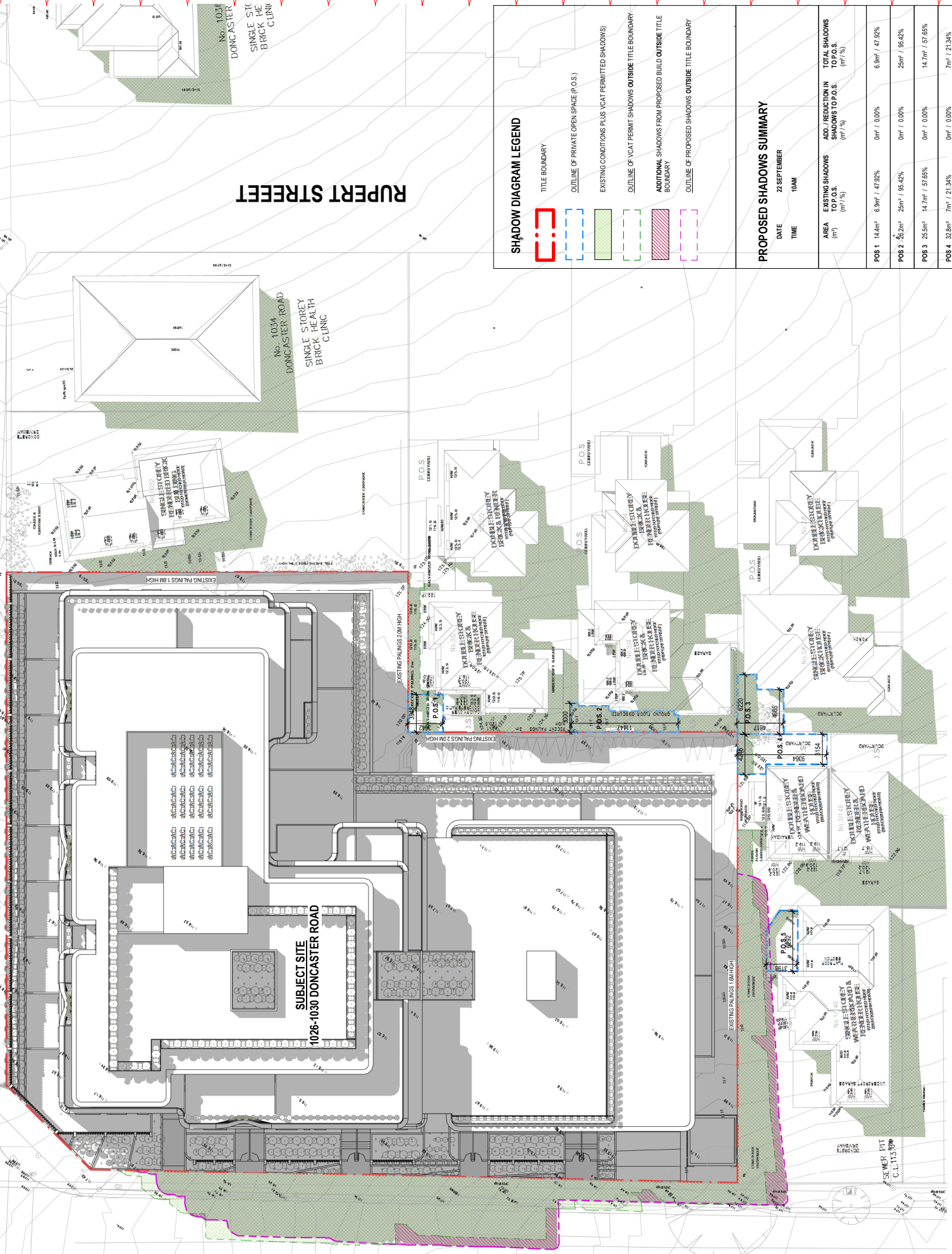
No. 117
BLACKBURN ROAD
MULTI LEVEL
MIXED USE
BUILDING

No. 145
BLACKBURN ROAD
DOUBLE
STOREY
BRICK DWELLING

No. 145
BLACKBURN ROAD
SINGLE
STOREY
W/B
DWELLING

No. 1034
DONCASTER ROAD
SINGLE STOREY
BRICK HEALTH
CLINIC

No. 1036
DONCASTER
SINGLE ST
BRICK CLINIC



SHADOW DIAGRAM LEGEND

- TITLE BOUNDARY
- OUTLINE OF PRIVATE OPEN SPACE (P.O.S.)
- EXISTING CONDITIONS PLUS VCAT PERMITTED SHADOWS
- OUTLINE OF VCAT PERMIT SHADOWS OUTSIDE TITLE BOUNDARY
- ADDITIONAL SHADOWS FROM PROPOSED BUILD OUTSIDE TITLE BOUNDARY
- OUTLINE OF PROPOSED SHADOWS OUTSIDE TITLE BOUNDARY

PROPOSED SHADOWS SUMMARY

DATE	TIME	EXISTING SHADOWS AREA TO P.O.S. (m ²)	ADDITIONAL SHADOWS TO P.O.S. (m ²)	TOTAL SHADOWS TO P.O.S. (m ²)
22 SEPTEMBER	10AM	14.4m ²	6.9m ² / 47.92%	21.3m ² / 47.92%
		62.2m ²	25m ² / 96.42%	87.2m ² / 96.42%
		25.5m ²	14.7m ² / 57.65%	40.2m ² / 57.65%
		32.8m ²	7m ² / 21.34%	39.8m ² / 21.34%
		18.8m ²	7.5m ² / 40.22%	26.3m ² / 40.22%

CERA STRIBBLEY

+ 61 3 9533 2592
info@csa.com.au
www.csa.com.au
Studio 5, 249 Chapel St
Prahran VIC 3181 AUS

NOTES
Do not scale. Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

COPYRIGHT
Reproduction of the whole or part of the document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are the property of Cera Stribley Pty Ltd. All rights reserved. No person is permitted to reproduce or disseminate this information, ideas and concepts to any person without prior written consent of the copyright holder.

REV	DATE	REVISION	BY	CHK
A	26.03.2022	TOWN PLANNING		
B	10.03.2022	TOWN PLANNING REFI		
C	17.11.2022	TOWN PLANNING REFI		
D	07.12.2022	TOWN PLANNING REFI		

PROJECT
DONCASTER RD
1026-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

JOB N° 21254
REVISION N° D
DATE 07.12.2022
SCALE 1:250 @ A1
DRAWN BY
CHECKED BY



DRAWING STATUS
TOWN PLANNING

DRAWING TITLE
SHADOW STUDY - 10AM

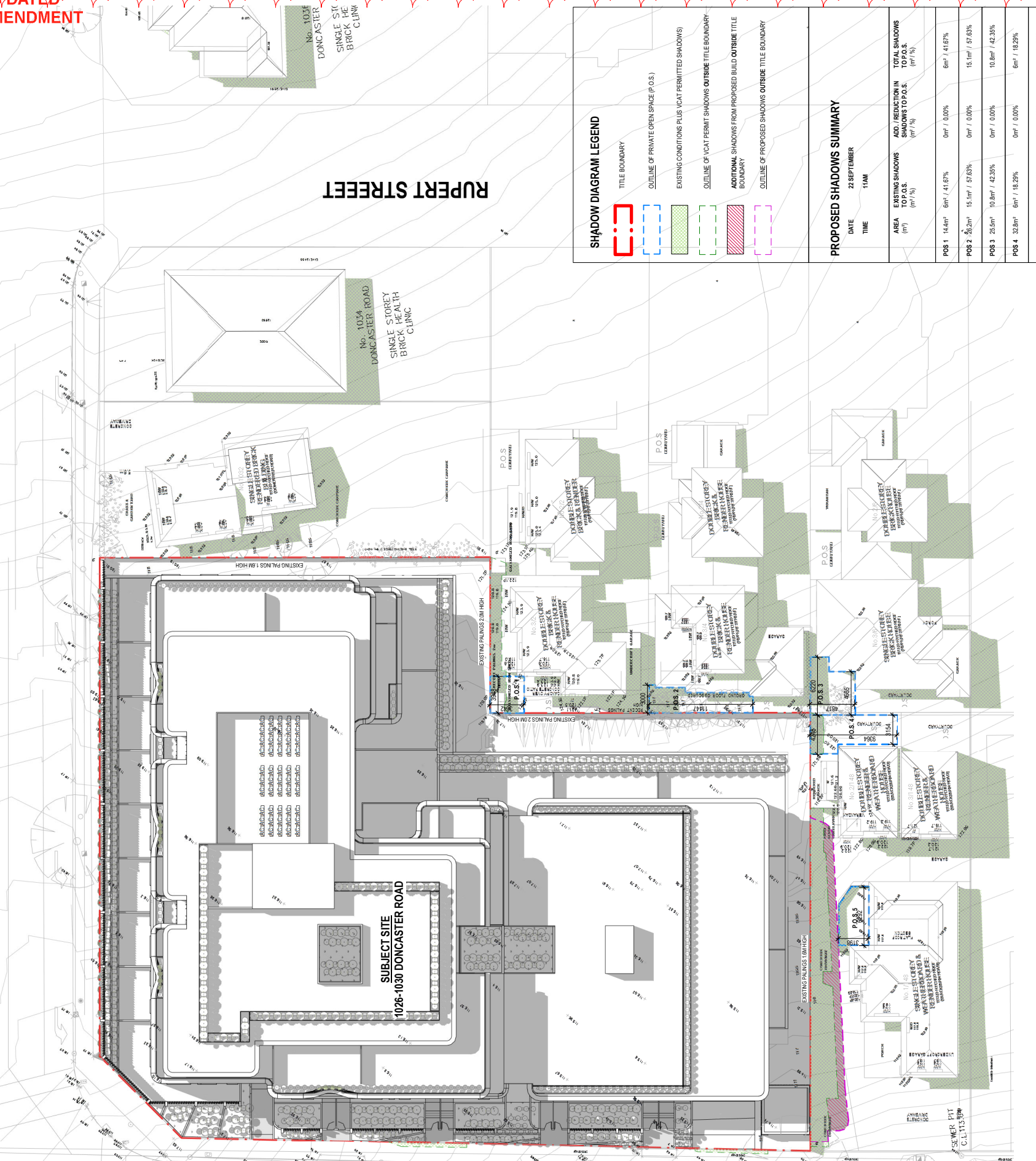
TP.8001

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET



SHADOW DIAGRAM LEGEND

- TITLE BOUNDARY
- OUTLINE OF PRIVATE OPEN SPACE (P.O.S.)
- EXISTING CONDITIONS PLUS VCAT PERMITTED SHADOWS
- OUTLINE OF VCAT PERMIT SHADOWS OUTSIDE TITLE BOUNDARY
- ADDITIONAL SHADOWS FROM PROPOSED BUILD OUTSIDE TITLE BOUNDARY
- OUTLINE OF PROPOSED SHADOWS OUTSIDE TITLE BOUNDARY

PROPOSED SHADOWS SUMMARY

DATE: 22 SEPTEMBER
 TIME: 11AM

POS	EXISTING SHADOWS TO P.O.S. (m ² / %)	ADDITIONAL SHADOWS TO P.O.S. (m ² / %)	TOTAL SHADOWS TO P.O.S. (m ² / %)
POS 1	14.4m ² / 41.6%	0m ² / 0.0%	6m ² / 41.6%
POS 2	82.2m ² / 57.63%	0m ² / 0.0%	15.1m ² / 57.63%
POS 3	25.5m ² / 42.25%	0m ² / 0.0%	10.8m ² / 42.25%
POS 4	32.8m ² / 18.29%	0m ² / 0.0%	6m ² / 18.29%
POS 5	18.8m ² / 37.23%	0m ² / 0.0%	7m ² / 37.23%

CERA STRIBBLEY

Cera Stribley Pty. Ltd.
 ABN 29 350 585 700

+ 61 3 9533 2592
 info@csa.com.au
 www.csa.com.au
 Studio 5, 249 Chapel St
 Prahran VIC 3181 AUS

NOTES
 Do not scale. Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

COPYRIGHT
 Reproduction of the whole or part of the document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are the property of Cera Stribley Pty. Ltd. and are not to be used for any purpose without prior written consent of the copyright holder.

REV. DATE **REVISION** **BY** **CHK**

A	26.03.2022	TOWN PLANNING	
B	10.03.2022	TOWN PLANNING REFI	
C	17.11.2022	TOWN PLANNING REFI	
D	07.12.2022	TOWN PLANNING REFI	

