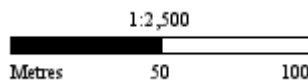
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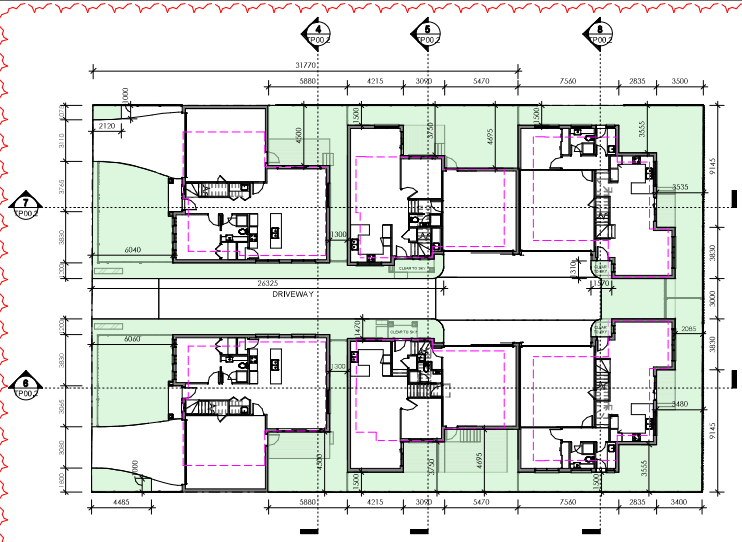
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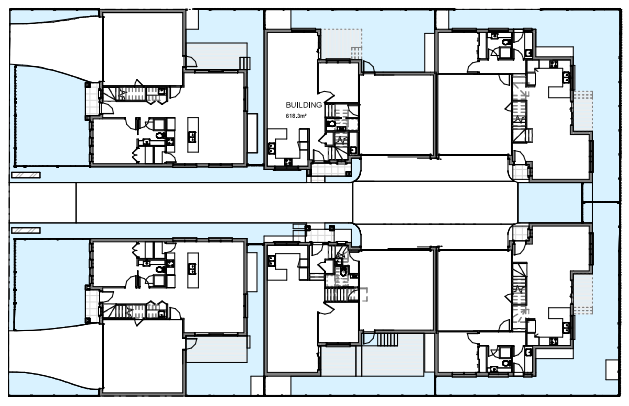
Feb 1, 2022, 8:09 AM



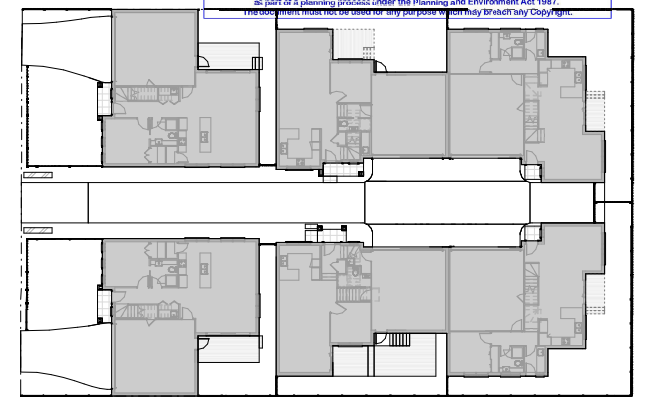
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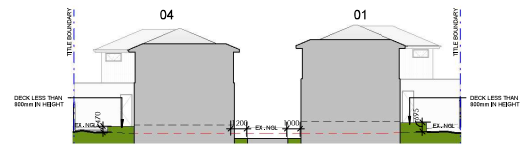
1 GROUND FLOOR - GARDEN AREA PLAN  
 TP04 SCALE 1: 200



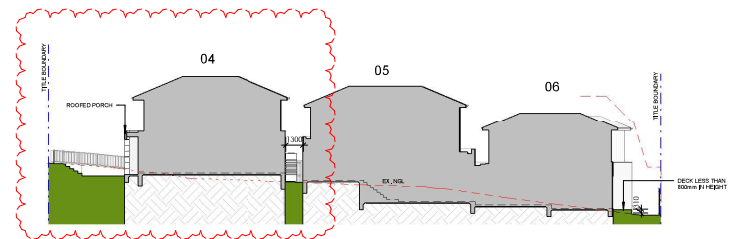
2 GROUND FLOOR - PERMEABILITY  
 TP04 SCALE 1: 200



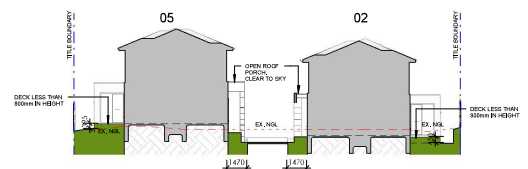
3 GROUND FLOOR - SITE COVERAGE  
 TP04 SCALE 1: 200



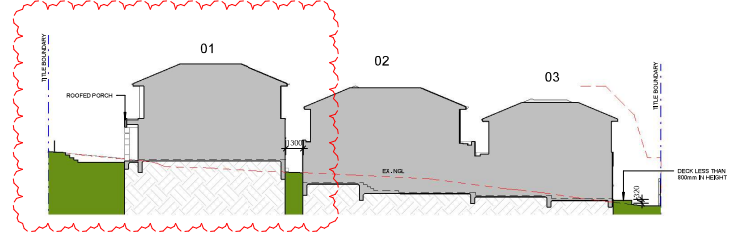
4 GARDEN AREA SECTION A  
 TP00.2 SCALE 1: 200



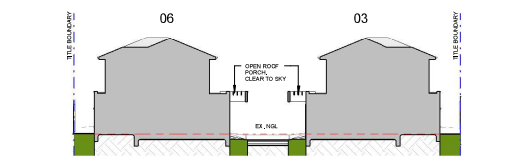
6 GARDEN AREA SECTION D  
 TP00.2 SCALE 1: 200



5 GARDEN AREA SECTION B  
 TP00.2 SCALE 1: 200



7 GARDEN AREA SECTION E  
 TP00.2 SCALE 1: 200



8 GARDEN AREA SECTION C  
 TP00.2 SCALE 1: 200

**DEVELOPMENT SUMMARY**

TOTAL SITE AREA:	1323.6m <sup>2</sup>	
TOTAL BUILDING AREA (SITE COVERAGE):	641.6m <sup>2</sup>	48.5%
TOTAL GARDEN AREA:	464.4m <sup>2</sup>	35.1%
TOTAL PERMEABILITY AREA:	419.7m <sup>2</sup>	31.7%