PROJECT
DONCASTER RD
 1026-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

DRAWING STATUS
TOWN PLANNING

DRAWING TITLE
SHADOW STUDY - 11AM

JOB N° 2/254
REVISION N° D
DATE 07.12.2022
SCALE 1:250 @ A1
DRAWN BY
CHECKED BY

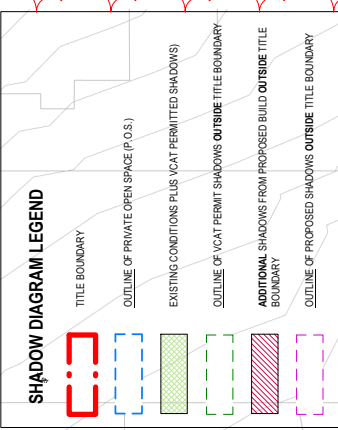
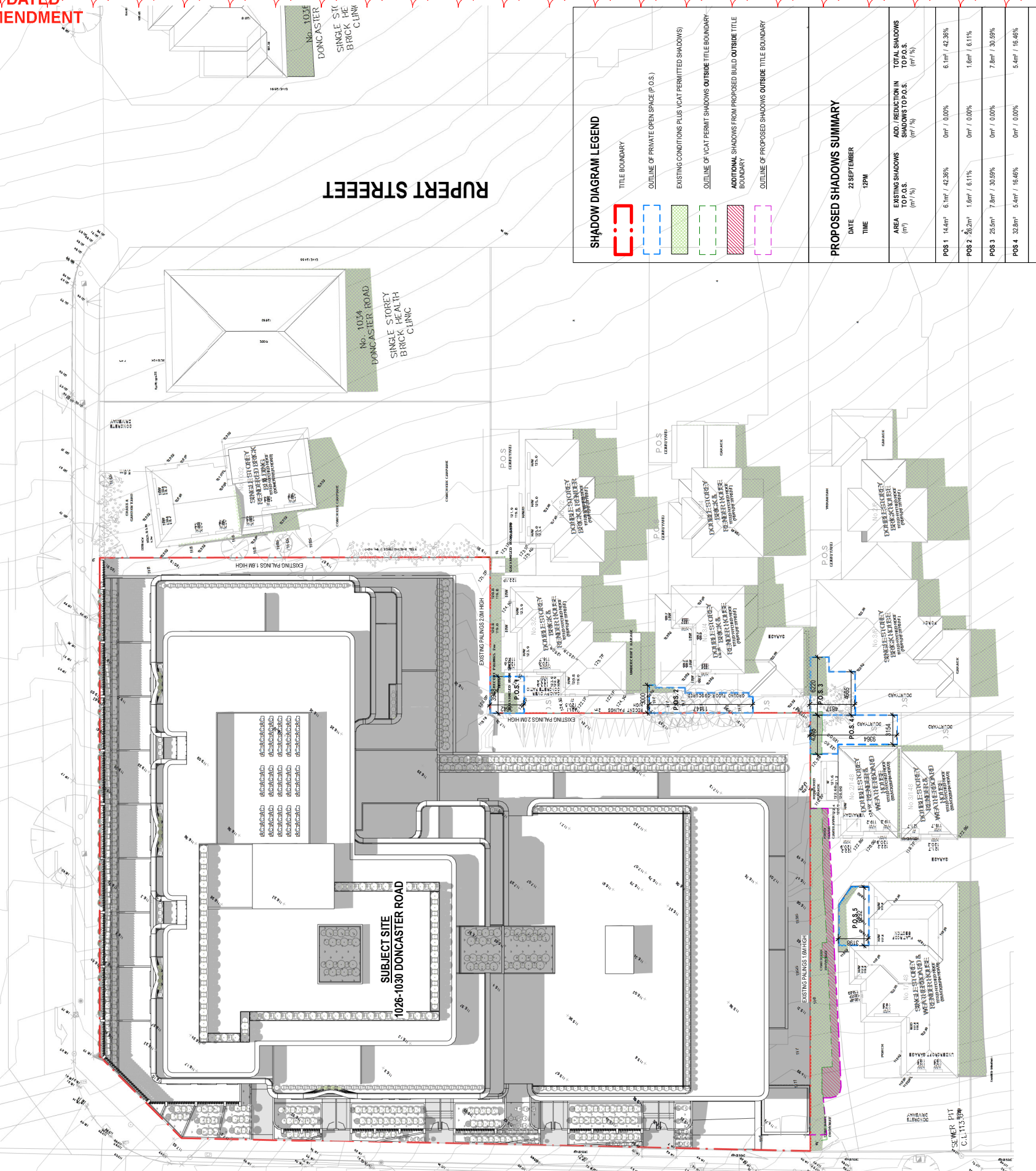
TP.8002

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET



PROPOSED SHADOWS SUMMARY

DATE: 22 SEPTEMBER
TIME: 12PM

POS	EXISTING SHADOWS TO P.O.S. (m ² / %)	ADDITIONAL SHADOWS TO P.O.S. (m ² / %)	TOTAL SHADOWS TO P.O.S. (m ² / %)	
POS 1	14.4m ² / 6.1%	6.1m ² / 42.36%	0m ² / 0.00%	6.1m ² / 42.36%
POS 2	85.2m ² / 1.6m ² / 6.11%	0m ² / 0.00%	1.6m ² / 6.11%	
POS 3	25.5m ² / 7.8m ² / 30.59%	0m ² / 0.00%	7.8m ² / 30.59%	
POS 4	32.8m ² / 5.4m ² / 16.46%	0m ² / 0.00%	5.4m ² / 16.46%	
POS 5	18.8m ² / 5.4m ² / 28.72%	0m ² / 0.00%	5.4m ² / 28.72%	

CERA STRIBBLEY

Cera Stribley Pty. Ltd.
ABN 29 350 585 700

+61 3 9533 2592
info@csa.com.au
www.csa.com.au
Studio 5, 249 Chapel St
Prahran VIC 3181 AUS

NOTES:
Do not scale. Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

COPYRIGHT
Reproduction of the whole or part of the document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are the property of Cera Stribley Pty. Ltd. and are not to be used for any purpose without prior written consent of the copyright holder.

PROJECT
DONCASTER RD
1026-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

DRAWING STATUS
TOWN PLANNING

DRAWING TITLE
SHADOW STUDY - 12PM

JOB N° 2/254
REVISION N° D
DATE 07.12.2022
SCALE 1:250 @ A1
DRAWN BY
CHECKED BY

REV	DATE	REVISION	BY	CHK
A	26.03.2022	TOWN PLANNING		
B	10.03.2022	TOWN PLANNING REFI		
C	17.11.2022	TOWN PLANNING REFI		
D	07.12.2022	TOWN PLANNING REFI		

CERA STRIBBLEY

Cera Stribley
Architecture
Interior Design

Cera Stribley Pty. Ltd.
ABN 29 350 585 700

+61 3 9533 2592
info@csa.com.au
www.csa.com.au
Studio 5, 249 Chapel St
Prahran VIC 3181 AUS

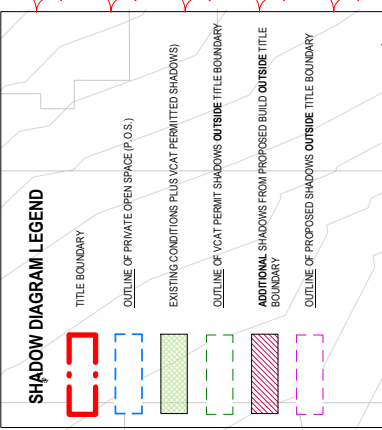
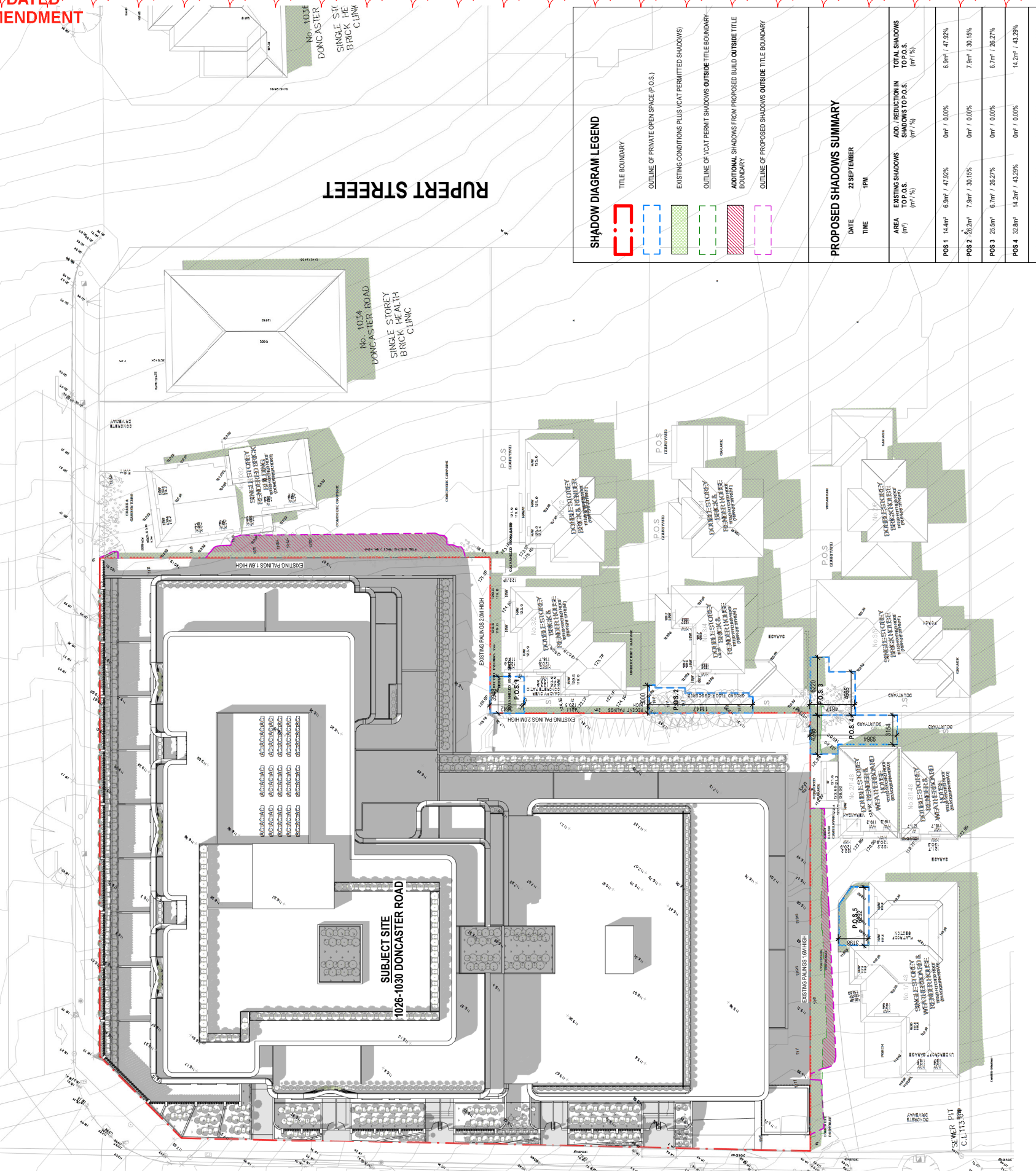
TP.8003

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET



PROPOSED SHADOWS SUMMARY

DATE: 22 SEPTEMBER
TIME: 1PM

POS	AREA (m ²)	EXISTING SHADOWS TO P.O.S. (m ² / %)	ADDITIONAL SHADOWS TO P.O.S. (m ² / %)	TOTAL SHADOWS TO P.O.S. (m ² / %)
POS 1	14.4m ²	6.9m ² / 47.92%	0m ² / 0.00%	6.9m ² / 47.92%
POS 2	85.2m ²	7.9m ² / 9.15%	0m ² / 0.00%	7.9m ² / 9.15%
POS 3	25.5m ²	6.7m ² / 26.27%	0m ² / 0.00%	6.7m ² / 26.27%
POS 4	32.8m ²	14.2m ² / 43.29%	0m ² / 0.00%	14.2m ² / 43.29%
POS 5	18.8m ²	4.7m ² / 25.00%	0m ² / 0.00%	4.7m ² / 25.00%

CERA STRIBBLEY
Architecture
Interior Design
Cera Stribley Pty. Ltd.
ABN 29 350 585 700
+61 3 9533 2592
info@csa.com.au
www.csa.com.au
Studio 5, 249 Chapel St
Prahran VIC 3181 AUS

PROJECT
DONCASTER RD
1026-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

DRAWING STATUS
TOWN PLANNING

DRAWING TITLE
SHADOW STUDY - 1PM

TP.8004

JOB N°: 20254
REVISION N°: D
DATE: 07.12.2022
SCALE: 1:250 @ A1
DRAWN BY: [blank]
CHECKED BY: [blank]

REV	DATE	REVISION	BY	CHK
A	26.03.2022	TOWN PLANNING	[blank]	[blank]
B	10.03.2022	TOWN PLANNING REFI	[blank]	[blank]
C	17.11.2022	TOWN PLANNING REFI	[blank]	[blank]
D	07.12.2022	TOWN PLANNING REFI	[blank]	[blank]

NOTES
Do not scale. Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

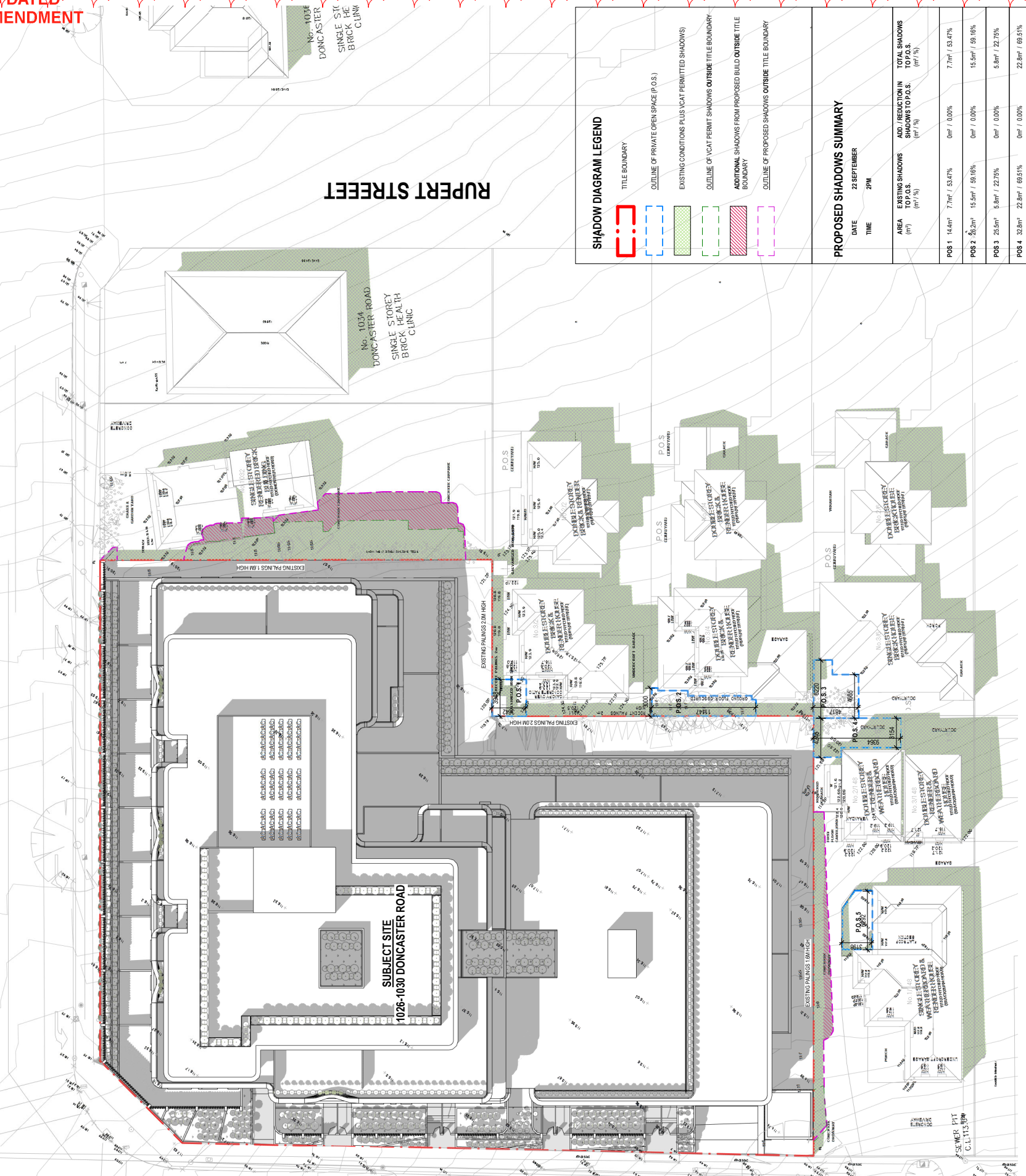
COPYRIGHT
Reproduction of the whole or part of the document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are the property of Cera Stribley Pty. Ltd. and are not to be used for any purpose without prior written consent of the copyright holder.