UNIT	DESCRIPTION	AREA (m <sup>2</sup> )	PERCENTAGE (%)
UNIT 1	SITE COVERAGE:	115,1m <sup>2</sup>	
	GROUND FLOOR AREA:	115,1m <sup>2</sup>	
	FIRST FLOOR AREA:	93,2m <sup>2</sup>	
	TOTAL POS AREA:	68m <sup>2</sup>	
	NO. OF BED:	5	
	NO. OF CAR SPACES:	2	
	STORAGE:	6m <sup>3</sup>	
UNIT 2&5	SITE COVERAGE:	103,9m <sup>2</sup>	
	GROUND FLOOR AREA:	103,9m <sup>2</sup>	
	FIRST FLOOR AREA:	75,7m <sup>2</sup>	
	TOTAL POS AREA:	43,8m <sup>2</sup>	
	NO. OF BED:	4	
	NO. OF CAR SPACES:	2	
	STORAGE:	6m <sup>3</sup>	
UNIT 3&6	SITE COVERAGE:	106,7m <sup>2</sup>	
	GROUND FLOOR AREA:	106,7m <sup>2</sup>	
	FIRST FLOOR AREA:	81m <sup>2</sup>	
	TOTAL POS AREA:	64m <sup>2</sup>	
	NO. OF BED:	4	
	NO. OF CAR SPACES:	2	
	STORAGE:	6m <sup>3</sup>	
UNIT 4	SITE COVERAGE:	115,1m <sup>2</sup>	
	GROUND FLOOR AREA:	115,1m <sup>2</sup>	
	FIRST FLOOR AREA:	93,2m <sup>2</sup>	
	TOTAL POS AREA:	67,7m <sup>2</sup>	
	NO. OF BED:	5	
	NO. OF CAR SPACES:	2	
	STORAGE:	6m <sup>3</sup>	

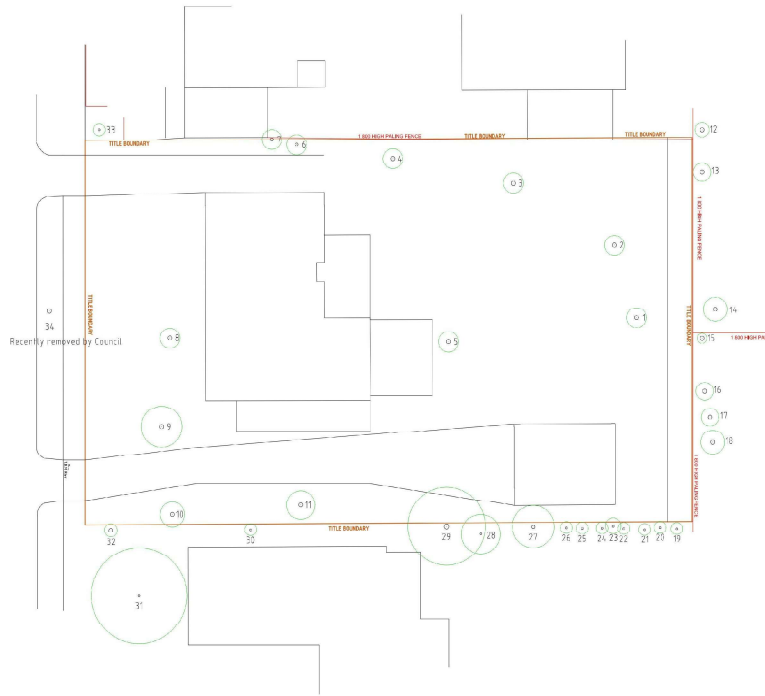
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12/11/2020	Aut/ur	Chen/ur	
SCALE	DRAWING NO.	ISSUE	
1:100	1000	1	
PROJECT NO.	001		

**Tom Motta**  
 BUILDING DESIGNER  
 10 Tommatt Drive, Business Heights (B2) 3023  
 melb: 0438 426 116 melb: m.tommatt@tomotta.com  
 Registration No. AD 1328

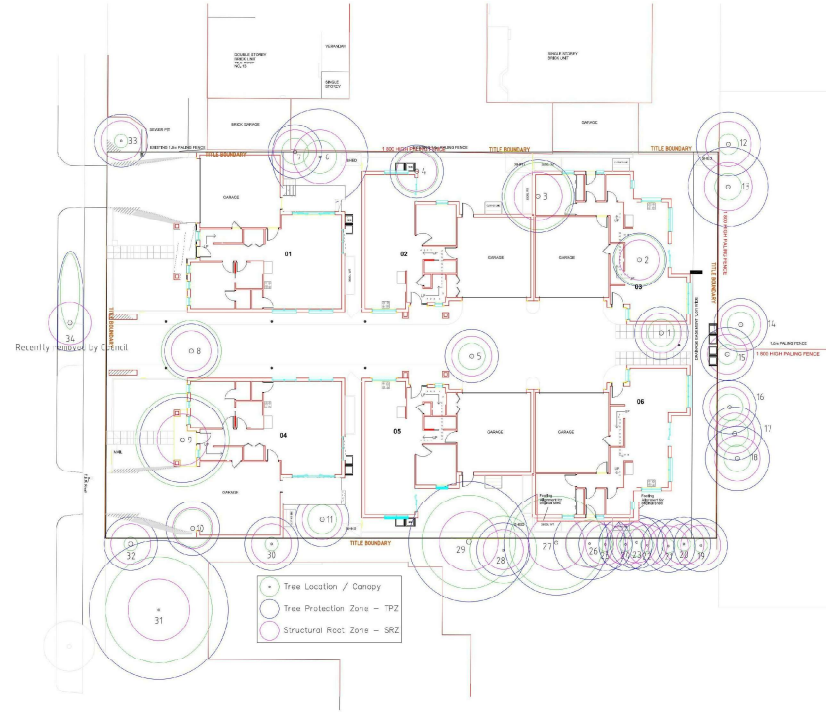
JOB  
 RESIDENTIAL DEVELOPMENT  
 15 Glendale Ave, Templestowe

DRAWING TITLE  
 RECODE REQUIREMENT PLANS

Summary / Contractors shall verify dimensions before any work commences.  
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**1 TREE SURVEY PLAN**  
 SCALE 1 : 200