This document is made available for the sole purpose of enabling its consideration and review, as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any Copyright.

DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET



SUBJECT SITE
1026-1030 DONCASTER ROAD

SHADOW DIAGRAM LEGEND

- TITLE BOUNDARY
- OUTLINE OF PRIVATE OPEN SPACE (P.O.S.)
- EXISTING CONDITIONS PLUS VCAT PERMITTED SHADOWS
- OUTLINE OF VCAT PERMIT SHADOWS OUTSIDE TITLE BOUNDARY
- ADDITIONAL SHADOWS FROM PROPOSED BUILD OUTSIDE TITLE BOUNDARY
- OUTLINE OF PROPOSED SHADOWS OUTSIDE TITLE BOUNDARY

PROPOSED SHADOWS SUMMARY

DATE: 22 SEPTEMBER
TIME: 2PM

AREA (m²)	EXISTING SHADOWS TO P.O.S. (m² / %)	ADD / REDUCTION IN SHADOWS TO P.O.S. (m² / %)	TOTAL SHADOWS TO P.O.S. (m² / %)
POS 1 14.4m²	7.7m² / 53.47%	0m² / 0.00%	7.7m² / 53.47%
POS 2 85.2m²	15.5m² / 18.18%	0m² / 0.00%	15.5m² / 18.18%
POS 3 25.5m²	5.8m² / 22.75%	0m² / 0.00%	5.8m² / 22.75%
POS 4 32.8m²	22.8m² / 69.51%	0m² / 0.00%	22.8m² / 69.51%
POS 5 18.8m²	5.1m² / 27.13%	0m² / 0.00%	5.1m² / 27.13%

CERA STRIBLEY

Cera Stribley Pty. Ltd.
Architecture
Interior Design
ABN 29 350 585 700

+61 3 9533 2592
info@csa.com.au
www.csa.com.au
Studio 5, 249 Chapel St
Prahran VIC 3181 AUS

PROJECT
DONCASTER RD
1026-1030 DONCASTER ROAD, DONCASTER EAST
VICTORIA 3109

DRAWING STATUS
TOWN PLANNING

DRAWING TITLE
SHADOW STUDY - 2PM

TP.8005

REV	DATE	REVISION	BY	CHK
A	26.03.2022	TOWN PLANNING		
B	10.09.2022	TOWN PLANNING REVISION		
C	17.11.2022	TOWN PLANNING REVISION		
D	07.12.2022	TOWN PLANNING REVISION		

NOTES
Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

COPYRIGHT
Reproduction of the whole or part of the document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are the property of Cera Stribley Pty. Ltd. and are not to be used, copied or disseminated in any form without prior written consent of the copyright holder.

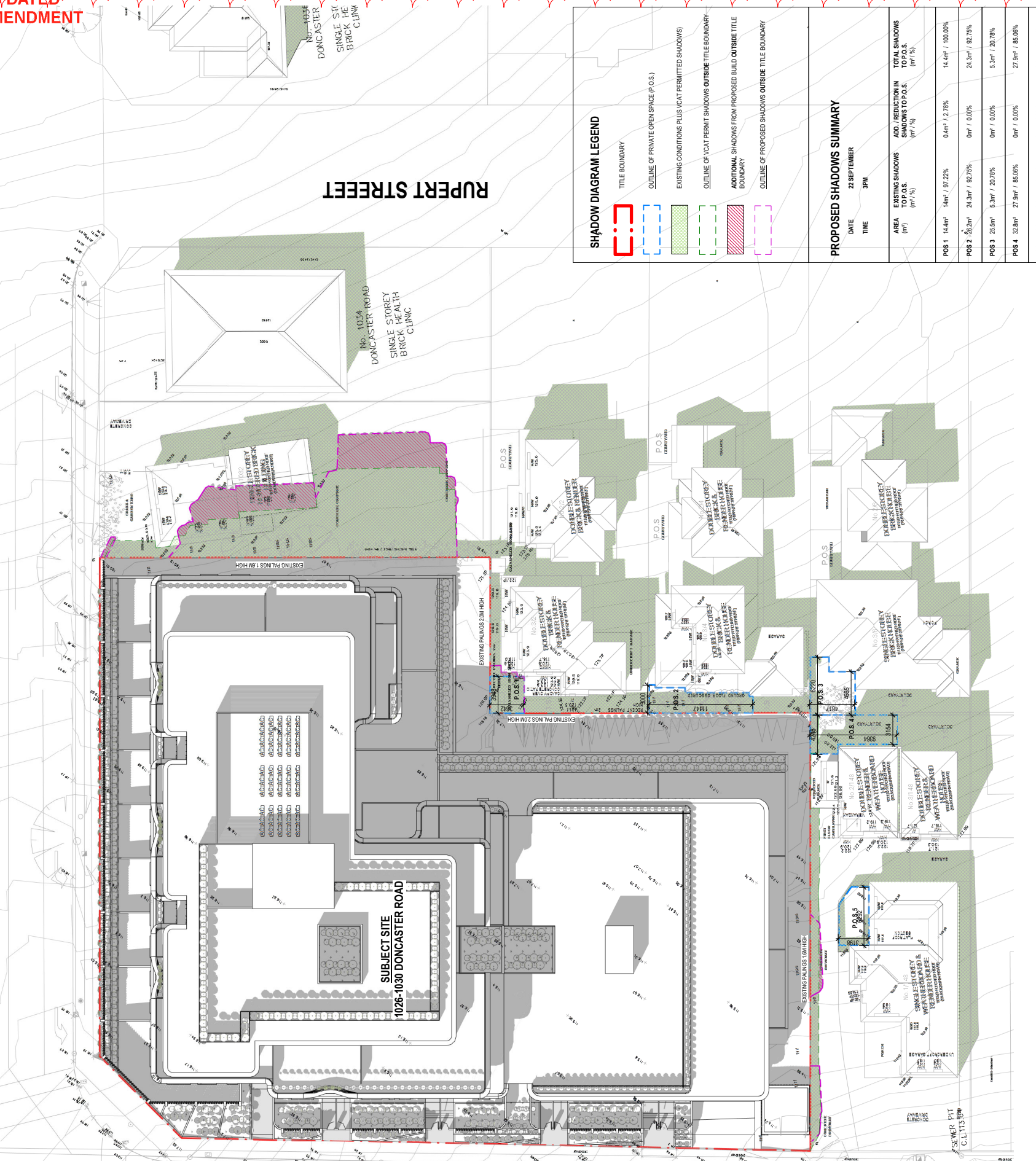
JOB N° 21254
REVISION N° D
DATE 07.12.2022
SCALE 1:250 @ A1
DRAWN BY
CHECKED BY

This document is made available for the sole purpose of enabling its consideration and review,
 as part of a planning process under the Planning and Environment Act 1987.
 The document must not be used for any purpose which may breach any Copyright.

DONCASTER ROAD

BLACKBURN ROAD

RUPERT STREET



SHADOW DIAGRAM LEGEND

- TITLE BOUNDARY
- OUTLINE OF PRIVATE OPEN SPACE (P.O.S.)
- EXISTING CONDITIONS PLUS VCAT PERMITTED SHADOWS
- OUTLINE OF VCAT PERMIT SHADOWS OUTSIDE TITLE BOUNDARY
- ADDITIONAL SHADOWS FROM PROPOSED BUILD OUTSIDE TITLE BOUNDARY
- OUTLINE OF PROPOSED SHADOWS OUTSIDE TITLE BOUNDARY

PROPOSED SHADOWS SUMMARY

DATE: 22 SEPTEMBER
 TIME: 3PM

POS	EXISTING SHADOWS TO P.O.S. (m ² / %)	ADD. REDUCTION IN SHADOWS TO P.O.S. (m ² / %)	TOTAL SHADOWS TO P.O.S. (m ² / %)
POS 1	14.4m ² / 97.2%	0.4m ² / 2.78%	14.4m ² / 100.00%
POS 2	26.3m ² / 92.75%	0m ² / 0.00%	26.3m ² / 92.75%
POS 3	5.3m ² / 20.78%	0m ² / 0.00%	5.3m ² / 20.78%
POS 4	32.8m ² / 85.06%	0m ² / 0.00%	32.8m ² / 85.06%
POS 5	18.8m ² / 36.17%	0m ² / 0.00%	18.8m ² / 36.17%

CERA STRIBBLEY

Cera Stribbley
 Architecture
 Interior Design
 Cera Stribbley Pty. Ltd.
 ABN 29 350 585 700
 +613 9533 2592
 info@csa.com.au
 www.csa.com.au
 Studio 5, 249 Chapel St
 Prahran VIC 3181 AUS

NOTES
 Do not scale. Contractor must verify all dimensions on site before commencing any work or preparing shop drawings which must be approved by the architect before manufacture. Any extra enticement work shown on this drawing must be detailed and approved before proceeding.

COPYRIGHT
 Reproduction of the whole or part of the document constitutes an infringement of copyright. The information, ideas and concepts contained in this document are the property of Cera Stribbley Pty. Ltd. and are not to be used or disclosed in any form without prior written consent of the copyright holder.

PROJECT
DONCASTER RD
 1026-1030 DONCASTER ROAD, DONCASTER EAST
 VICTORIA 3109

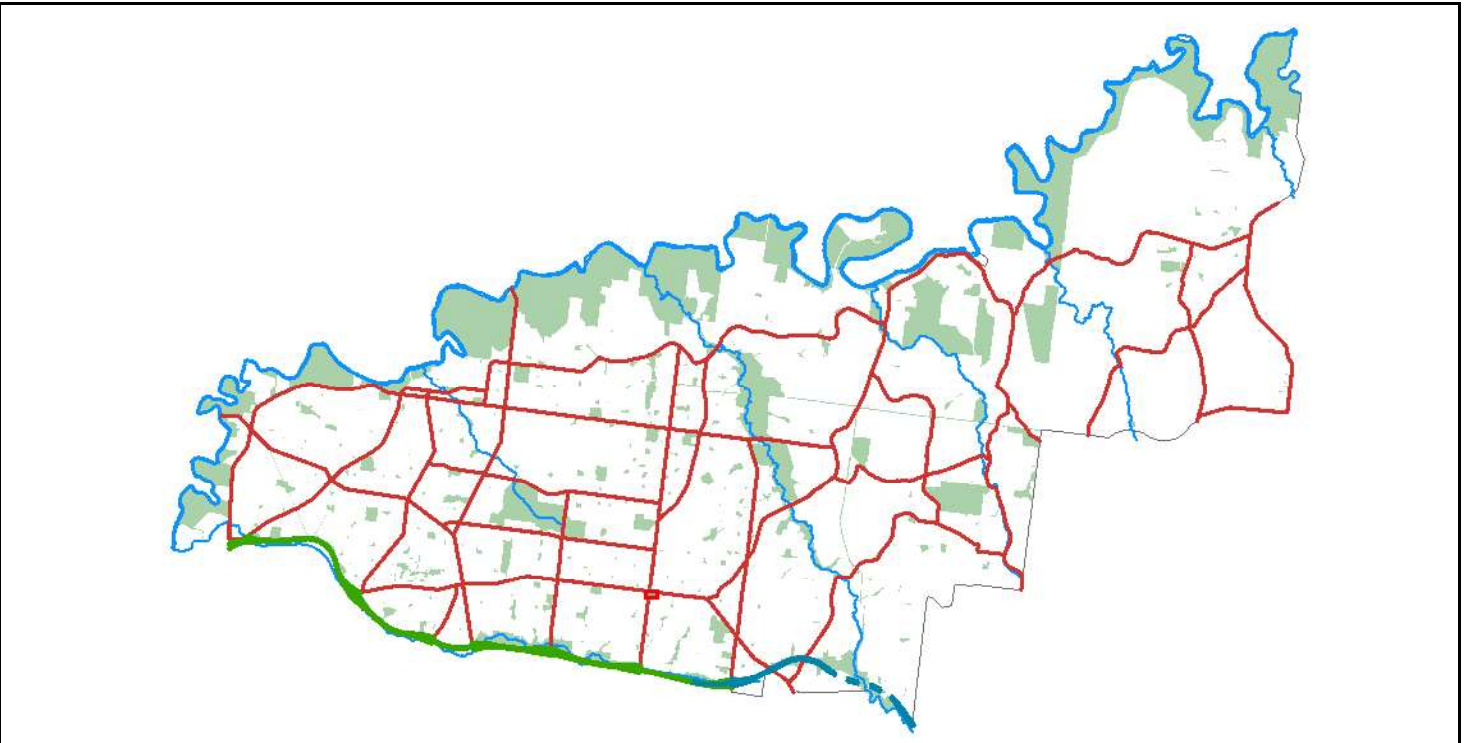
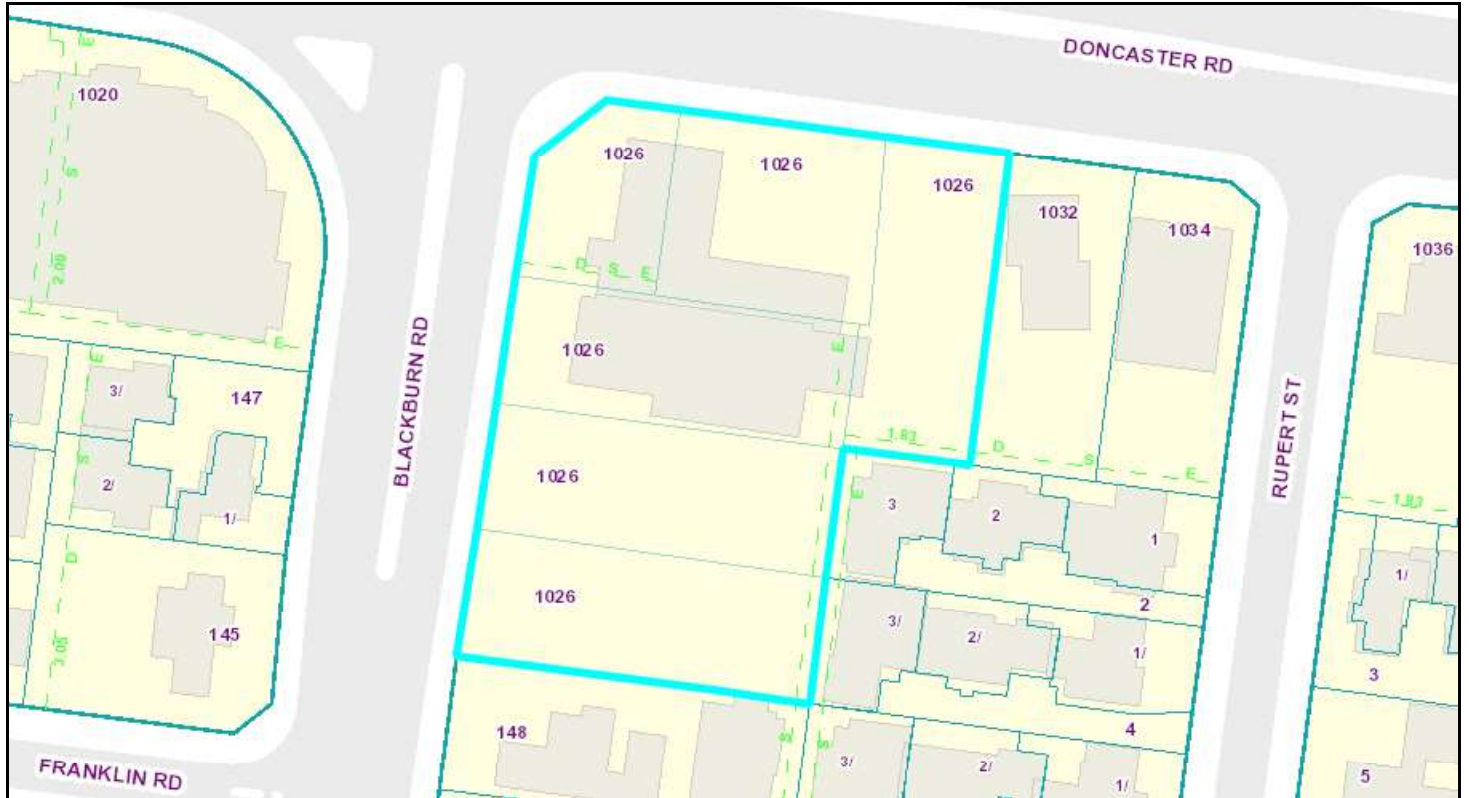
DRAWING STATUS
 TOWN PLANNING