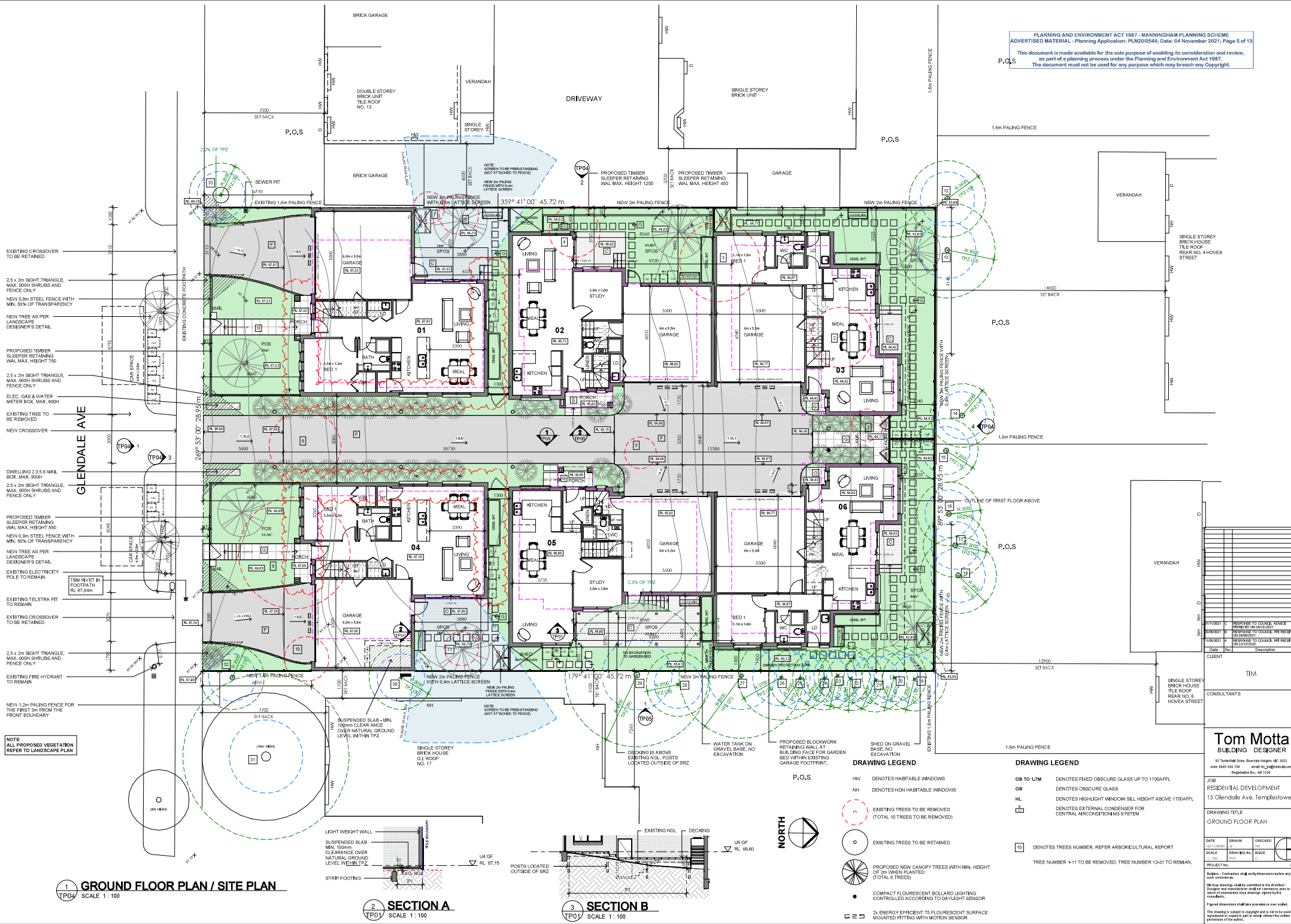


**2 TPZ PLAN**  
 SCALE 1 : 200

**NOTE**  
 PLANS PROVIDED BY TREES  
 & ASSOCIATES PTY. LTD.

DATE	DESCRIPTION	BY	CHECKED
05/09/2021	PREPARED TO COUNCIL FOR REVIEW		
DATE	DESCRIPTION	BY	CHECKED
CLIENT			
TIM			
CONSULTANTS			
<b>Tom Motta</b> BUILDING DESIGNER 10 Tommatt Drive, Burnside Heights VIC 3023 mobile: 0438 425 124 email: tom.motta@tomotta.com Registration No. AD 1125			
JOB			
RESIDENTIAL DEVELOPMENT 15 Glendale Ave, Templestowe			
DRAWING TITLE			
TREE SURVEY PLAN AND TPZ PLAN			
DATE	DRAWN	CHECKED	
12/11/2020	AJH/ter	CH/ter	
SCALE	ORIENTATION	FIGURE	
1:200	0/90/180/270	1	
PROJECT NO. 001			
Survey / Contractors shall verify dimensions before any work commences. All shop drawings shall be submitted to the architect / engineer and manufacturer shall be responsible for the return of unannotated shop drawings signed by the contractor. Figure dimensions shall take precedence over scaled. This drawing is subject to copyright and is not to be used, reproduced, copied, part or whole without the written permission of the author.			

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EXISTING CROSSOVER TO BE RETAINED

2.5 x 2m SIGHT TRIANGLE, MAX. 100H SHRUBS AND FENCE ONLY

NEW 0.8m STEEL FENCE WITH MIN. 50% OF TRANSPARENCY

NEW TREE AS PER LANDSCAPE DESIGNER'S DETAIL

PROPOSED TIMBER SLEEPER RETAINING WALL MAX. HEIGHT 750

2.5 x 2m SIGHT TRIANGLE, MAX. 100H SHRUBS AND FENCE ONLY

ELEC. GAS & WATER METER BOX, MAX. 100H

EXISTING TREE TO BE REMOVED

NEW CROSSOVER

DWELLING 2.5 x 6 MAIL BOX, MAX. 100H

2.5 x 2m SIGHT TRIANGLE, MAX. 100H SHRUBS AND FENCE ONLY

PROPOSED TIMBER SLEEPER RETAINING WALL MAX. HEIGHT 650

NEW 0.8m STEEL FENCE WITH MIN. 50% OF TRANSPARENCY

NEW TREE AS PER LANDSCAPE DESIGNER'S DETAIL

EXISTING ELECTRICITY POLE TO REMAIN

1.8m RV ET R1 FOOTPATH RL 67.24m

EXISTING TELSTRAT PIT TO REMAIN

EXISTING CROSSOVER TO BE RETAINED

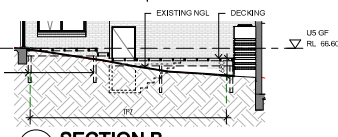
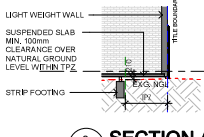
2.5 x 2m SIGHT TRIANGLE, MAX. 100H SHRUBS AND FENCE ONLY

EXISTING FIRE HYDRANT TO REMAIN

NEW 1.2m PALING FENCE FOR THE FIRST 2m FROM THE FRONT BOUNDARY

NOTE: ALL PROPOSED VEGETATION REFER TO LANDSCAPE PLAN

1 GROUND FLOOR PLAN / SITE PLAN  
 SCALE 1: 100



- DRAWING LEGEND**
- HW DENOTES HABITABLE WINDOWS
  - NH DENOTES NON HABITABLE WINDOWS
  - (X) EXISTING TREES TO BE REMOVED (TOTAL 10 TREES TO BE REMOVED)
  - (O) EXISTING TREES TO BE RETAINED
  - (R) PROPOSED NEW CANOPIED TREES WITH MIN. HEIGHT OF 2m, 10m PRUNTED (TOTAL 9 TREES)
  - (●) COMPACT FLUORESCENT BOLLARD LIGHTING CONTROLLED ACCORDING TO DAYLIGHT SENSOR
  - (■) 2x ENERGY EFFICIENT T5 FLUORESCENT SURFACE MOUNTED FITTING WITH MOTION SENSOR

- DRAWING LEGEND**
- OB TO 1.7M DENOTES FIXED OBSCURE GLASS UP TO 1700AFL
  - OB DENOTES OBSCURE GLASS
  - HL DENOTES HIGHLIGHT WINDOW SILL HEIGHT ABOVE 1700AFL
  - (C) DENOTES EXTERNAL CONDENSER FOR CENTRAL AIR CONDITIONING SYSTEM
  - (10) DENOTES TREES NUMBER, REFER ARBORICULTURAL REPORT
- TREE NUMBER 1-11 TO BE REMOVED, TREE NUMBER 12-31 TO REMAIN.

NO.	DATE	DESCRIPTION
1	11/09/2021	PROPOSE TO COUNCIL REVIEW RECEIVED ON 29/09/2021
2	08/08/2021	PROPOSE TO COUNCIL REVIEW RECEIVED ON 29/09/2021
3	11/09/2021	PROPOSE TO COUNCIL REVIEW RECEIVED ON 29/09/2021
4	09/08/2021	PROPOSE TO COUNCIL REVIEW RECEIVED ON 29/09/2021

CLIENT: TIM

CONSULTANTS: Tom Motta Building Designer

**Tom Motta**  
 BUILDING DESIGNER

12 Tommings Drive, Burnside Heights VIC 3033  
 Mob: 0438 405 114 Email: tom@tomottedesign.com.au  
 Registration No. AD 1133

JOB: RESIDENTIAL DEVELOPMENT  
 15 Glendale Ave, Templestowe

DRAWING TITLE: GROUND FLOOR PLAN

DATE	DRAWN	CHECKED
12/11/2020	JP	TM

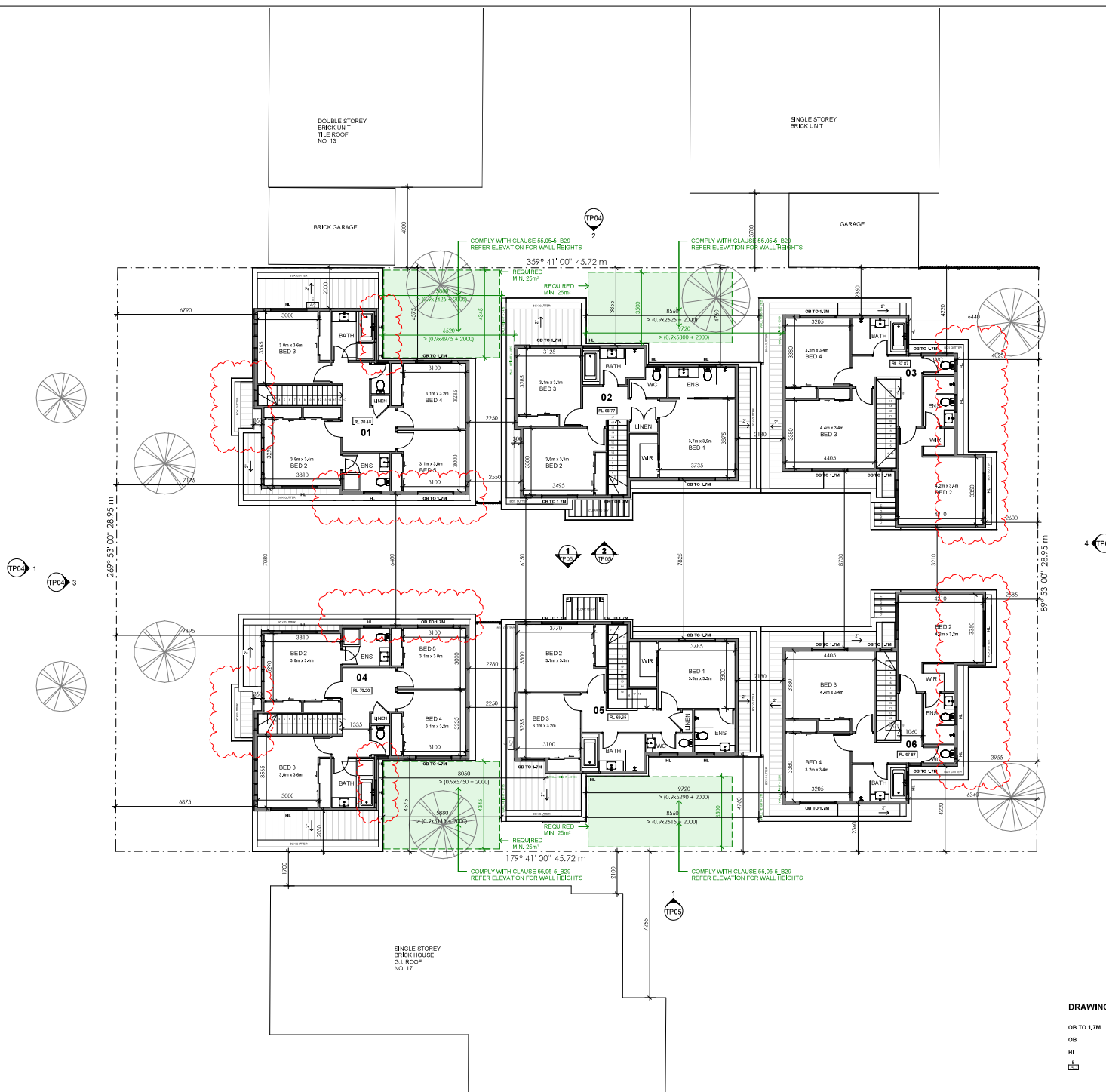
SCALE: 1:100 ISSUE: 001

PROJECT NO.: 001

Notes:
 

- Supplier / Contractors shall verify dimensions before any work commences.
- All shop drawings shall be submitted to the architect / Designer and manufacturer shall be responsible for the work of construction of shop drawings signed by the architect/Designer.
- Figure dimensions shall take precedence over scale.
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1 FIRST FLOOR PLAN  
 SCALE 1:100