DRAWING TITLE
 SHADOW STUDY - 3PM

TP.8006

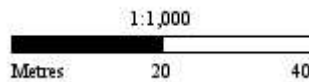
REV	DATE	REVISION	BY	CHK
A	26.03.2022	TOWN PLANNING		
B	10.09.2022	TOWN PLANNING REFI		
C	17.11.2022	TOWN PLANNING REFI		
D	07.12.2022	TOWN PLANNING REFI		

JOB N° 21254
REVISION N° D
DATE 07.12.2022
SCALE 1:250 @ A1
DRAWN BY
CHECKED BY

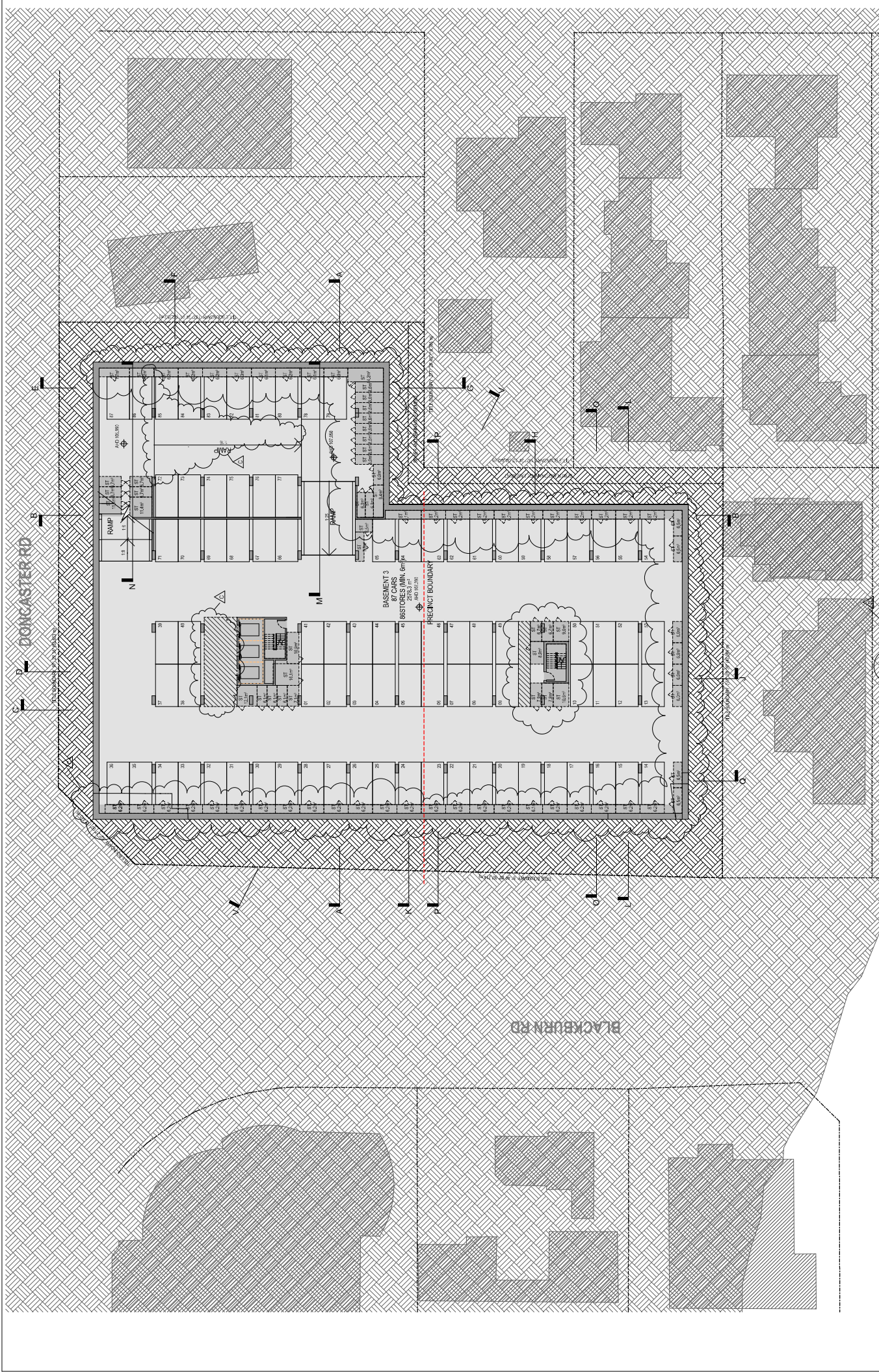


 **Subject Land** **Address:** 1026-1030 Doncaster Road, DONCASTER EAST 3109

Whilst all care has been taken in the preparation of this cadastral base map, Manningham and the State of Victoria accepts no responsibility for the accuracy of any information shown. Users should rely on their own enquiries in order to validate information shown on this map. This information is for Demonstration only.



May 9, 2023, 4:39 PM



NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL SERVICES PRIOR TO CONSTRUCTION.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
 4. ALL SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE RELEVANT STANDARDS AND REGULATIONS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND STRUCTURES.
 6. ALL SERVICES SHALL BE INSTALLED TO A MINIMUM STANDARD OF 100MM.
 7. ALL SERVICES SHALL BE INSTALLED TO A MINIMUM STANDARD OF 100MM.
 8. ALL SERVICES SHALL BE INSTALLED TO A MINIMUM STANDARD OF 100MM.
 9. ALL SERVICES SHALL BE INSTALLED TO A MINIMUM STANDARD OF 100MM.
 10. ALL SERVICES SHALL BE INSTALLED TO A MINIMUM STANDARD OF 100MM.

NO.	DESCRIPTION
1	Structural
2	Services
3	Finishes
4	MEP
5	Other

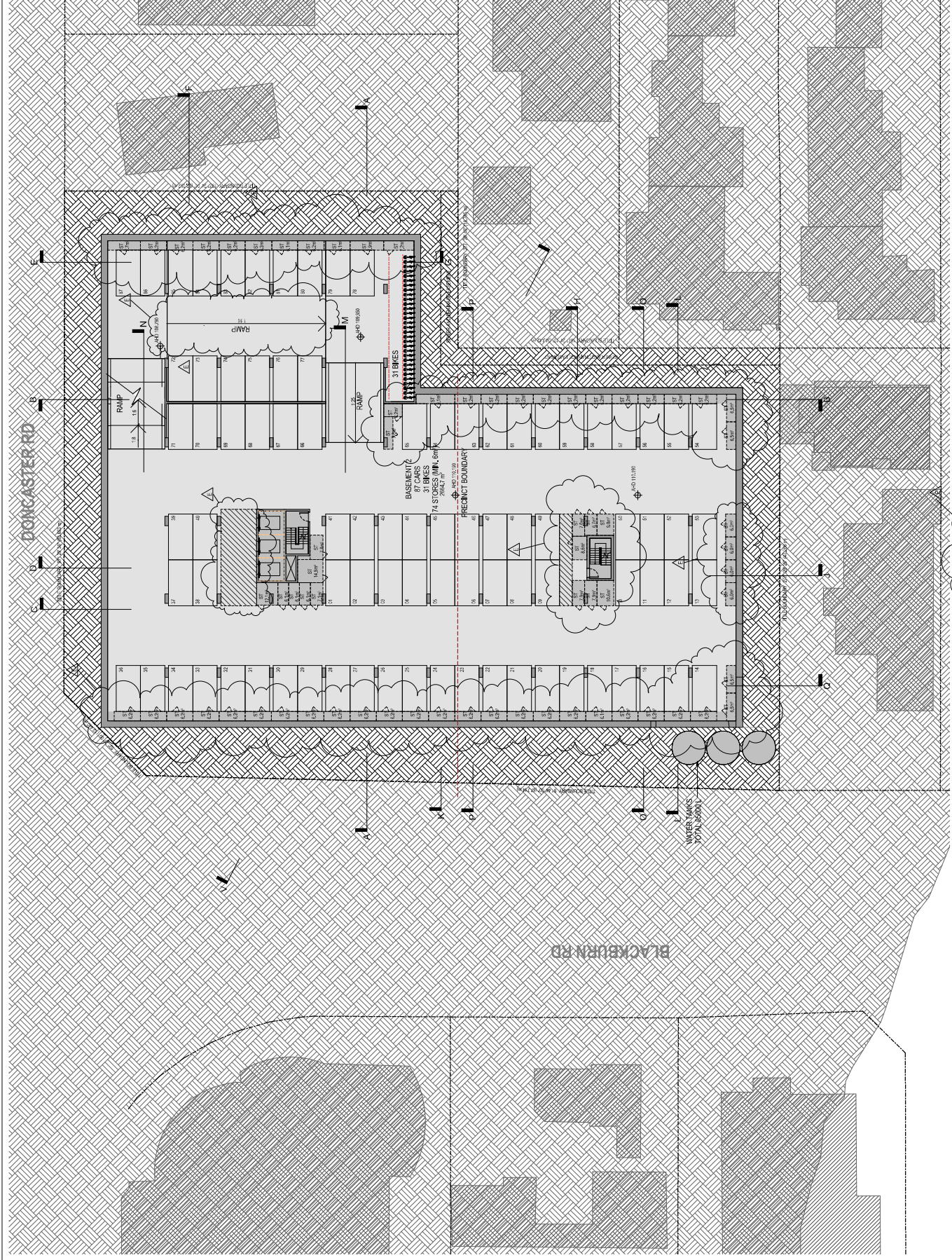
NO.	DESCRIPTION
1	Structural
2	Services
3	Finishes
4	MEP
5	Other

PROJECT TITLE
 PROJECT NO.
 SCALE 1:200
 DATE

PROJECT NO. 214075
 SCALE 1:200
 DATE

PROJECT NO. 214075
 SCALE 1:200
 DATE





PROJECT: 214075
 SCALE: 1:200
 DRAWN: TP1.01 | E
 PROJECT TITLE: NI RESIDENTIAL DEVELOPMENT
 PROJECT ADDRESS: 1000-1005 DORCASTER RD
 PROJECT TYPE: RESIDENTIAL
 CLIENT: NI
 DATE: 10/03/2021

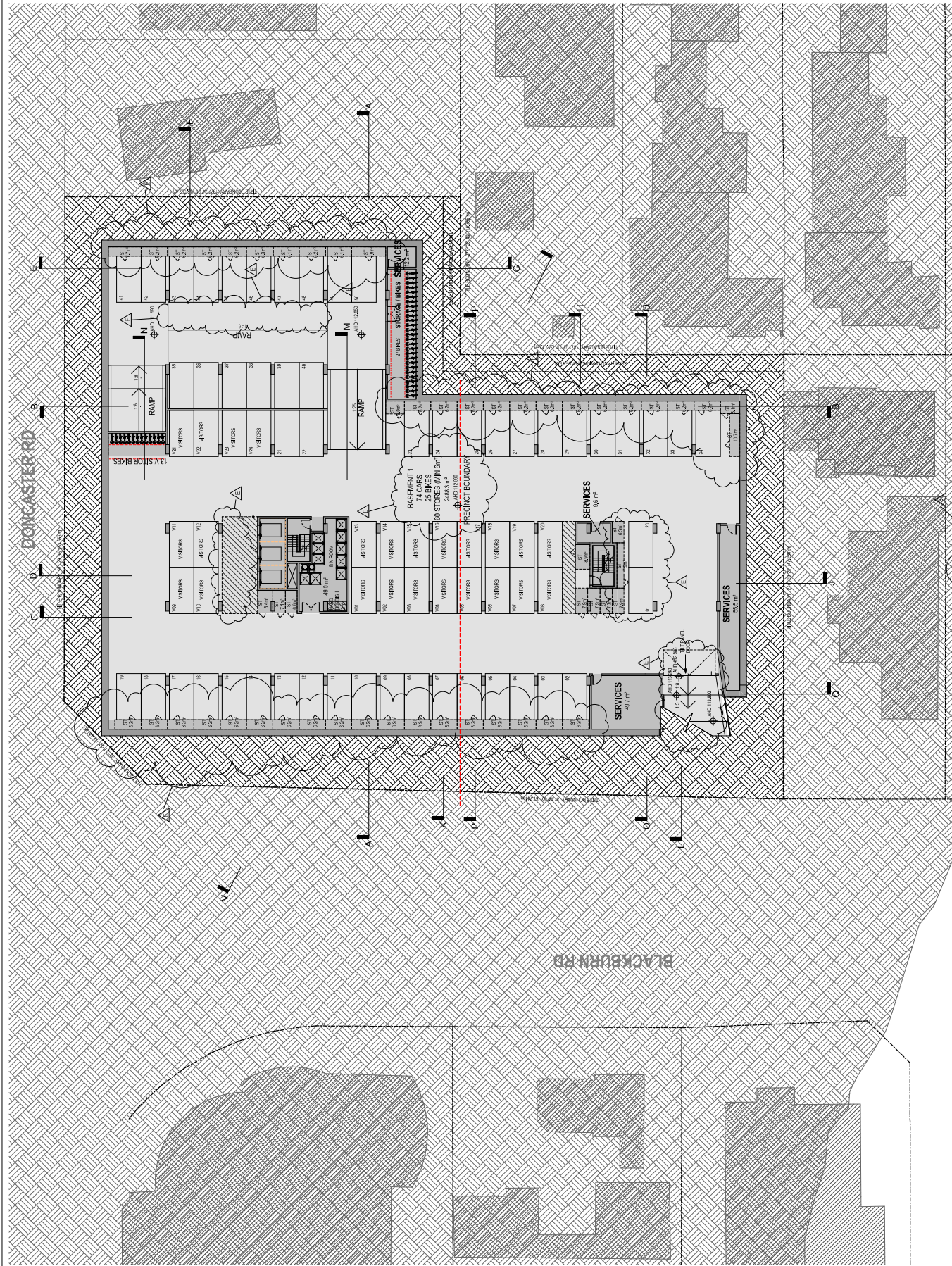
PROJECT TITLE: NI RESIDENTIAL DEVELOPMENT
 PROJECT ADDRESS: 1000-1005 DORCASTER RD
 PROJECT TYPE: RESIDENTIAL
 CLIENT: NI
 DATE: 10/03/2021