**DRAWING LEGEND**

OB TO LTM	DENOTES FIXED OBSCURE GLASS UP TO 1700AFFL
OB	DENOTES OBSCURE GLASS
HL	DENOTES HIGHLIGHT WINDOW SILL HEIGHT ABOVE 1700AFFL
EC	DENOTES EXTERNAL CONDENSER FOR CENTRAL AIR CONDITIONING SYSTEM

DATE	DRAWN	CHECKED	
12/11/2020	JF	TM	
SCALE	DRAWING NO.	ISSUE	
1:100	100	1	
PROJECT NO.	001		

**Summary / Contractors shall verify dimensions before any work commences.**  
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15/08/2021	RESPONSE TO CONSULT REVIEW RECEIVED ON 29/10/2021
15/08/2021	RESPONSE TO CONSULT REVIEW RECEIVED ON 29/10/2021
15/08/2021	RESPONSE TO CONSULT REVIEW RECEIVED ON 29/10/2021
DATE	DESCRIPTION
CLIENT	

TIM  
 CONSULTANTS

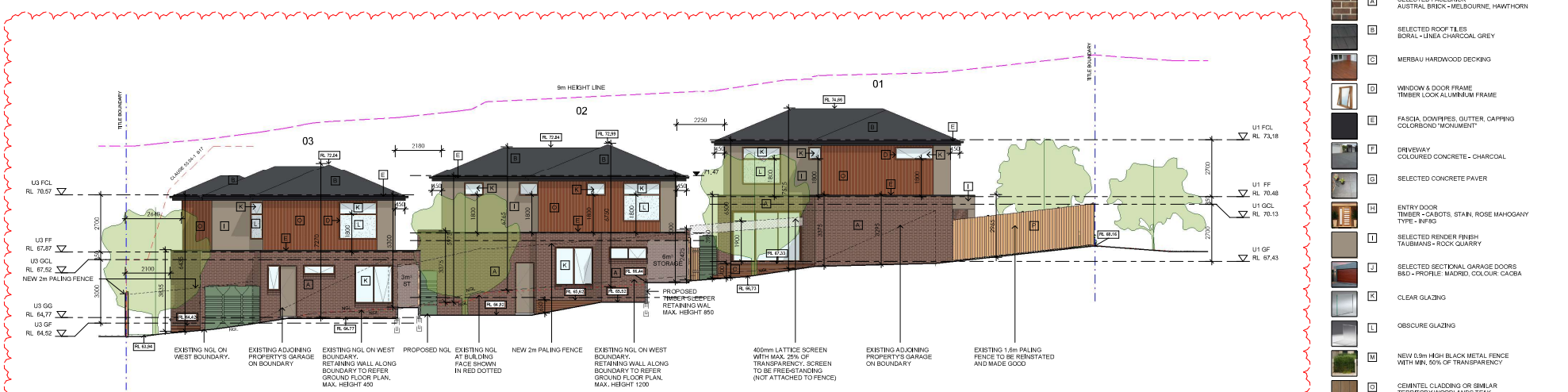
**Tom Motta**  
 BUILDING DESIGNER  
 10 Templestree Drive, Bundoora Heights VIC 3083  
 mobile: 0428 428 114 email: tom.motta@tomotta.com  
 Registration No. AD 1128

**JOB**  
 RESIDENTIAL DEVELOPMENT  
 15 Glendale Ave, Templestowe

**DRAWING TITLE**  
 FIRST FLOOR PLAN

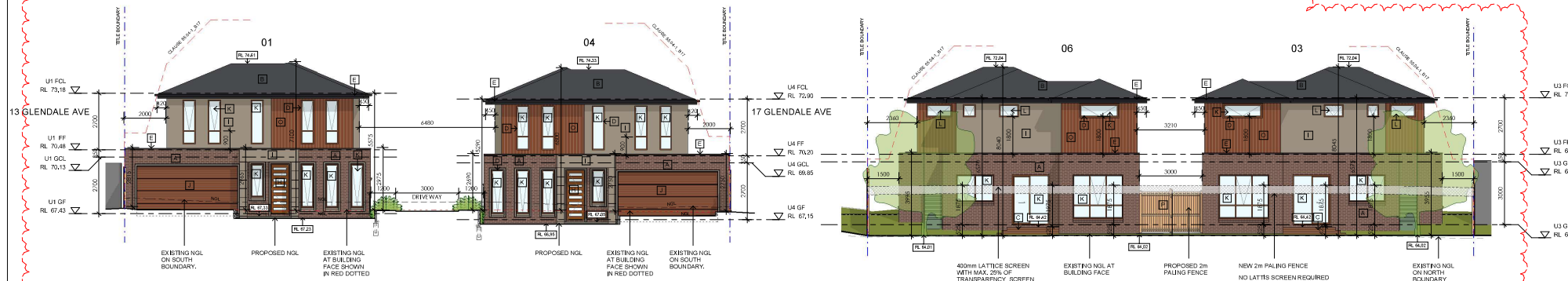


1 STREET ELEVATION  
 TP01 SCALE 1 : 125



2 WEST ELEVATION  
 TP01 SCALE 1 : 100

- MATERIAL SCHEDULE**
- A SELECTED FACEBRICK AUSTRAL BRICK - HESBORNE, HAWTHORN
  - B SELECTED ROOF TILES BORAL - LINEA CHARCOAL GREY
  - C MERBAU HARDWOOD DECKING
  - D WINDOW & DOOR FRAME TIMBER LOOK ALUMINIUM FRAME
  - E FASCIA, DOWPINS, GLITTER, CAPPING COLORBOND "MONUMENT"
  - F DRIVEWAY COLOURED CONCRETE - CHARCOAL
  - G SELECTED CONCRETE PAVER
  - H ENTRY DOOR TIMBER - CABOTS, STAIN, ROSE MAHOAGANY TYPE - INF30
  - I SELECTED RENDER FINISH TAUBMANS - ROCK QUARRY
  - J SELECTED SECTIONAL GARAGE DOORS B80 - PROFILE: MADRID, COLOUR: CACAO
  - K CLEAR GLAZING
  - L OBSCURE GLAZING
  - M NEW 0.9m HIGH BLACK METAL FENCE WITH MIN. 50% OF TRANSPARENCY
  - N SEMI-TILE CLADDING OR SIMILAR TERRITORY WOODLANDS TEAK
  - O NEW 2m HIGH TIMBER PALING FENCE



3 SOUTH ELEVATION  
 TP01 SCALE 1 : 100

4 NORTH ELEVATION  
 TP01 SCALE 1 : 100

DATE	ISSUE	DESCRIPTION
15/08/2021	1	ISSUE FOR PERMIT
15/08/2021	2	REVISION TO PERMIT
15/08/2021	3	REVISION TO PERMIT
15/08/2021	4	REVISION TO PERMIT
15/08/2021	5	REVISION TO PERMIT
15/08/2021	6	REVISION TO PERMIT
15/08/2021	7	REVISION TO PERMIT
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15/08/2021	28	REVISION TO PERMIT
15/08/2021	29	REVISION TO PERMIT
15/08/2021	30	REVISION TO PERMIT