NO.	DATE	DESCRIPTION
1	10/03/2021	Issue for Review
2	10/03/2021	Issue for Review
3	10/03/2021	Issue for Review
4	10/03/2021	Issue for Review
5	10/03/2021	Issue for Review
6	10/03/2021	Issue for Review

SYMBOL	DESCRIPTION
(Symbol)	Structural Wall
(Symbol)	Structural Column
(Symbol)	Structural Beam
(Symbol)	Structural Slab
(Symbol)	Structural Stair
(Symbol)	Structural Ramp
(Symbol)	Structural Foundation
(Symbol)	Structural Wall (Foundation)
(Symbol)	Structural Column (Foundation)
(Symbol)	Structural Beam (Foundation)
(Symbol)	Structural Slab (Foundation)
(Symbol)	Structural Stair (Foundation)
(Symbol)	Structural Ramp (Foundation)
(Symbol)	Structural Foundation (Foundation)

PLAN LEGEND
 SW: STRUCTURAL WALL
 SC: STRUCTURAL COLUMN
 SB: STRUCTURAL BEAM
 SL: STRUCTURAL SLAB
 ST: STRUCTURAL STAIR
 RP: STRUCTURAL RAMP
 SF: STRUCTURAL FOUNDATION
 SWF: STRUCTURAL WALL (FOUNDATION)
 SCF: STRUCTURAL COLUMN (FOUNDATION)
 SBF: STRUCTURAL BEAM (FOUNDATION)
 SLF: STRUCTURAL SLAB (FOUNDATION)
 STF: STRUCTURAL STAIR (FOUNDATION)
 RPF: STRUCTURAL RAMP (FOUNDATION)
 SFF: STRUCTURAL FOUNDATION (FOUNDATION)

10002018 8.4.21.FM
 NI RESIDENTIAL DEVELOPMENT
 1000-1005 DORCASTER RD
 NI
 10/03/2021



10/12/2016 10:50 AM
 PROJECT: 214075
 SCALE: 1:200
 DRAWN: TP1.02 | E

PROJECT TITLE: N1 RESIDENTIAL DEVELOPMENT
 LOCATION: 1005 DORCASTER RD
 SHEET: BASEMENT FLOOR PLAN

NO.	DESCRIPTION	DATE
1	Issue For Approval	12/11/2016
2	Issue For Approval	12/11/2016
3	Issue For Approval	12/11/2016
4	Issue For Approval	12/11/2016
5	Issue For Approval	12/11/2016
6	Issue For Approval	12/11/2016

NO.	DESCRIPTION
1	Issue For Approval
2	Issue For Approval
3	Issue For Approval
4	Issue For Approval
5	Issue For Approval
6	Issue For Approval

REVISIONS

10/12/2016 10:50 AM
 PROJECT: 214075
 SCALE: 1:200
 DRAWN: TP1.02 | E

10/12/2016 10:50 AM



PROJECT: 214075
 SCALE: 1:200
 DATE: 06/2024
 DRAWN: TP1.03 | E

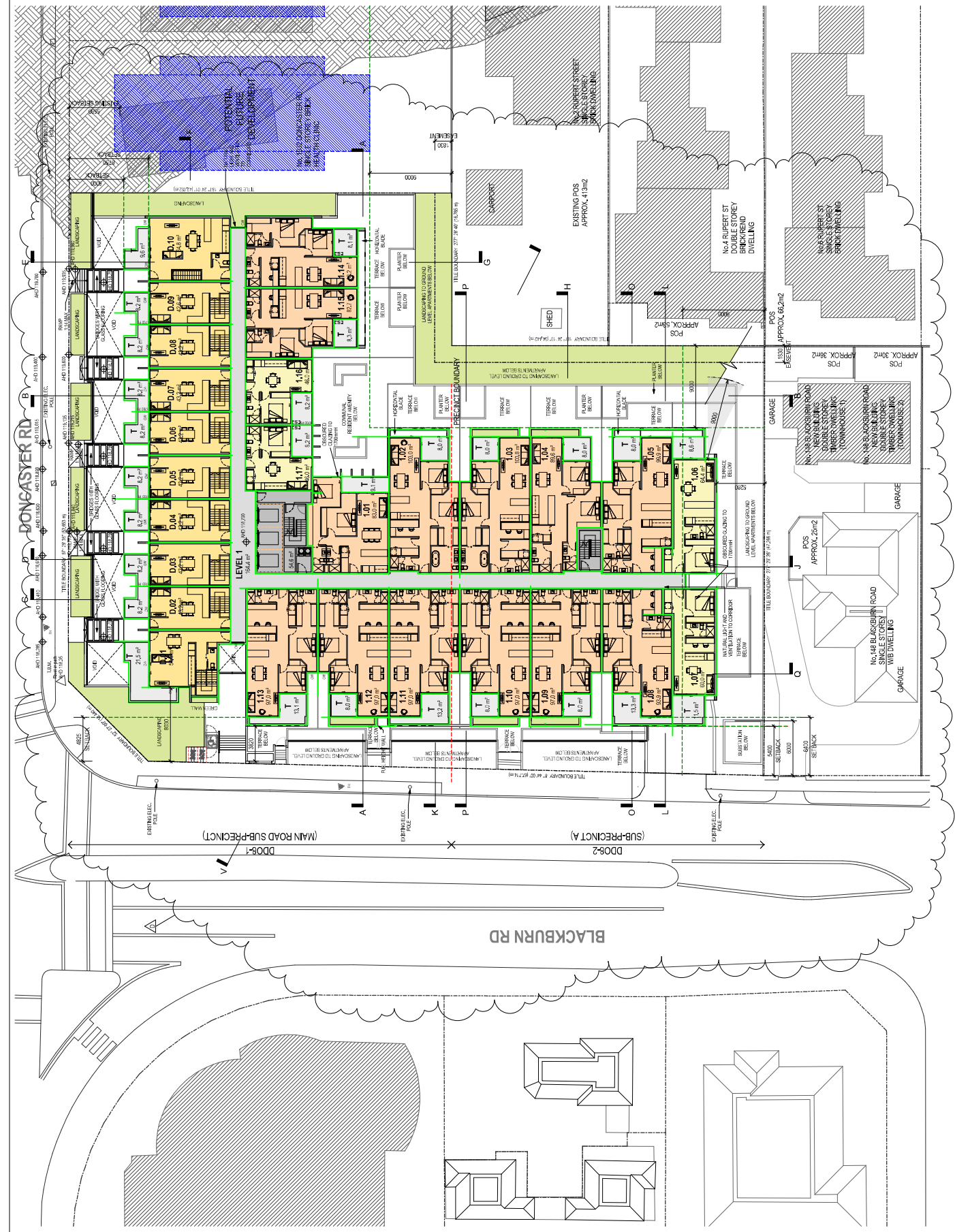
PROJECT TITLE: RESIDENTIAL DEVELOPMENT
 DRAWING TITLE: GROUND FLOOR PLAN

NO.	DATE	DESCRIPTION
1	13/11/24	Issue for Planning
2	13/11/24	Issue for Planning
3	13/11/24	Issue for Planning
4	13/11/24	Issue for Planning
5	13/11/24	Issue for Planning

SYMBOL	DESCRIPTION
(Line)	Boundary
(Dotted)	Proposed Footprint
(Hatched)	Landscaping
(Stippled)	Permeable Area
(Cross-hatched)	Existing Buildings
(Diagonal)	Other Buildings

LANDSCAPE ARCHITECTS REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR FURTHER DETAIL.

DISCLAIMER: The information provided in this drawing is for informational purposes only. It is not intended to be used for any other purpose without the prior written consent of the architect. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any damage or loss resulting from the use of this drawing. The architect shall not be responsible for any delay or interruption of work resulting from the use of this drawing.



DONGASBY RD

BLACKBURN RD

PROJECT INFORMATION
**NO. 188 BLACKBURN ROAD
 RESIDENTIAL DEVELOPMENT**

SCALE: 1:200
DATE: 21/04/2024

PROJECT NO: 2140775
CLIENT: LANDSCAPE GROUP
DESIGNER: JACOBS
DRAWN BY: JAC
CHECKED BY: JAC

REVISIONS

No.	Date	Description
1	13/12/24	Issue Planning Draw
2	13/12/24	Issue Planning Draw
3	13/12/24	Issue Planning Draw
4	13/12/24	Issue Planning Draw

SYMBOL	DESCRIPTION
	Feature to be Deleted
	Proposed Feature
	Existing Feature
	Proposed Feature to be Deleted
	Existing Feature to be Deleted

LEVEL 1 FLOOR PLAN

NOT TO SCALE. PROPERTY OF THE CLIENT. ALL RIGHTS RESERVED. ANY REUSE OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED.

DONCASTER RD

BLACKBURN RD

POTENTIAL FUTURE DEVELOPMENT

No. 104 DONCASTER RD
SINGLE STOREY BRICK
HEALTH CLINIC

POTENTIAL FUTURE DEVELOPMENT

No. 102 DONCASTER RD
SINGLE STOREY BRICK
HEALTH CLINIC

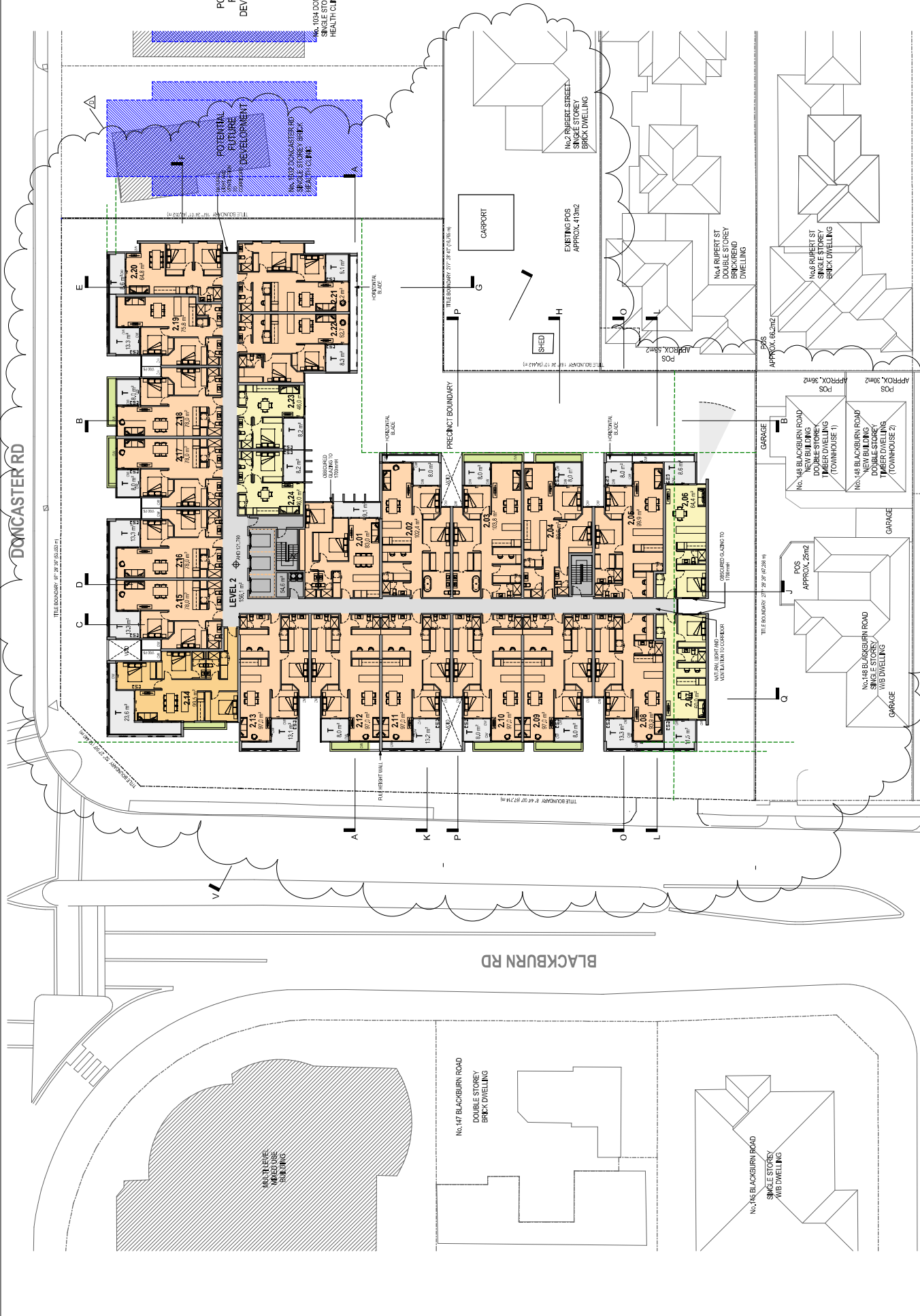
No. 21 RIVERS STREET
SINGLE STOREY
BRICK DWELLING