CLIENT	TIM
CONSULTANTS	Tom Motta BUILDING DESIGNER
JOB	RESIDENTIAL DEVELOPMENT 15 Glendale Ave, Templestowe
DRAWING TITLE	ELEVATIONS
DATE	15/08/2021
SCALE	TP01
ISSUE	1
PROJECT/PLAN	01

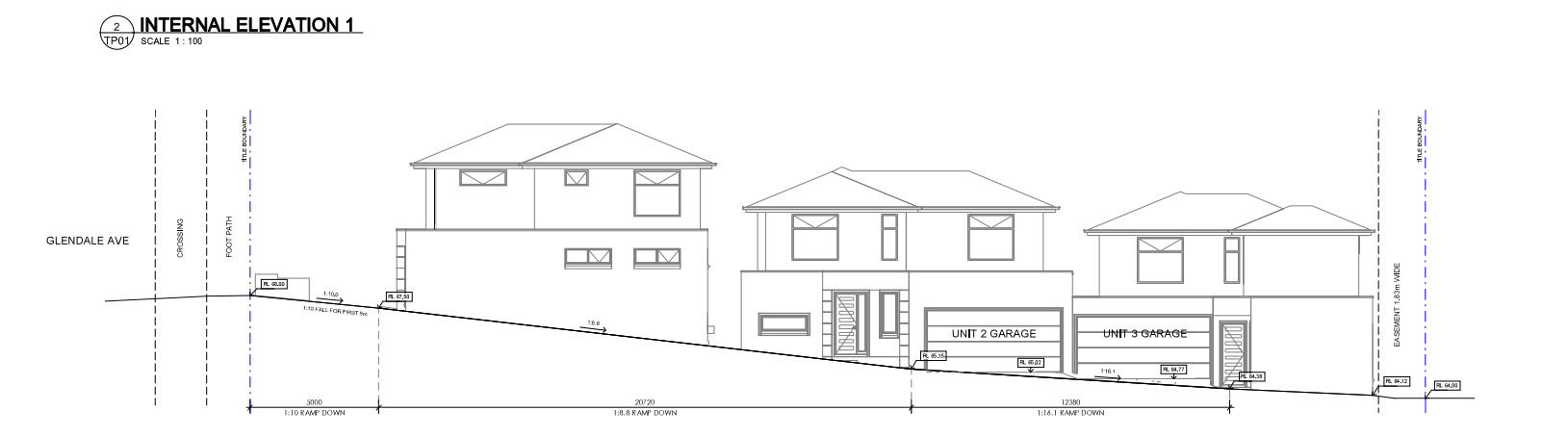
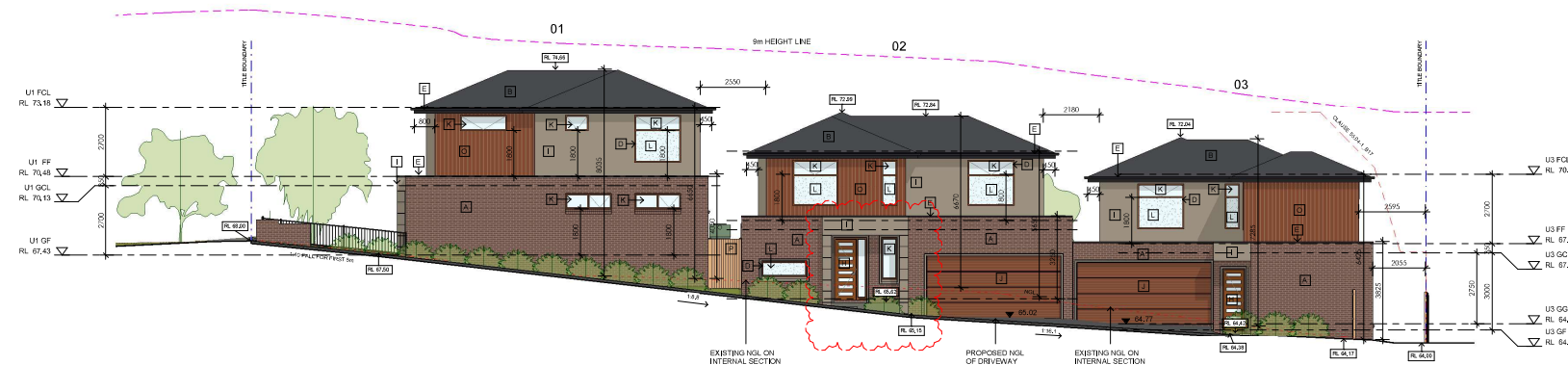
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**MATERIAL SCHEDULE**

	A SELECTED FACEBRICK AUSTRAL BRICK - MELBOURNE, HAWTHORN
	B SELECTED ROOF TILES BORAL - LINEA CHARCOAL GREY
	C MERBAU HARDWOOD DECKING
	D WINDOW & DOOR FRAME TIMBER LOOK ALUMINIUM FRAME
	E FASCIA, DOWNPIPES, GUTTER, CAPPING COLORBOND 'MOUNTAIN'
	F DRIVEWAY COLOURED CONCRETE - CHARCOAL
	G SELECTED CONCRETE PAVER
	H ENTRY DOOR TIMBER - CABINETS, STAIN, ROSE MAHOAGANY TYPE - INF83
	I SELECTED RENDER FINISH TAUBMANS - ROCK QUARRY
	J SELECTED SECTIONAL GARAGE DOORS BD - PROFILE: MADRID, COLOUR: CAOCA
	K CLEAR GLAZING
	L OBSCURE GLAZING
	M NEW 5.9m HIGH BLACK METAL FENCE WITH MIN. 50% OF TRANSPARENCY
	N CEMENTEL CLADDING OR SIMILAR TERRORY WOODLANDS TEAK
	O NEW 2m HIGH TIMBER PAULING FENCE



DATE	DRAWN	CHECKED
12/11/2020	JF	TM
SCALE	CONTRIBUTOR'S	ISSUE
1:100		
PROJECT No. 001		
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08/08/2011	RESPONSE TO COUNCIL REVIEW RECEIVED ON 29/09/2021
15/09/2011	CHANGING TO COUNCIL PER RECEIVED ON 23/02/2020

CLIENT	TM
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CONSULTANTS	Tom Motta Building Designer
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JOB	RESIDENTIAL DEVELOPMENT 15 Glendale Ave, Templestowe
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DRAWING TITLE	ELEVATIONS
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DATE	DRAWN	CHECKED
12/11/2020	JF	TM
SCALE	CONTRIBUTOR'S	ISSUE
1:100		
PROJECT No. 001		

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## 5. LEGISLATIVE REQUIREMENTS

### 5.1 PLANNING AND ENVIRONMENT ACT 1987 (THE ACT)

The *Planning and Environment Act 1987* is the relevant legislation governing planning in Victoria. The Act identifies subordinate legislation in the form of Planning Schemes to guide future land use and development.