No. 4 RIBBERT ST
DOUBLE STOREY
BRICK/REND
DWELLING

No. 6 RIBBERT ST
SINGLE STOREY
BRICK DWELLING

No. 17 BLACKBURN ROAD
DOUBLE STOREY
BRICK DWELLING

No. 16 BLACKBURN ROAD
SINGLE STOREY
W/B DWELLING



PROJECT NO	214075
SCALE	1:200
DATE	
PROJECT	RESIDENTIAL DEVELOPMENT
CONTRACT NO	
CONTRACT DATE	
PROJECT TITLE	LEVEL 2 FLOOR PLAN
TP	1.05
ID	

NO. 104 DONCASTER RD	PROJECT NO	214075
NO. 102 DONCASTER RD	SCALE	1:200
NO. 21 RIVERS STREET	DATE	
NO. 4 RIBBERT ST	PROJECT	RESIDENTIAL DEVELOPMENT
NO. 6 RIBBERT ST	CONTRACT NO	
	CONTRACT DATE	
	PROJECT TITLE	LEVEL 2 FLOOR PLAN
	TP	1.05
	ID	

PROJECT NO	214075
SCALE	1:200
DATE	
PROJECT	RESIDENTIAL DEVELOPMENT
CONTRACT NO	
CONTRACT DATE	
PROJECT TITLE	LEVEL 2 FLOOR PLAN
TP	1.05
ID	

REVISIONS	No.	Date	Description
A	1	12/11/14	Issue Planning Base
B	2	12/11/14	Issue Building Information Panel
C	3	12/11/14	Issue Planning 2 - Revised
D	4	12/11/14	For Council Commented Exclusively
E	5	12/11/14	For Council Review

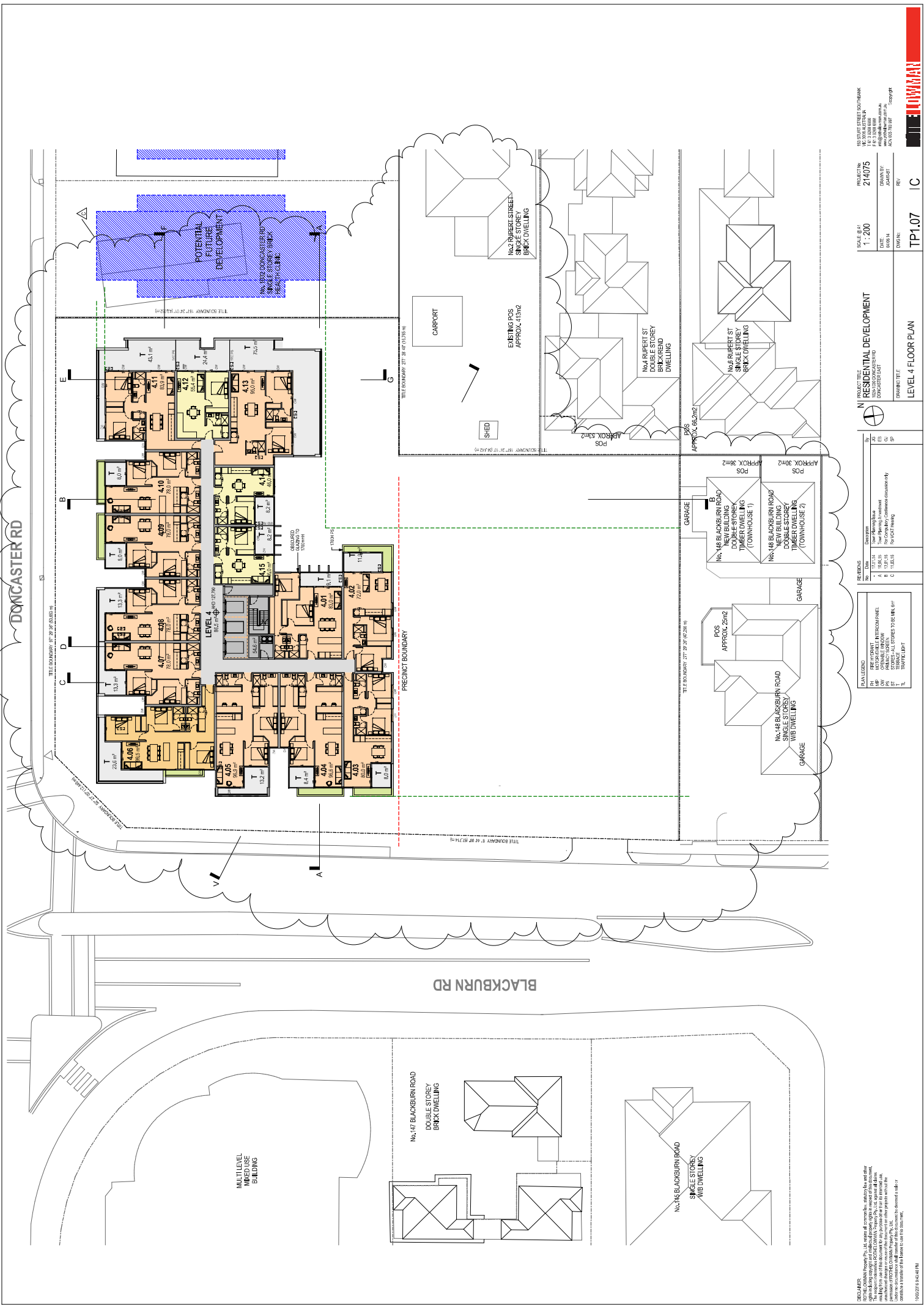
UNANNOUCED VISUAL IMPACT STUDY	FOR BLACKBURN ROAD PROJECT, 16 & 17 BLACKBURN ROAD, DONCASTER VIC 3089
PREPARED BY	BLACKBURN PROJECT CONSULTANTS
CHECKED BY	BLACKBURN PROJECT CONSULTANTS
DATE	12/11/14
SCALE	AS SHOWN
PROJECT	RESIDENTIAL DEVELOPMENT
CONTRACT NO	
CONTRACT DATE	
PROJECT TITLE	LEVEL 2 FLOOR PLAN
TP	1.05
ID	

UNANNOUCED VISUAL IMPACT STUDY	FOR BLACKBURN ROAD PROJECT, 16 & 17 BLACKBURN ROAD, DONCASTER VIC 3089
PREPARED BY	BLACKBURN PROJECT CONSULTANTS
CHECKED BY	BLACKBURN PROJECT CONSULTANTS
DATE	12/11/14
SCALE	AS SHOWN
PROJECT	RESIDENTIAL DEVELOPMENT
CONTRACT NO	
CONTRACT DATE	
PROJECT TITLE	LEVEL 2 FLOOR PLAN
TP	1.05
ID	

UNANNOUCED VISUAL IMPACT STUDY	FOR BLACKBURN ROAD PROJECT, 16 & 17 BLACKBURN ROAD, DONCASTER VIC 3089
PREPARED BY	BLACKBURN PROJECT CONSULTANTS
CHECKED BY	BLACKBURN PROJECT CONSULTANTS
DATE	12/11/14
SCALE	AS SHOWN
PROJECT	RESIDENTIAL DEVELOPMENT
CONTRACT NO	
CONTRACT DATE	
PROJECT TITLE	LEVEL 2 FLOOR PLAN
TP	1.05
ID	

UNANNOUCED VISUAL IMPACT STUDY	FOR BLACKBURN ROAD PROJECT, 16 & 17 BLACKBURN ROAD, DONCASTER VIC 3089
PREPARED BY	BLACKBURN PROJECT CONSULTANTS
CHECKED BY	BLACKBURN PROJECT CONSULTANTS
DATE	12/11/14
SCALE	AS SHOWN
PROJECT	RESIDENTIAL DEVELOPMENT
CONTRACT NO	
CONTRACT DATE	
PROJECT TITLE	LEVEL 2 FLOOR PLAN
TP	1.05
ID	

BLACKBURN PROJECT CONSULTANTS
16 & 17 BLACKBURN ROAD, DONCASTER VIC 3089
TEL: 03 9450 1234
WWW.BLACKBURNPROJECTCONSULTANTS.COM.AU



PROJECT: 214075
 SCALE: 1:200
 DATE: 10/05/2021
 DRAWN: TP1.07
 CHECKED: IC
 PROJECT TITLE: RESIDENTIAL DEVELOPMENT
 PROJECT LOCATION: 1000 DONCASTER RD, DONCASTER VIC 3108
 CLIENT: [REDACTED]
 ARCHITECT: [REDACTED]

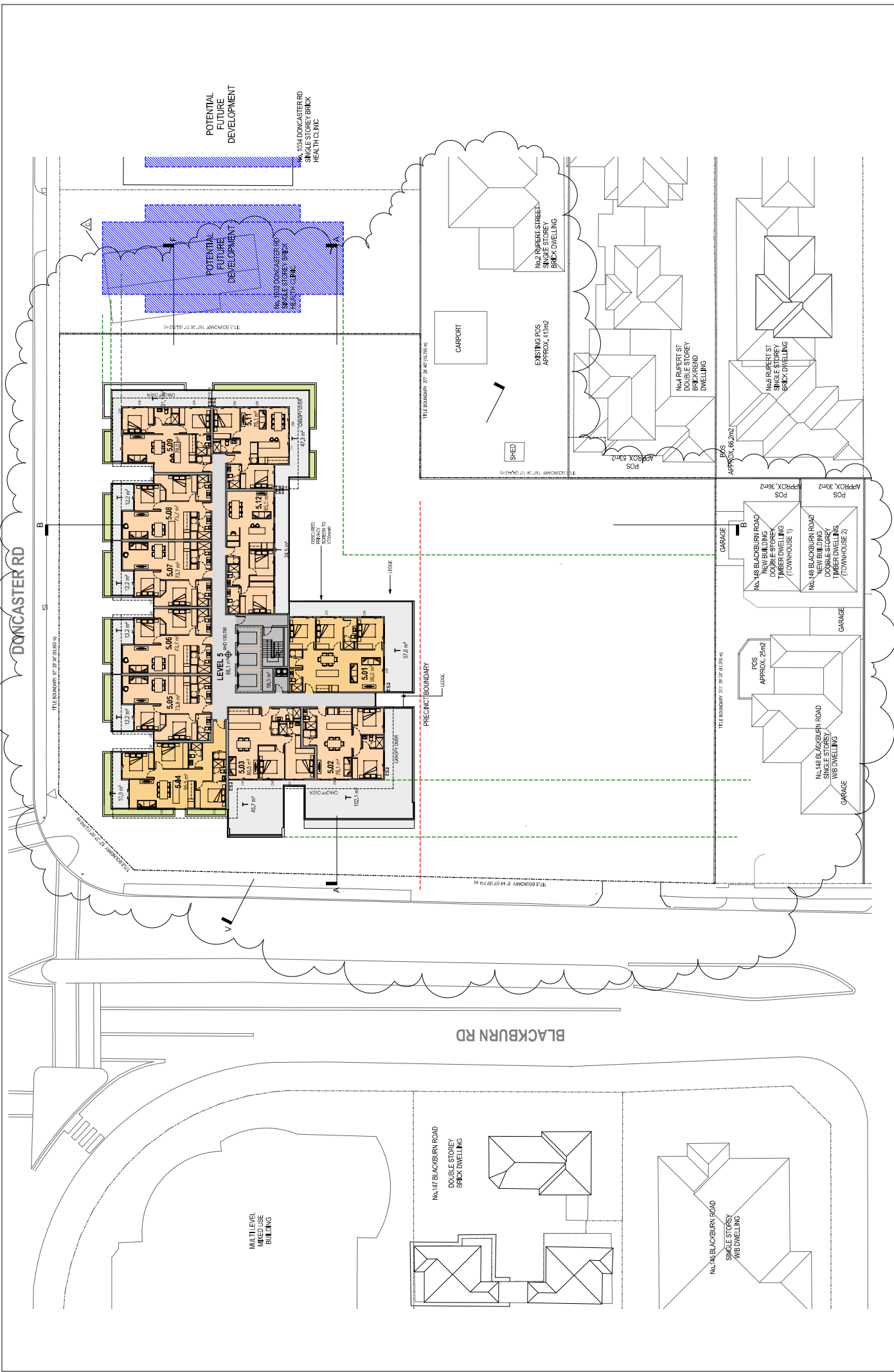
LEVEL 4 FLOOR PLAN
 PROJECT TITLE: RESIDENTIAL DEVELOPMENT
 PROJECT LOCATION: 1000 DONCASTER RD, DONCASTER VIC 3108
 CLIENT: [REDACTED]
 ARCHITECT: [REDACTED]

NO.	DATE	DESCRIPTION
A	13/1/21	Issue Planning Base
B	13/1/21	Issue Planning Base
C	11/05/21	Issue Planning Base For Company/Contractor Use Only

SYMBOL	DESCRIPTION
HP	HEAVY POLYLINE
BP	BORDER POLYLINE
SP	SINGLE POLYLINE
ST	STANDARD LINE
TL	TRIPLE POLYLINE

100% BLACKBURN PROPERTY PTY LTD. ALL RIGHTS RESERVED. ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF 100% BLACKBURN PROPERTY PTY LTD. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. ANY REUSE OR DISTRIBUTION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF 100% BLACKBURN PROPERTY PTY LTD. IS STRICTLY PROHIBITED.

100% BLACKBURN PROPERTY PTY LTD. ALL RIGHTS RESERVED. ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF 100% BLACKBURN PROPERTY PTY LTD. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. ANY REUSE OR DISTRIBUTION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF 100% BLACKBURN PROPERTY PTY LTD. IS STRICTLY PROHIBITED.



POTENTIAL FUTURE DEVELOPMENT

No. 104 DONCASTER RD
SINGLE STOREY BRICK
HEALTH CLINIC

POTENTIAL FUTURE DEVELOPMENT

No. 102 DONCASTER RD
SINGLE STOREY BRICK
HEALTH CLINIC

No. 102 DONCASTER RD
SINGLE STOREY
BRICK DWELLING

No. 104 ROBERT ST
DOUBLE STOREY
BRICK/RENDER
DWELLING

No. 6 ROBERT ST
SINGLE STOREY
BRICK DWELLING

No. 17 BLACKBURN ROAD
DOUBLE STOREY
BRICK DWELLING

No. 18 BLACKBURN ROAD
SINGLE STOREY
W/B DWELLING

MULTI-USE
MIXED USE
BUILDING

10/02/21 8:42:48 PM

PROJECT NO.	214075
SCALE	1:200
DATE	10/02/21
PROJECT	RESIDENTIAL DEVELOPMENT
CLIENT	FOR COMPANY/COMPANY INC.
DESIGNER	FOR COMPANY/COMPANY INC.
DRAWN	TP1.08
REV	IC

REVISIONS	
No.	Description
A	Issue Planning Base
B	Issue for Council
C	Issue for Council/Company/Company Inc.
D	Issue for Council/Company/Company Inc.