Section 60 of The *Planning and Environment Act*, requires the Responsible Authority to consider the following before deciding on an application:

- *The relevant planning scheme;*
- *The objectives of planning in Victoria;*
- *All objections and other submissions which it has received;*
- *Any decision and comments of a referral authority which it has received; and*
- *Any significant effects which the responsible authority considers the use or development may have on the environment or which the responsible authority considers the environment may have on the use or development.*

Section 61(4) of the Act makes specific reference to covenants. Under Section 61(4) of the *Planning & Environment Act 1987* the Responsible Authority must not issue a planning permit that would result in a breach of a registered restrictive covenant.

### 5.2 MANNINGHAM PLANNING SCHEME

**Clauses of the Manningham Planning Scheme the Responsible Authority must consider:**

- Planning Policy Framework
- Local Planning Policy Framework
- Clause 32.08 General Residential Zone, Schedule 2
- Clause 43.02 Design and Development Overlay, Schedule 8
- Clause 52.06 Car Parking
- Clause 55 Two or more dwellings on a lot and Residential Buildings
- Clause 65 Decision Guidelines

#### **Zone**

##### Clause 32.08 General Residential Zone, Schedule 2

The purpose of the General Residential Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

A Planning Permit is required to construct two or more dwellings on a lot.

The construction and extension of two or more dwellings on a lot must meet the requirements of Clause 55.

An application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area of 35% for lots above 650 square metres.

This does not apply to an application to alter or extend an existing building that did not comply with the minimum garden area requirement of Clause 32.08-4 on the approval date of Amendment VC110.

A building must not be constructed for use as a dwelling or a residential building that:

- *exceeds the maximum building height specified in a schedule to this zone; or*
- *contains more than the maximum number of storeys specified in a schedule to this zone.*

If no maximum building height or maximum number of storeys is specified in a schedule to this zone:

- *the building height must not exceed 11 metres; and*
- *the building must contain no more than 3 storeys at any point.*

Schedule 2 to the General Residential Zone does not specify a maximum building height requirement for a dwelling or residential building.

A basement is not a storey for the purposes of calculating the number of storeys contained in a building.

## **Overlays**

### Clause 43.02 Schedule 8 to the Design and Development Overlay

The design objectives are as follows:

- *To increase residential densities and provide a range of housing types around activity centres and along main roads.*
- *To encourage development that is contemporary in design that includes an articulated built form and incorporates a range of visually interesting building materials and façade treatments.*
- *To support three storey, 'apartment style', developments within the Main Road sub-precinct and in sub-precinct A, where the minimum land size can be achieved.*
- *To ensure new development is well articulated and upper storey elements are not unduly bulky or visually intrusive, taking into account the preferred neighbourhood character.*
- *To encourage spacing between developments to minimise a continuous building line when viewed from a street.*
- *To ensure the design and siting of dwellings have regard to the future development opportunities and future amenity of adjoining properties.*
- *To ensure developments of two or more storeys are sufficiently stepped down at the perimeter of the Main Road sub-precinct to provide an appropriate and attractive interface to sub-precinct A or B, or other adjoining zone.*
- *To ensure overlooking into adjoining properties is minimised.*
- *To ensure the design of carports and garages complement the design of the building.*
- *To ensure the design of basement and undercroft car parks complement the design of the building, eliminates unsightly projections of basement walls above natural ground level and are sited to allow for effective screen planting.*
- *To encourage landscaping around buildings to enhance separation between buildings and soften built form.*

### Permit Requirement

- *A permit is required to construct or carry out works.*
- *A permit is required to construct or extend a front fence within 3 metres of a street, if the fence is associated with 2 or more dwellings on a lot or a residential building.*



## Building Height & Setbacks

- Any building or works must comply with the requirements set out in Table 1 and 2 of this Schedule.
- For the purposes of this Schedule, the Maximum Building Height does not include building services, lift over-runs and roof mounted equipment, including screening devices.
- For the purposes of this Schedule, balconies, terraces, and verandahs may encroach within the Street Setback by a maximum of 2.0m, but must not extend along the width of the building.

Table 1

Sub-Precinct	Maximum Building Height	Condition regarding minimum land size	Street setback
DDO8-3 (Sub-Precinct B)	9 metres, unless the slope of the natural ground level at any cross section wider than eight metres of the site of the building is 2.5 degrees or more, in which case the maximum height must not exceed 10 metres.		<p>For two or more dwellings on a lot or a residential building:</p> <ul style="list-style-type: none"> <li>• Minimum front street setback is the distance specified in Clause 55.03-1 or 6 metres, whichever is the lesser</li> <li>• Minimum side street setback is the distance specified in Clause 55.03-1</li> </ul>

## Planning Policy Framework

The relevant sections of the state planning policy framework are as follows:

Clause 15.01-1 (Urban Design) seeks to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity. Strategies towards achieving this are identified as follows:

- *Promote good urban design to make the environment more liveable and attractive.*
- *Ensure new development or redevelopment contributes to community and cultural life by improving safety, diversity and choice, the quality of living and working environments, accessibility and inclusiveness and environmental sustainability.*
- *Require development to respond to its context in terms of urban character, cultural heritage, natural features, surrounding landscape and climate.*
- *Ensure transport corridors integrate land use planning, urban design and transport planning and are developed and managed with particular attention to urban design aspects.*
- *Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*

Clause 15.01-2 (Urban Design Principle) policy objective is:

- *To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.*

The strategy to achieve this is to apply the listed strategies to development proposals for non-residential development or residential development not covered by Clause 54, Clause 55 or Clause 56.

Responsible Authorities are also required to have regard to the State's *Design Guidelines for Higher Density Housing*, which is referenced at Clause 15.01 of the Scheme.

The strategies include the application of design principles to the proposed development relating to context, public realm, safety, pedestrian spaces, energy and resource efficiency, architectural quality and landscape quality.

Clause 15.01-4 (Design for Safety) policy objective is:

- *To improve community safety and encourage neighbourhood design that makes people feel safe.*

The policy seeks to improve community safety and encourage neighbourhood design that makes people feel safe. The strategy identified to achieve this objective is to ensure the design of buildings, public spaces and the mix of activities contribute to safety and perceptions of safety.