DETAILS	
No.	Description
A	Issue Planning Base
B	Issue for Council
C	Issue for Council/Company/Company Inc.
D	Issue for Council/Company/Company Inc.

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AND DOES NOT EXTEND TO ANY OTHER MATTERS.

THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AND DOES NOT EXTEND TO ANY OTHER MATTERS.

DISCLAIMER:
FOR THE COMPANY PROPERTY ONLY. ALL RIGHTS ARE RESERVED. ANY REUSE, ALTERATION OR OTHER
UNAUTHORIZED USE OF THIS DOCUMENT IS STRICTLY PROHIBITED. THE COMPANY SHALL NOT BE
RESPONSIBLE FOR ANY DAMAGE OR LOSS OF DATA OR INFORMATION ARISING FROM THE USE OF
THIS DOCUMENT. THE COMPANY SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR LOSS OF DATA
OR INFORMATION ARISING FROM THE USE OF THIS DOCUMENT.

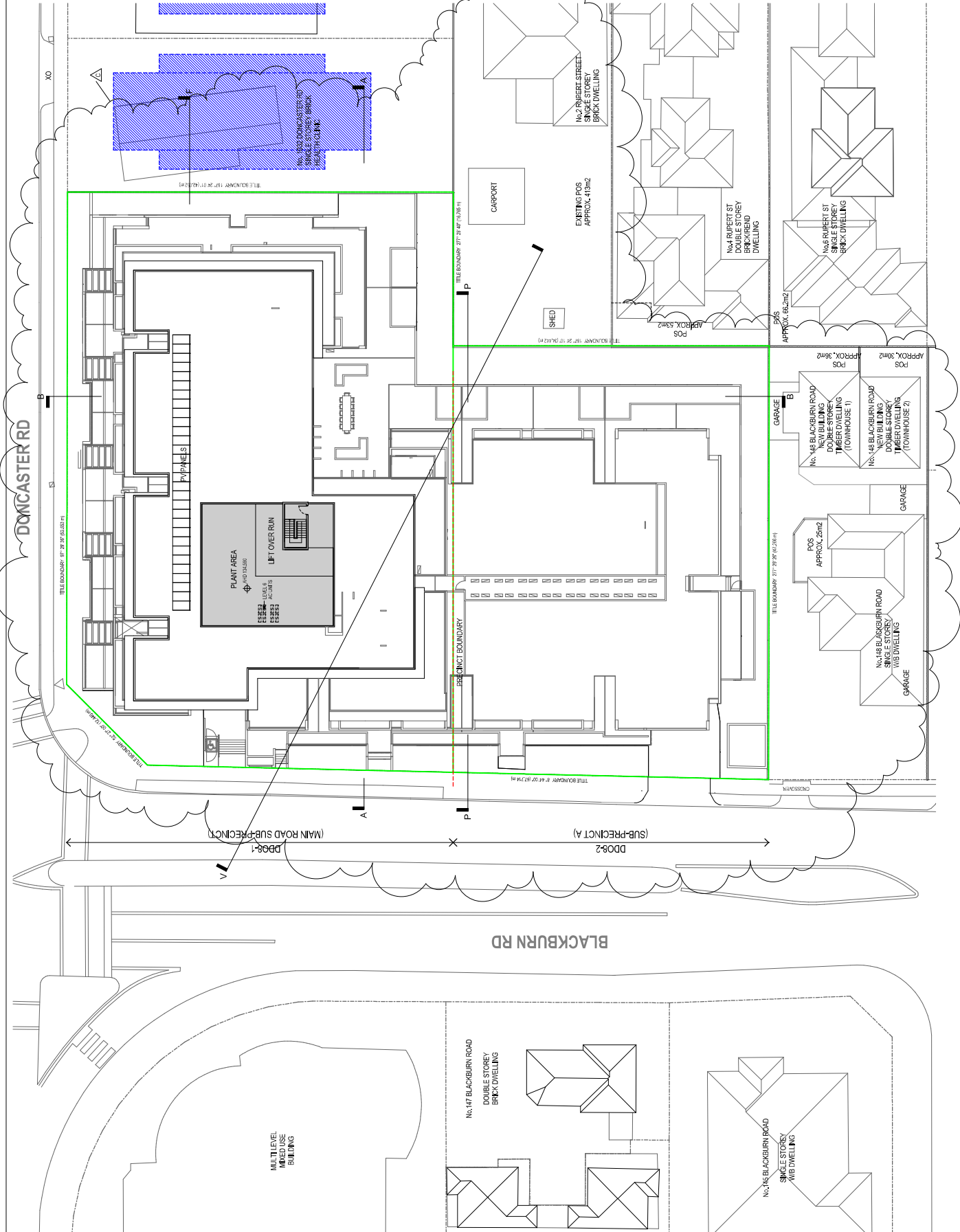
PLANNED
NO. 117/14
A
REVISIONS
No. Date Description
1 11/14/14 Issue Planning Book
2 11/14/14 For Client/Contractor/Consultant Use

PROJECT TITLE
RESIDENTIAL DEVELOPMENT
1000-1200 W. ASHLEY RD
SPRINGFIELD, MO 65714

SCALE: 1 : 200
PROJECT NO: 214075
DATE: 11/14/14
DRAWN: TP1.09 | A

1001 EAST 17TH AVENUE
SUITE 200
DENVER, CO 80202
TEL: 303.733.8888
WWW.TOWMAN.COM
REV: 002 10/10/14





DOMCASTER RD

BLACKBURN RD

DISCLAIMER:
 I/O/O: JAMES
 107/108 BLACKBURN PROPERTY PT 11, the design of the drawings, accuracy and any other information contained herein is provided to you for your information only. It is not to be used for any other purpose without the written consent of the author. The design and accuracy of the drawings is not to be relied upon for any other purpose without the written consent of the author. The design and accuracy of the drawings is not to be relied upon for any other purpose without the written consent of the author.
 10/03/2018 8:43:54 AM

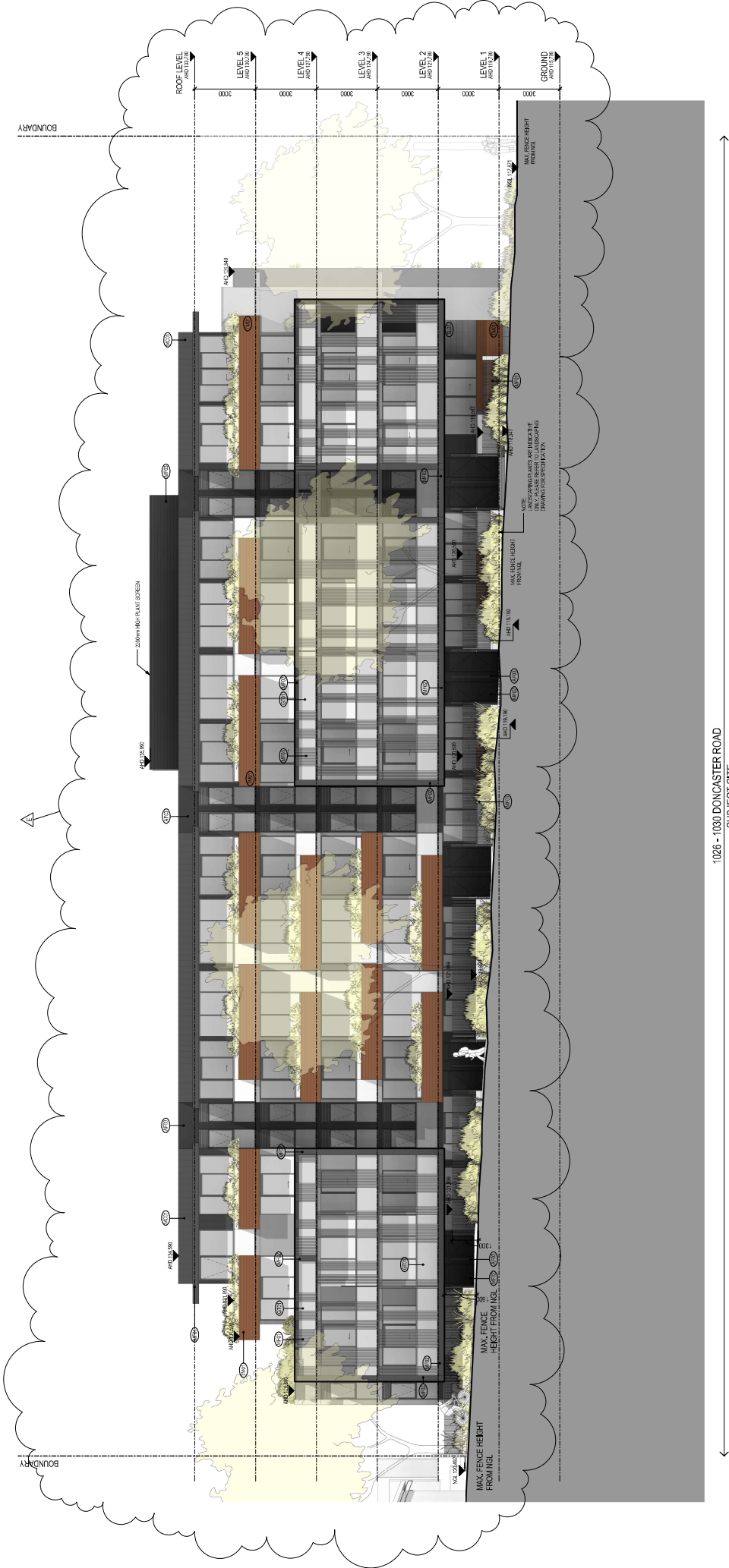
No.	Date	Description	By
A	12/11/14	Issue Planning Base	AP
B	13/11/15	Issue Final Plans	CU
C	11/02/16	Issue Final Plans For Council Hearing	SP

REVISIONS
1. Issue Final Plans For Council Hearing
2. Issue Final Plans For Council Hearing
3. Issue Final Plans For Council Hearing

PROJECT TITLE	
RESIDENTIAL DEVELOPMENT	ROOF PLAN

PROJECT No	
2140775	IC

SCALE	
1:200	TP1.10



1026 - 1030 DONCASTER ROAD
SUBJECT SITE

- ROOF LEVEL AHD 12.000
- LEVEL 5 AHD 12.000
- LEVEL 4 AHD 12.000
- LEVEL 3 AHD 12.000
- LEVEL 2 AHD 12.000
- LEVEL 1 AHD 12.000
- GROUND AHD 11.000

BOUNDARY

BOUNDARY

200mm HEIGHT SCREEN

MAX. FENCE HEIGHT FROM NGL

MAX. FENCE HEIGHT FROM NGL

MAX. FENCE HEIGHT FROM NGL

MAX. FENCE HEIGHT FROM NGL

MAX. FENCE HEIGHT FROM NGL

DISCLAIMER
I/WE, THE ARCHITECT/ENGINEER, AS THE DESIGNER, DO NOT GUARANTEE THE ACCURACY OF ANY INFORMATION OR DATA PROVIDED BY ANY OTHER PARTY. THE ARCHITECT/ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING BUT NOT LIMITED TO, THE COST OF REMEDIATION, CONSTRUCTION, OR ANY OTHER DAMAGES, ARISING FROM ANY CAUSE, WHETHER IN CONTRACT, TORT, OR OTHERWISE. THE ARCHITECT/ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN SERVICES PROVIDED TO THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE ARCHITECT/ENGINEER'S SERVICES ARE PROVIDED ON AN AS-IS BASIS AND WITHOUT WARRANTY. THE ARCHITECT/ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN SERVICES PROVIDED TO THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE ARCHITECT/ENGINEER'S SERVICES ARE PROVIDED ON AN AS-IS BASIS AND WITHOUT WARRANTY.

MATERIAL LEGEND

M01	BRICK FINISH CONCRETE	BY	AR
M02	SMOOTH CONCRETE	BY	PS
M03	PAVING SLABS	BY	PS
M04	PAVING SLABS WITH CURB	BY	PS
M05	PAVING SLABS WITH CURB AND GUTTER	BY	PS
M06	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK	BY	PS
M07	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY	BY	PS
M08	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN	BY	PS
M09	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK	BY	PS
M10	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY	BY	PS
M11	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY AND DRIVEWAY	BY	PS
M12	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY	BY	PS
M13	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY	BY	PS
M14	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY	BY	PS

MATERIAL LEGEND

M01	BRICK FINISH CONCRETE	BY	AR
M02	SMOOTH CONCRETE	BY	PS
M03	PAVING SLABS	BY	PS
M04	PAVING SLABS WITH CURB	BY	PS
M05	PAVING SLABS WITH CURB AND GUTTER	BY	PS
M06	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK	BY	PS
M07	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY	BY	PS
M08	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN	BY	PS
M09	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK	BY	PS
M10	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY AND DRIVEWAY	BY	PS
M11	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY	BY	PS
M12	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY	BY	PS
M13	PAVING SLABS WITH CURB AND GUTTER AND SIDEWALK AND DRIVEWAY AND GARDEN AND SIDEWALK AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY AND DRIVEWAY	BY	PS

REVISIONS

No.	Date	Description	By
A	12/12/14	Issue Drawing Book	AR
B	10/06/15	Issue Drawing Book	PS
C	10/06/15	Issue Drawing Book	PS
D	11/06/15	Issue Drawing Book	PS
E	11/06/15	Issue Drawing Book	PS

PROJECT TITLE
RESIDENTIAL DEVELOPMENT

PROJECT NO.
214075

SCALE
1:100

DATE
12/12/14

DESIGNER
IOWAN

PROJECT INFORMATION

125 STURT STREET SOUTH BANGALORE QLD 4007
TEL: 07 3088 8888
FAX: 07 3088 8888
WWW.IOWAN.COM.AU
ARCHITECTS

SCALE 1:100

PROJECT NO. 214075

DATE 12/12/14

DESIGNER IOWAN

PROJECT TITLE RESIDENTIAL DEVELOPMENT

PROJECT NO. 214075

SCALE 1:100

DATE 12/12/14

DESIGNER IOWAN

PROJECT TITLE RESIDENTIAL DEVELOPMENT

PROJECT NO. 214075

SCALE 1:100

DATE 12/12/14

DESIGNER IOWAN



DD.08-1
(MAIN ROAD SUB-PRECINCT)

DD.08-2
(SUB-PRECINCT A)

1026 - 1030 DONCASTER ROAD
SUBJECT SITE

DISCLAIMER:
 TP2,004 PROJECTS PTY LTD. designs all documents, drawings, plans and other documents for the client. The client is responsible for ensuring that all information provided is accurate and complete. The client is responsible for obtaining all necessary permits and approvals from the relevant authorities. The client is responsible for ensuring that all drawings and documents are used for the intended purpose and are not used for any other purpose. The client is responsible for ensuring that all drawings and documents are stored securely and are not lost or destroyed. The client is responsible for ensuring that all drawings and documents are kept up to date and are accurate.