Clause 15.01-5 (Cultural Identity and Neighbourhood Character) policy objective is:

- *To recognise and protect cultural identity, neighbourhood character and sense of place.*

The clause includes several strategies to achieve this objective, including to:

- *Ensure development responds and contributes to existing sense of place and cultural identity.*
- *Ensure development recognises distinctive urban forms and layout and their relationship to landscape and vegetation.*
- *Ensure development responds to its context and reinforces special characteristics of local environment and place by emphasising:*
- *The underlying natural landscape character.*
- *The heritage values and built form that reflect community identity.*
- *The values, needs and aspirations of the community.*

Clause 15.02-1 Sustainable development: Energy and resource efficiency

The policy objective is:

- *To encourage land use and development that is consistent with the efficient use of energy and the minimisation of greenhouse gas emissions.*

The clause has the following strategies:

- *Ensure that buildings and subdivision design improves efficiency in energy use.*
- *Promote consolidation of urban development and integration of land use and transport.*
- *Improve efficiency in energy use through greater use of renewable energy.*
- *Support low energy forms of transport such as walking and cycling.*

Clause 16.01-1 Residential development: Integrated housing

The policy objective is:

- *To promote a housing market that meets community needs.*

The clause has the following strategies:



- *Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.*
- *Ensure that the planning system supports the appropriate quantity, quality and type of housing, including the provision of aged care facilities.*
- *Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.*
- *Encourage housing that is both water efficient and energy efficient.*

Clause 16.01-2 Residential development: Location of residential development

The policy objective is:

- *To locate new housing in or close to activity centres and employment corridors and at other strategic redevelopment sites that offer good access to services and transport.*

The clause includes several strategies to achieve this objective, they include:

- *Increase the proportion of housing in Metropolitan Melbourne to be developed within the established urban area, particularly at activity centres, employment corridors and at other strategic sites, and reduce the share of new dwellings in greenfield and dispersed development areas.*
- *Encourage higher density housing development on sites that are well located in relation to activity centres, employment corridors and public transport.*
- *Ensure an adequate supply of redevelopment opportunities within the established urban area to reduce the pressure for fringe development.*
- *Facilitate residential development that is cost-effective in infrastructure provision and use, energy efficient, incorporates water efficient design principles and encourages public transport use.*
- *Identify opportunities for increased residential densities to help consolidate urban areas.*

Clause 16.01-4 Housing diversity

The policy objective is:

- *To provide for a range of housing types to meet increasingly diverse needs.*

Clause 18.01-1 integrated Transport: Land use and transport planning

The policy objective is:

- *To create a safe and sustainable transport system by integrating land-use and transport.*

## **Local Planning Policy Framework (LPPF)**

### **Municipal Strategic Statement**

#### **Clause 21.03 Key Influences**

This clause identifies that future housing need and residential amenity are critical land-use issues that will challenge Manningham's future growth and sustainable development. The MSS acknowledges that there is a general trend towards smaller household size as a result of an aging population and smaller family structure which will lead to an imbalance between the housing needs of the population and the actual housing stock that is available.

This increasing pressure for re-development raises issues about how these changes affect the character and amenity of our local neighbourhoods. In meeting future housing needs, the challenge is to provide for residential re-development in appropriate locations, to reduce pressure for development in more sensitive areas, and in a manner that respects the residential character and amenity valued by existing residents.

#### **Clause 21.05 Residential**

This policy outlines the division of Manningham into four Residential Character Precincts.

The precincts seek to channel increased housing densities around activity centres and main

roads where facilities and services are available. In areas which are removed from these facilities a lower intensity of development is encouraged. A low residential density is also encouraged in areas that have identified environmental or landscape features.

### **The site is within Precinct 2 – Residential Areas Surrounding Activity Centres and Along Main Roads.**

A substantial level of change is anticipated in Precinct 2. Whilst this area will be a focus for higher density developments, there are three sub-precincts which each stipulate different height, scale and built form outcomes to provide a transition between each sub-precinct and adjoining properties, primarily in Precinct 1 – Residential Areas Removed from Activity Centres and Main Roads.

The site is located within **Sub-Precinct B**.

Sub-Precinct B is an area where single storey and two storey dwellings only will be considered and development should have a maximum site coverage of 60 percent. There is no minimum land area for such developments.

Development in Precinct 2 should:

- *Provide for contemporary architecture*
- *Achieve high design standards*
- *Provide visual interest and make a positive contribution to the streetscape*
- *Provide a graduated building line from side and rear boundaries*
- *Minimise adverse amenity impacts on adjoining properties*
- *Use varied and durable building materials*
- *Incorporate a landscape treatment that enhances the overall appearance of the development.*
- *Integrate car parking requirements into the design of buildings and landform.*

#### Clause 21.10 Ecologically Sustainable Development

This policy highlights Council's commitment to ESD and outlines a number of ESD principles to which regard must be given. These include building energy management, water sensitive design, external environmental amenity, waste management, quality of public and private realm and transport.

### **Local Planning Policy**

#### Clause 22.08 Safety through urban design

This policy applies to all land in Manningham. It endeavours to provide and maintain a safer physical environment for those who live in, work in or visit the City of Manningham. The policy seeks attractive, vibrant and walkable public spaces where crime, graffiti and vandalism is minimised.

#### Clause 22.09 Access for disabled people

This policy also applies to all land in Manningham. It seeks to ensure that people with a disability have the same level of access to buildings, services and facilities as any other person. The policy requires the needs of people with a disability to be taken into account in the design of all proposed developments.

#### Clause 22.12 Environmentally Sustainable Development

This policy applies throughout Manningham to residential and non-residential development that requires a planning permit in accordance with the thresholds in Table 1 of this Policy (except for land affected by the Activity Centre Zone (Schedule 1) that applies to Doncaster

Hill). The policy contains an overarching objective that development should achieve best practice in environmentally sustainable development from the design stage through to construction and operation.

## **Particular Provisions**

### Clause 52.06 Car Parking

Pursuant to Clause 52.06-5, car parking is required to be provided at the following rates:

- *1 space for 1 and 2 bedroom dwellings.*
- *2 spaces for 3 or more bedroom dwellings.*

No residential visitor car parking spaces are required for any part of the land identified as being within the Principal Public Transport Network Area.

Clause 52.06-9 outlines various design standards for parking areas that should be achieved.

### Clause 55 Two or more dwellings on a lot and Residential Buildings

A development:

- Must meet all of the objectives of this clause
- Should meet all of the standards of this clause.

A zone or a schedule to a zone, or a schedule to an overlay may specify a requirement different from a requirement of a standard set out in Clause 55.

## **General Provisions**

### Clause 65 Decision Guidelines

This clause outlines that before deciding on an application, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the amenity of the area.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*