MATERIAL LEGEND

REVISIONS	No.	Date	Description	By
1	13/11/14	13/11/14	Issue Planning Book	AR
2	13/11/14	13/11/14	Issue Planning Book	AR
3	13/11/14	13/11/14	Issue Planning Book	AR
4	13/11/14	13/11/14	Issue Planning Book	AR
5	13/11/14	13/11/14	Issue Planning Book	AR
6	13/11/14	13/11/14	Issue Planning Book	AR
7	13/11/14	13/11/14	Issue Planning Book	AR
8	13/11/14	13/11/14	Issue Planning Book	AR
9	13/11/14	13/11/14	Issue Planning Book	AR
10	13/11/14	13/11/14	Issue Planning Book	AR

MATERIAL LEGEND

REVISIONS	No.	Date	Description	By
1	13/11/14	13/11/14	Issue Planning Book	AR
2	13/11/14	13/11/14	Issue Planning Book	AR
3	13/11/14	13/11/14	Issue Planning Book	AR
4	13/11/14	13/11/14	Issue Planning Book	AR
5	13/11/14	13/11/14	Issue Planning Book	AR
6	13/11/14	13/11/14	Issue Planning Book	AR
7	13/11/14	13/11/14	Issue Planning Book	AR
8	13/11/14	13/11/14	Issue Planning Book	AR
9	13/11/14	13/11/14	Issue Planning Book	AR
10	13/11/14	13/11/14	Issue Planning Book	AR

PROJECT TITLE
 RESIDENTIAL DEVELOPMENT

SCALE
 1 : 100

PROJECT NO.
 214075

DATE
 13/11/14

DESIGNER
 TP2,004 PROJECTS PTY LTD

CLIENT
 TP2,004 PROJECTS PTY LTD

REVISIONS
 13/11/14

PROJECT LOCATION
 1026 - 1030 DONCASTER ROAD
 DONCASTER VIC 3108

PROJECT TYPE
 Residential Development

PROJECT VALUE
 \$1,000,000

PROJECT STATUS
 Concept

PROJECT CONTACT
 TP2,004 PROJECTS PTY LTD

PROJECT PHONE
 (03) 9482 2200

PROJECT FAX
 (03) 9482 2201

PROJECT EMAIL
 info@tp2.com.au

PROJECT WEBSITE
 www.tp2.com.au

PROJECT ADDRESS
 1026 - 1030 DONCASTER ROAD
 DONCASTER VIC 3108



TP2,004 PROJECTS PTY LTD

1026 - 1030 DONCASTER ROAD
 DONCASTER VIC 3108



IBCG ARCH
 107 RUSSELL STREET, MELBOURNE VIC 3000
 Tel: 03 9429 9391
 www.ibcg.com.au
 No responsibility is accepted by IBCG ARCH for any errors or omissions in this drawing. The client is responsible for ensuring that all information provided is accurate and complete. IBCG ARCH reserves the right to amend this drawing without notice. All dimensions are in millimeters unless otherwise stated.

MATERIAL LEGEND	
1	CONCRETE
2	BRICK
3	GLASS
4	WOOD
5	ROOFING
6	LANDSCAPE
7	SCREENING
8	SCREENING
9	SCREENING
10	SCREENING

MATERIAL LEGEND	
1	CONCRETE
2	BRICK
3	GLASS
4	WOOD
5	ROOFING
6	LANDSCAPE
7	SCREENING
8	SCREENING
9	SCREENING
10	SCREENING

REVISIONS	No.	Date	Description	By
A	1	13/11/14	Issue for planning	AR
B	2	13/01/15	Issue for planning	PS
C	3	13/01/15	Issue for planning	PS
D	4	13/01/15	Issue for planning	PS
E	5	13/01/15	Issue for planning	PS

PROJECT TITLE
 RESIDENTIAL DEVELOPMENT
 1026-1030 DONCASTER ROAD
 DONCASTER VIC 3088

SCALE B.1
 1 : 100

PROJECT NO.
 214075

DATE
 13/11/14

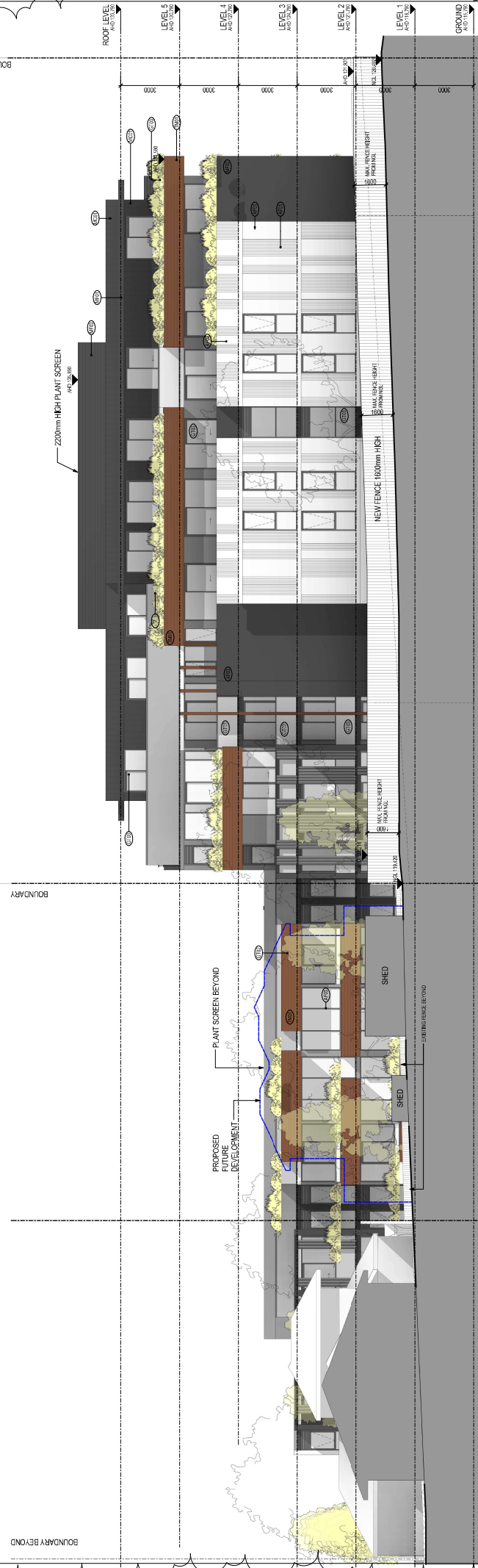
BOUNDARY BEYOND

BOUNDARY

BOUNDARY

DD08-2
(SUB-PRECINCT A)

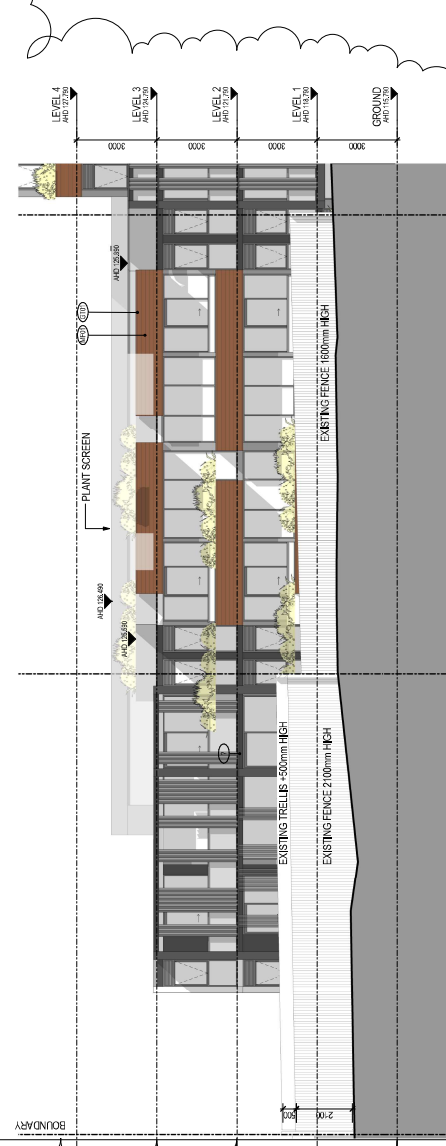
DD08-1
(MAIN ROAD SUB-PRECINCT)



4 RUPERT ST IN FOREGROUND
2 STOREY DWELLINGS

2 RUPERT ST IN FOREGROUND
1 STOREY DWELLING

1026 - 1032 DONCASTER RD
SUBJECT SITE



4 RUPERT ST - FENCE
2 STOREY DWELLINGS

2 RUPERT ST - FENCE
1 STOREY DWELLING

REVISIONS

No.	Date	Description	By
1	13/11/24	Issue for Tender	AB
2	13/11/24	Issue for Tender	AB
3	13/11/24	Issue for Tender	AB
4	13/11/24	Issue for Tender	AB
5	13/11/24	Issue for Tender	AB
6	13/11/24	Issue for Tender	AB
7	13/11/24	Issue for Tender	AB
8	13/11/24	Issue for Tender	AB
9	13/11/24	Issue for Tender	AB
10	13/11/24	Issue for Tender	AB

MATERIAL LEGEND

Code	Description
001	METAL INSULATED CORRUGATED
002	GLASS
003	CONCRETE
004	WOOD
005	BRICK
006	CEMENT
007	PLASTER
008	ROOFING
009	LANDSCAPE
010	PAVING

PROJECT TITLE
RESIDENTIAL DEVELOPMENT

SCALE @ A1
1 : 100

PROJECT NO.
214075

PREPARED BY
ARCHITECT

CHECKED BY
ARCHITECT

DATE
10/01/24

PROJECT ADDRESS
1026 - 1032 DONCASTER RD
VIC 3084

CLIENT
1026 - 1032 DONCASTER RD

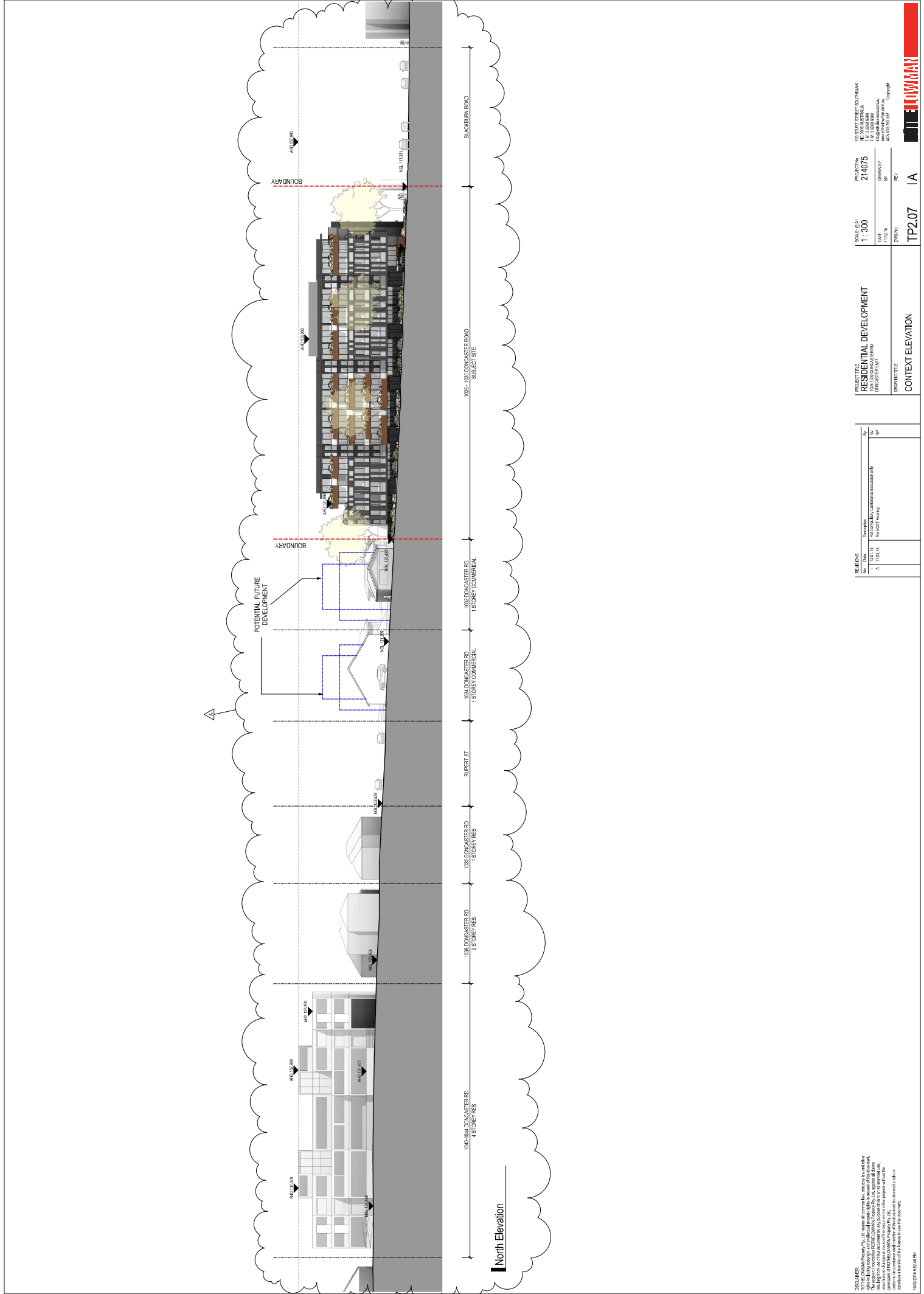
DATE OF ISSUE
10/01/24

REVISIONS
TP2.06 IE

PROJECT TITLE
EAST ELEVATION

10/01/2024 10:31 AM





PROJECT TITLE	RESIDENTIAL DEVELOPMENT
PROJECT NO.	214075
DATE	11/21/15
DRAWN BY	TP
CHECKED BY	IA

SCALE	1:300
DATE	11/21/15
DRAWN BY	TP
CHECKED BY	IA

REVISIONS	NO.	DATE	DESCRIPTION	BY	CHK
	1	11/21/15	100 Contributor/commence execution of	TP	IA
	2	11/21/15	For Public Meeting	TP	IA

100-102 DONCASTER RD, INC. design all contents, accuracy and any other information contained herein is for the use of the client only. The client is responsible for obtaining all necessary permits, approvals and consents from the relevant authorities. The client is also responsible for ensuring that all information provided is accurate and up-to-date. The client is also responsible for ensuring that all information provided is accurate and up-to-date. The client is also responsible for ensuring that all information provided is accurate and up-to-date.